

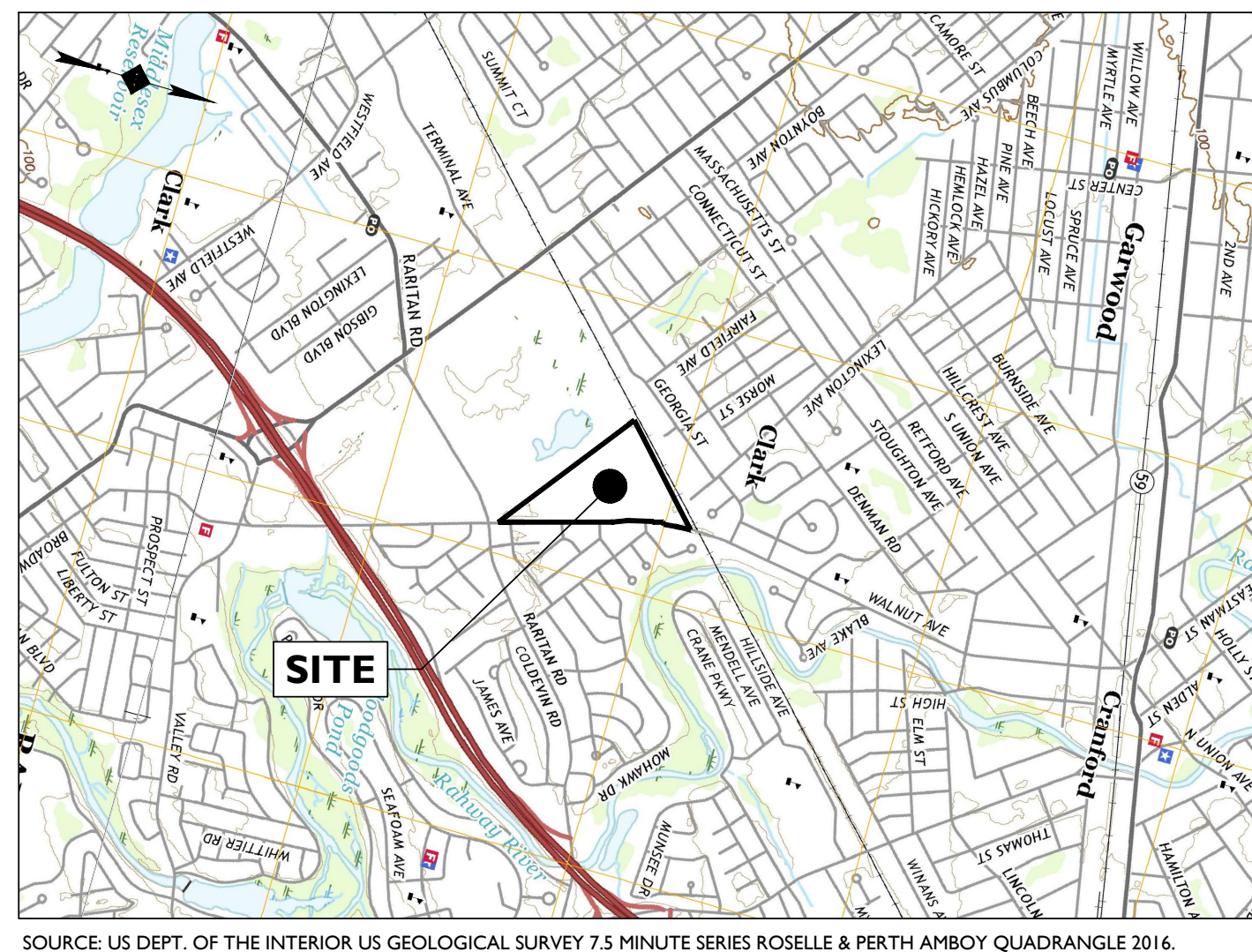
PRELIMINARY AND FINAL MAJOR SITE PLAN AND MAJOR SUBDIVISION PLAN FOR HARTZ MOUNTAIN INDUSTRIES, INC. PROPOSED MIXED-USE REDEVELOPMENT PLAN

OWNER
CRANFORD 750 WALNUT DEVELOPMENT, LLC
500 PLAZA DRIVE
TOWN OF SECAUCUS, NEW JERSEY 07094

APPLICANT
HARTZ MOUNTAIN INDUSTRIES, INC.
500 PLAZA DRIVE
TOWN OF SECAUCUS, NEW JERSEY 07094

HARTZ
MOUNTAIN
INDUSTRIES
500 PLAZA DRIVE
P.O. BOX 1515
SECAUCUS, N.J. 07096-1515

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584 Broadway, Suite 310, New York, NY 10012
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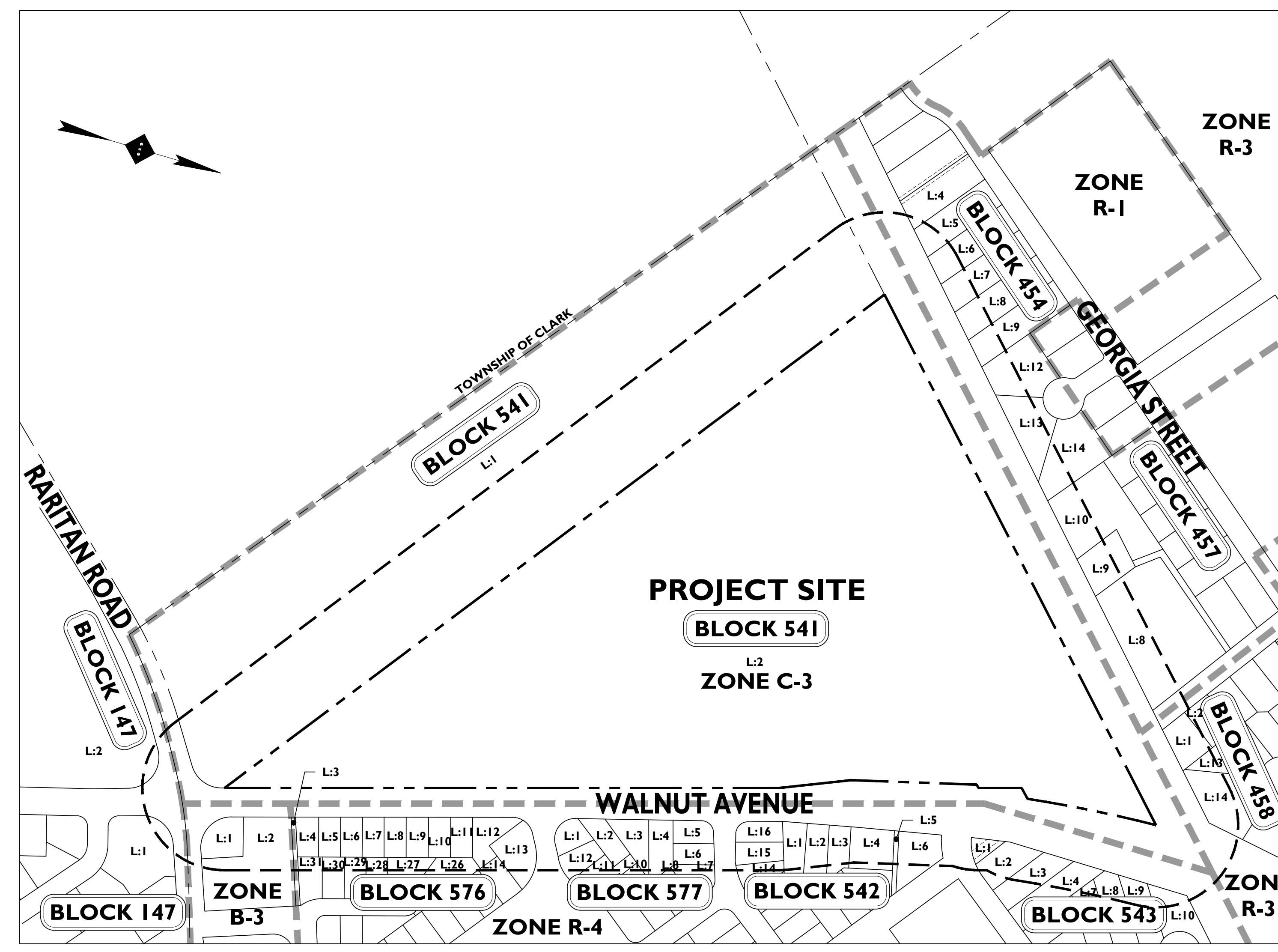


LOCATION MAP
SCALE: 1" = 2,000'±

BLOCK 541, LOT 2
750 WALNUT AVENUE
TOWNSHIP OF CRANFORD
UNION COUNTY, NEW JERSEY



AERIAL MAP
SCALE: 1" = 600'±



KEY MAP
SCALE: 1" = 200'±

PLANS PREPARED BY:



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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHIC SURVEY, PREPARED BY CONTROL LAYOUTS, INC. DATED 7/22/2021.
 - ARCHITECTURAL PLANS PREPARED BY HARTZ MOUNTAIN INDUSTRIES, DATED 06/10/2021.
 - PRELIMINARY SUBDIVISION PLAN, PREPARED BY CONTROL LAYOUTS, INC. DATED 11/15/2021.
 - AERIAL MAP FROM GOOGLE EARTH PRO IMAGERY, DATED NOVEMBER 16, 2016.
 - LOCATION MAP OBTAINED FROM THE US DEPT. OF THE INTERIOR US GEOLOGICAL SURVEY 7.5 MINUTE SERIES ROSELLE & PERTH AMBOY QUADRANGLE 2016.
 - TOWNSHIP OF CRANFORD TAX MAP SHEETS 96, 97, 129, 133, & 142, AND TOWNSHIP OF CLARK TAX MAP SHEET 35.
 - 750 WALNUT AVENUE REDEVELOPMENT PLAN, PREPARED BY TOPOLOGY, DATED 11/18/2021
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
OVERALL SITE PLAN	C-4
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GRADING PLAN	C-6
DRAINAGE PLAN	C-7
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LANDSCAPING PLAN AND DETAILS	C-13 - C-15
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NOTES :

NO.	BY	DATE	ISSUE OR REVISION
03	FT	10/03/22	REVISED PER MUNICIPAL COMMENTS
02	FT	08/01/22	ISSUED FOR BID
01	FT	05/23/22	ISSUED FOR TOWN COUNCIL SUBMISSION

REVISION :

PROJECT :
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :
COVER SHEET

ENCLOSURE
ZACHARY E. CHAPLIN
NJ REG # 53605

DATE : 08/01/2022

PROJECT NO. : T-16509

DRAWING BY : FT

CHK BY : ZC

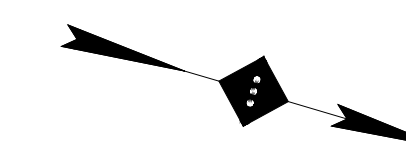
DWG NO. : **C-1**

CADD FILE NO. : 1 OF 20



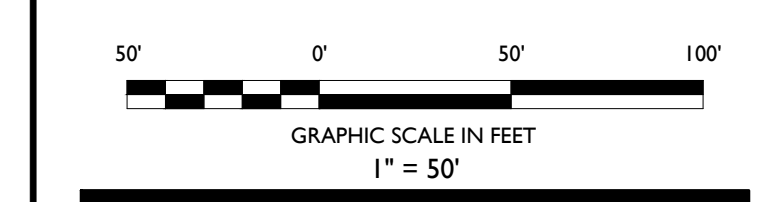
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NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- CURB
- ▬ BUILDING
- ▬ FENCE
- ▬ GUIDE RAIL
- ▬ RAILROAD TRACKS
- SIGNS
- LIGHT POLE
- BOLLARD
- ▬ SPEED BUMP
- GRADING CONTOUR
- GRADE SPOT ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- FIRST FLOOR ELEVATION
- PARKING STALL COUNT
- STORMSEWER MAIN
- STORMSEWER DEVICES
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC POLE
- RIP-RAP AREA



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REVISION :

PROJECT :

PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

EXISTING CONDITIONS PLAN

DRAWING TITLE :

ENGINEER : ZACHARY E. CHAPLIN
NJ REG # 53605

DATE : 08/01/2022

PROJECT NO. : T-16509

DRAWING BY : FT

CHK BY : ZC

DWG NO. : **C-2**

CADD FILE NO. : 2 OF 20

SURVEY NOTES:

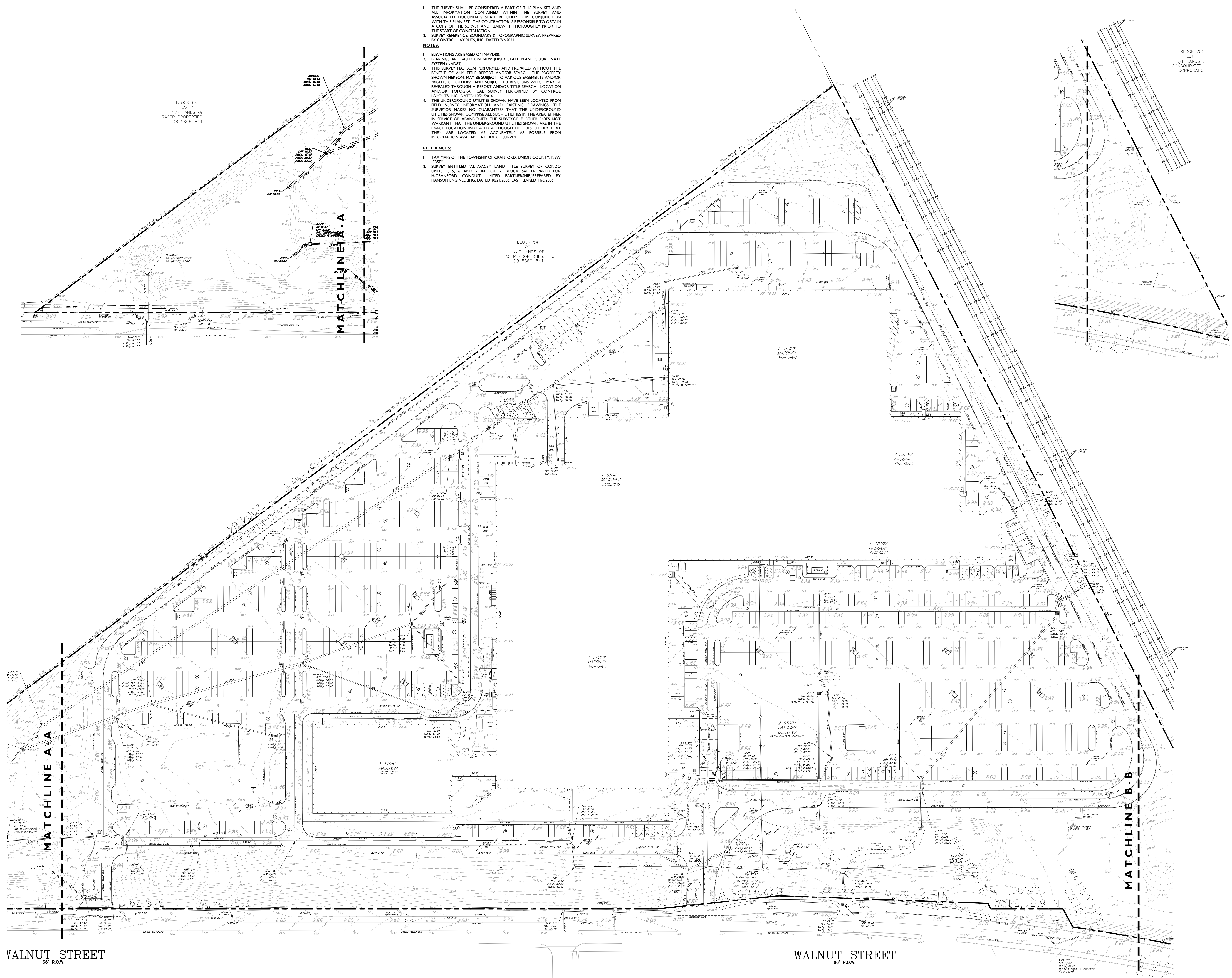
1. THE SURVEY SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
2. SURVEY REFERENCE BOUNDARY & TOPOGRAPHIC SURVEY, PREPARED BY CONTROL LAYOUTS, INC. DATED 7/2/2021.

NOTES:

1. ELEVATIONS ARE BASED ON NAVD83.
2. BEARINGS ARE BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD83).
3. THIS SURVEY HAS BEEN PERFORMED AND PREPARED WITHOUT THE BENEFIT OF ANY TITLE REPORT AND/OR SEARCH. THE PROPERTY SHOWN HEREON MAY BE SUBJECT TO VARIOUS EASEMENTS AND/OR RIGHTS OF OTHERS AND SUBJECT TO REVISIONS WHICH MAY BE REVEALED THROUGH A REPORT AND/OR TITLE SEARCH. LOCATION AND/OR TOPOGRAPHICAL SURVEY PERFORMED BY CONTROL LAYOUTS, INC. DATED 10/21/2016.
4. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE AT TIME OF SURVEY.

REFERENCES:

1. TAX MAPS OF THE TOWNSHIP OF CRANFORD, UNION COUNTY, NEW JERSEY.
2. SURVEY ENTITLED "ALTA/ACS#1 LAND TITLE SURVEY OF CONDO UNITS 1, 5, 6 AND 7 IN LOT 2, BLOCK 541 PREPARED FOR H-CRAFFORD CONDUIT LIMITED PARTNERSHIP PREPARED BY HANSON ENGINEERING, DATED 10/21/2006, LAST REVISED 11/6/2006.



VALNUT STREET
66' R.O.W.

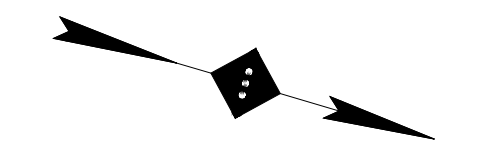
WALNUT STREET
66' R.O.W.

BLOCK 54
LOT 1
N/E LANDS OF
RACER PROPERTIES, LLC
DB 5866-844

BLOCK 541
LOT 1
N/E LANDS OF
RACER PROPERTIES, LLC
DB 5866-844

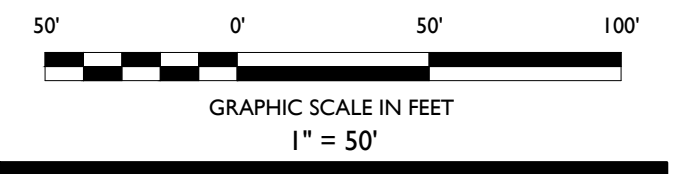
BLOCK 704
LOT 1
N/E LANDS OF
CONSOLIDATED
CORPORATION

NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- LOD --- LIMIT OF DISTURBANCE



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NO.	BY	DATE	ISSUE OR REVISION
REVISION :			

PROJECT :
**PROPOSED MIXED-USE
REDEVELOPMENT**
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

DEMOLITION PLAN

DATE : 08/01/2022
PROJECT NO. : T-16509
DRAWING NO. : FT
CHK BY : ZC
DWC NO. :

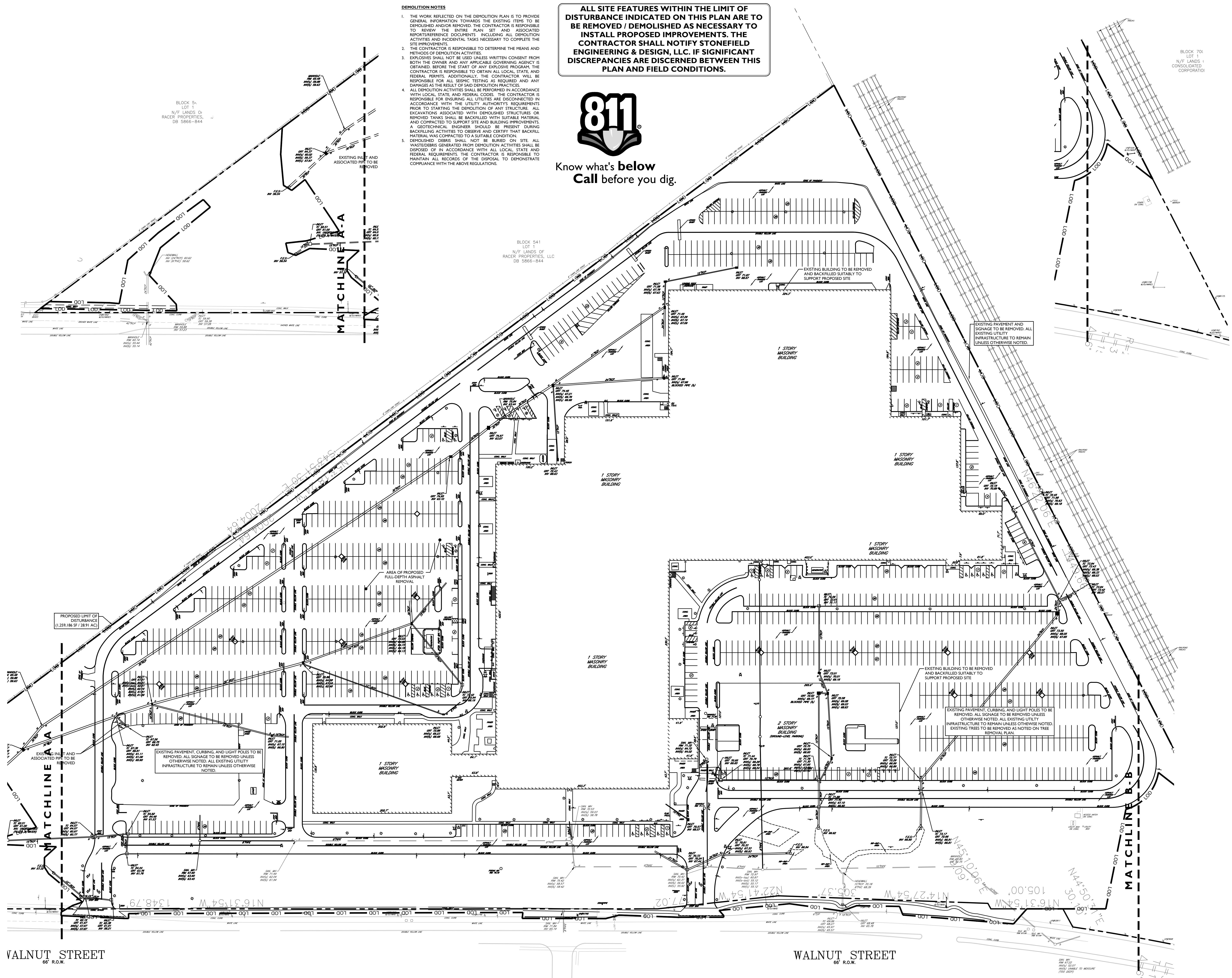
C-3

**ALL SITE FEATURES WITHIN THE LIMIT OF
DISTURBANCE INDICATED ON THIS PLAN ARE TO
BE REMOVED / DEMOLISHED AS NECESSARY TO
INSTALL PROPOSED IMPROVEMENTS. THE
CONTRACTOR SHALL NOTIFY STONEFIELD
ENGINEERING & DESIGN, LLC. IF SIGNIFICANT
DISCREPANCIES ARE DISCERNED BETWEEN THIS
PLAN AND FIELD CONDITIONS.**



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- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS, INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED BEFORE THE START OF ANY EXPLOSIVE PROGRAM. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTEWATERS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



ZONING REQUIREMENTS BASED ON THE 750 WALNUT AVENUE REDEVELOPMENT PLAN PREPARED BY TOPELOPMENT, DATED NOVEMBER 18, 2021

LAND USE AND ZONING		
SUBDISTRICT 1 - RESIDENTIAL TRACT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	10.0 AC (435,600 SF)	13.5 AC (589,071 SF)
MINIMUM FRONT YARD SETBACK (WALNUT AVENUE)	50 FT	83.1 FT
MINIMUM FRONT DISTANCE BETWEEN CURB AND BUILDING FACE	14 FT (INCLUDING 6 FT SIDEWALK, 3 FT PLANTING STRIP)	15.3 FT
MINIMUM SIDE YARD SETBACK	20 FT BETWEEN BUILDINGS 15 FT BETWEEN CURB AND BUILDING	93.6 FT 16.2 FT
MINIMUM REAR YARD SETBACK	BUILDING: 20 FT CURB: 15 FT	80.3 FT 16.2 FT
MAXIMUM BUILDING HEIGHT	4 STORIES / 50 FT	4 STORIES / 49 FT
MAXIMUM BUILDING COVERAGE	50%	13.3%
MAXIMUM LOT COVERAGE	60%	32.9%
MAXIMUM DWELLING UNITS	250 UNITS	250 UNITS
MINIMUM CEILING HEIGHT	GROUND STORY: 10 FT UPPER STORY: 9 FT	10 FT 9 FT
MINIMUM PRIVATELY OWNED PUBLIC OPEN SPACE	100,000 SF	100,014 SF

LAND USE AND ZONING		
SUBDISTRICT 2 - INDUSTRIAL TRACT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	10.0 AC (435,600 SF)	17.3 AC (752,572 SF)
MINIMUM FRONT YARD SETBACK	100 FT	63.2 FT (V)
MINIMUM SIDE YARD SETBACK	20 FT BETWEEN BUILDINGS 10 FT BETWEEN CURB AND BUILDING	170.0 FT 65.0 FT
MINIMUM REAR YARD SETBACK	BUILDING: 20 FT CURB: 10 FT	60.0 FT 32.3 FT
MAXIMUM BUILDING HEIGHT	4 STORIES / 50 FT	1 STORY / 40.7 FT
MAXIMUM BUILDING COVERAGE	40%	32.1%
MAXIMUM LOT COVERAGE	65%	64.4%
MINIMUM CEILING HEIGHT	GROUND STORY: 12 FT UPPER STORY: 9 FT	> 12 FT
MINIMUM PRIVATELY OWNED PUBLIC OPEN SPACE	25,000 SF	37,243 SF

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.3 A.3	OFFICE, DISTRIBUTION CENTER: 1 SPACES / 250 SF OF OFFICE; 2,798 SF X (1 SPACES / 250 SF) = 88 SPACES 0.25 SPACES / 1000 SF OF WAREHOUSE SF 219,420 SF X (0.25 SPACES / 1000 SF) = 55 SPACES 143 TOTAL SPACES REQUIRED	157 SPACES
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.3 A.3	DWELLING, MULTI-FAMILY: 1.8 SPACES PER UNIT 250 UNITS X (1.8 SPACES / UNIT) = 450 SPACES REQUIRED	450 SPACES
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.3 A.1.d	REQUIRED PARKING SPACE SIZE: 8 FT X 18 FT	9 FT X 18 FT
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.4 B.1	REQUIRED LOADING SPACES: SUBDISTRICT 2, ONE (1) LOADING BERTH PER 10,000 SF OF GFA 241,200 SF X (1 BERTH / 10,000 GFA) = 24 LOADING BERTHS	75 LOADING BERTHS (13 PROPOSED, 43 POTENTIAL)

BICYCLE PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.3 B.4.a	OFFICE, DISTRIBUTION CENTER: 1 SPACE / 15,000 SF OF OFFICE / DISTRIBUTION CENTER 241,200 SF X (1 SPACE / 15,000 SF) = 17 SPACES REQUIRED	17 SPACES
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.3 B.4.b	DWELLING, MULTI-FAMILY: 0.10 SPACES PER UNIT 250 UNITS X (0.10 SPACES / UNIT) = 25 SPACES REQUIRED	25 SPACES

ELECTRIC VEHICLE PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
P.L. 2021 C. 171 NEW JERSEY LEGISLATURE	DWELLING, MULTI-FAMILY: 15% OF REQUIRED OFF-STREET PARKING = 15% X 450 SPACES = 68 SPACES REQUIRED NON-RESIDENTIAL: 4% OF TOTAL OFF-STREET PARKING = 4% X 157 SPACES = 7 SPACES REQUIRED	RESIDENTIAL: 68 MAKE-READY SPACES INDUSTRIAL: 7 MAKE-READY SPACES
P.L. 2021 C. 171 NEW JERSEY LEGISLATURE	DWELLING, MULTI-FAMILY: MAKE-READY SPACES WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED: 1 OF REQUIRED ELECTRIC VEHICLE SPACES = 13 X 68 SPACES = 23 SPACES REQUIRED	24 MAKE-READY SPACES WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED

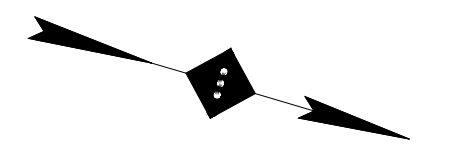
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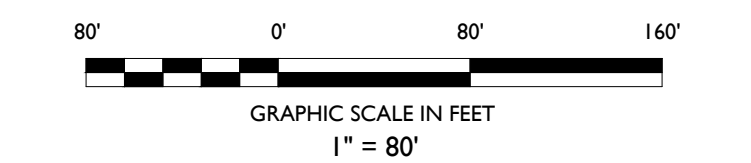
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Phone 718.606.8305

NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- PROPOSED CURB
- EXISTING CURB
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY ASPHALT



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REVISION :

PROJECT :
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

OVERALL SITE PLAN

DESIGNER :
ZACHARY E. CHAPLIN
02 PE # 53605

DATE : 08/01/2022

PROJECT NO. : T-16509

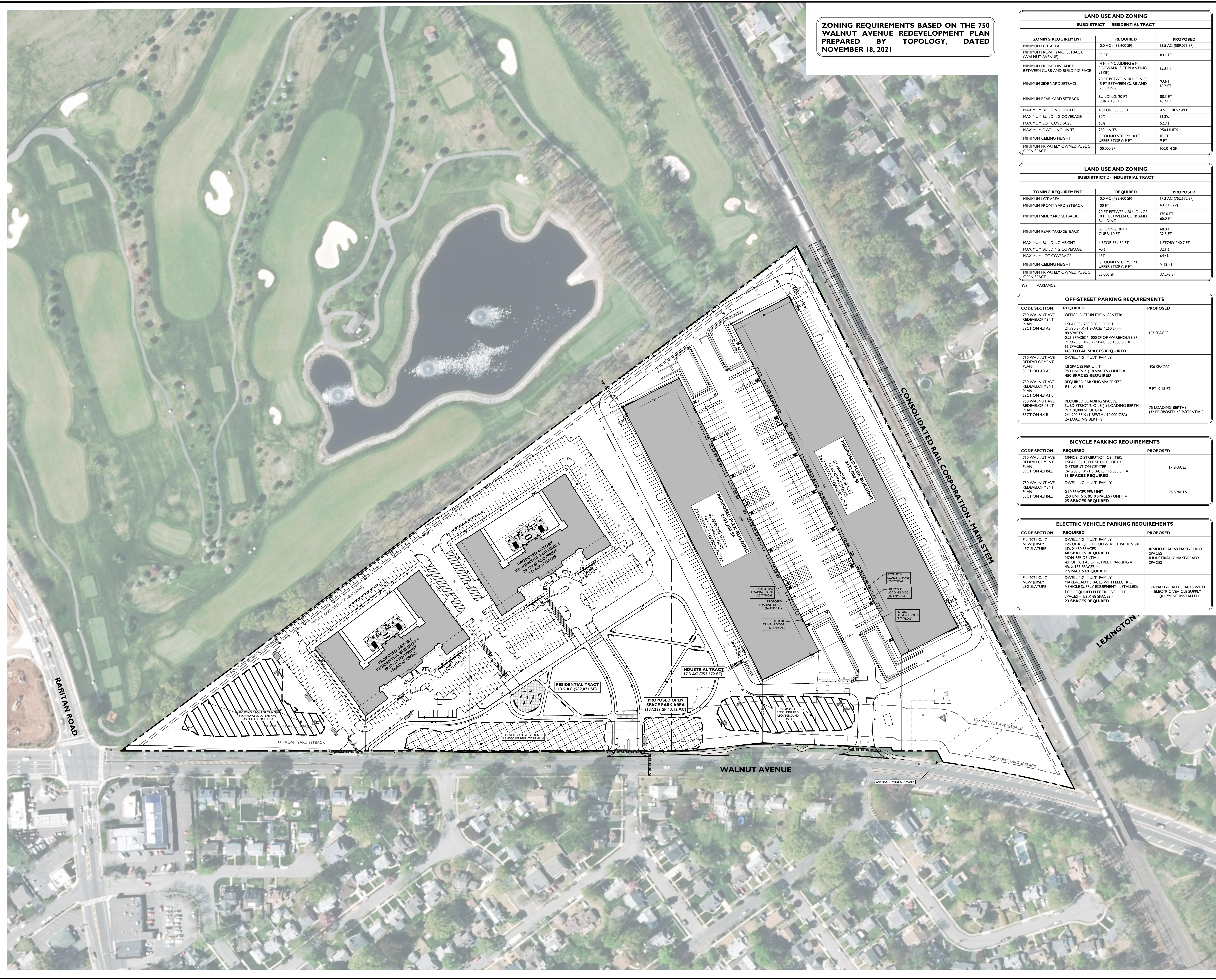
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CHK BY : ZC

DWG NO. :

C-4

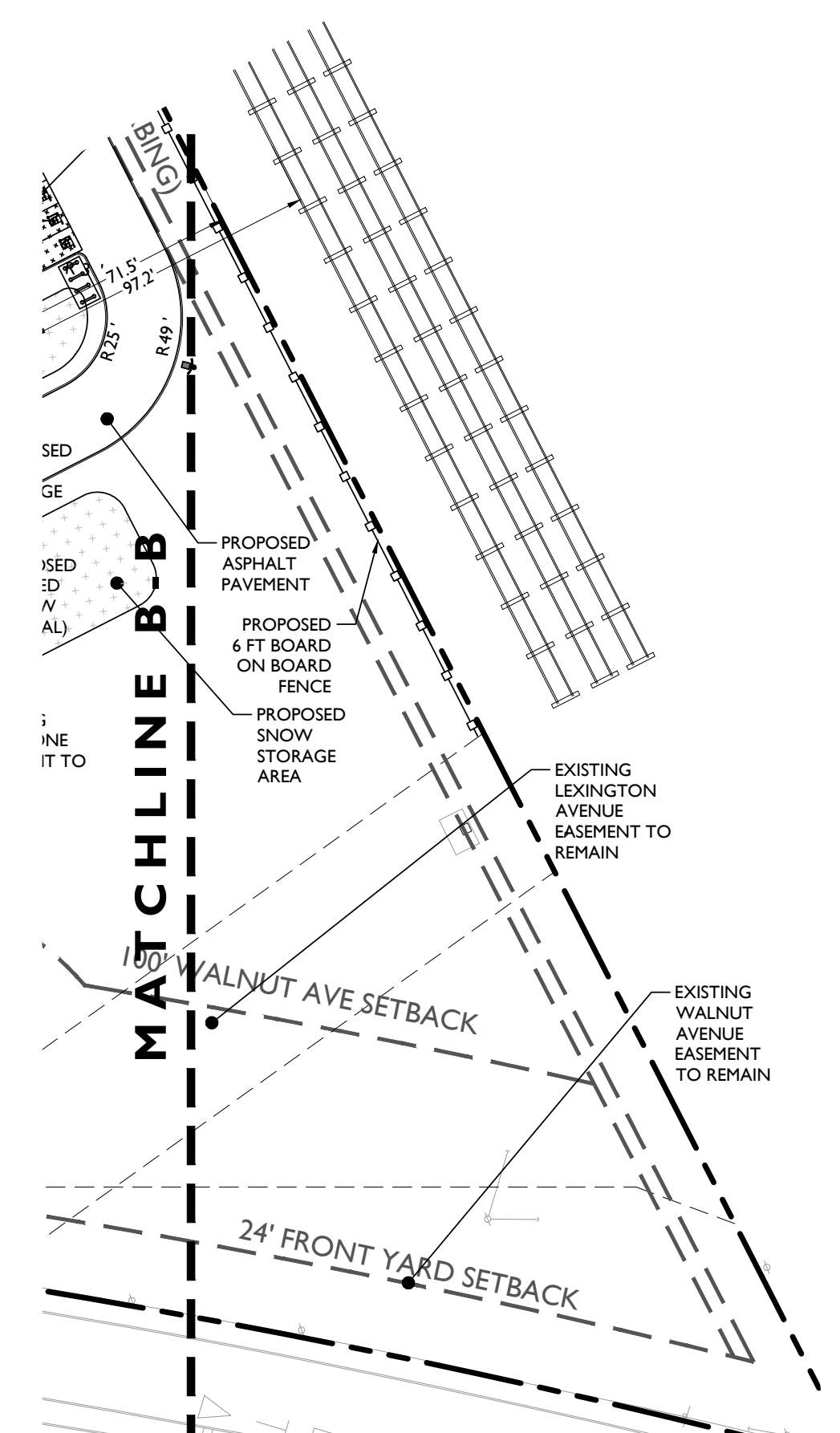
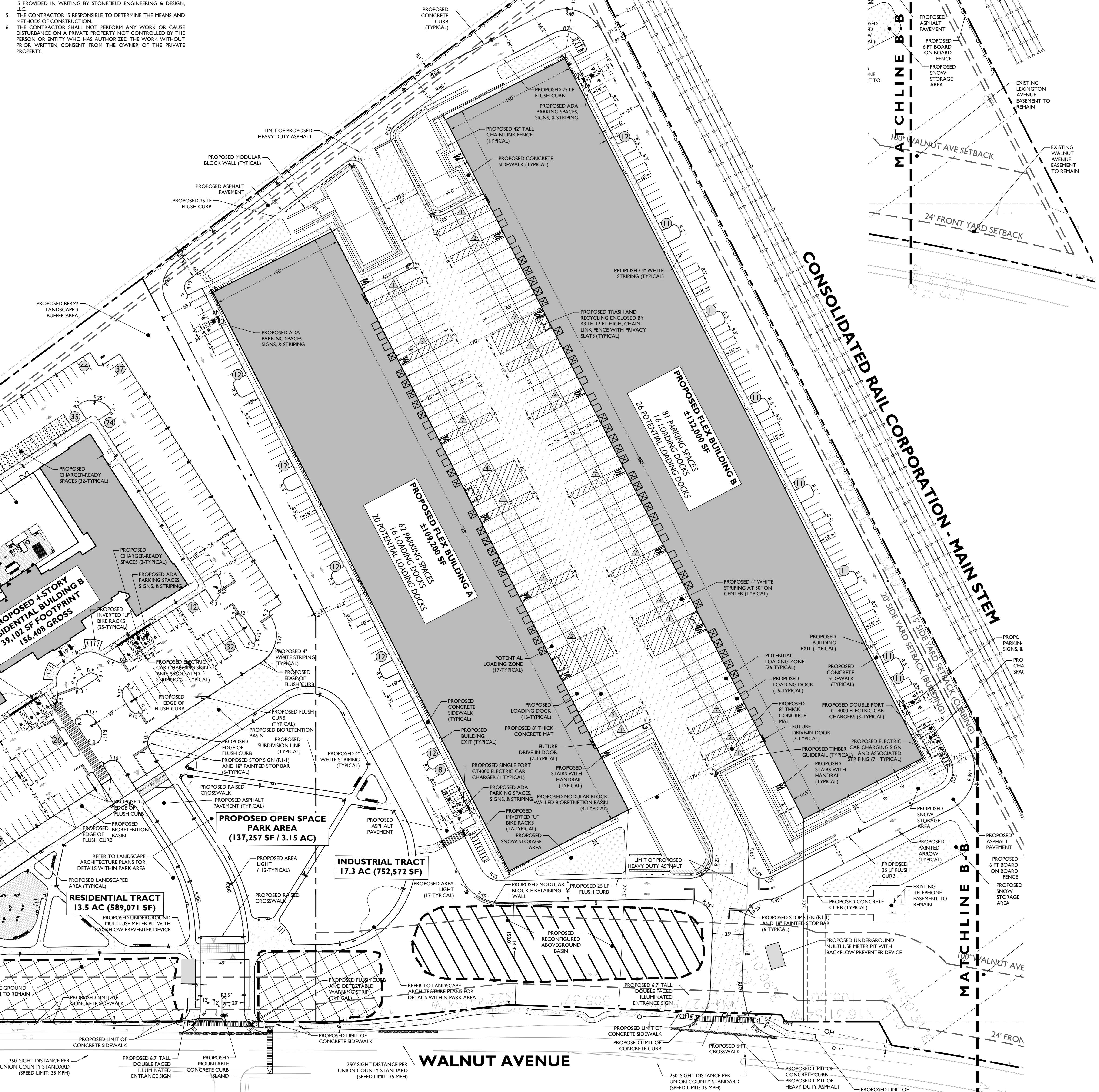
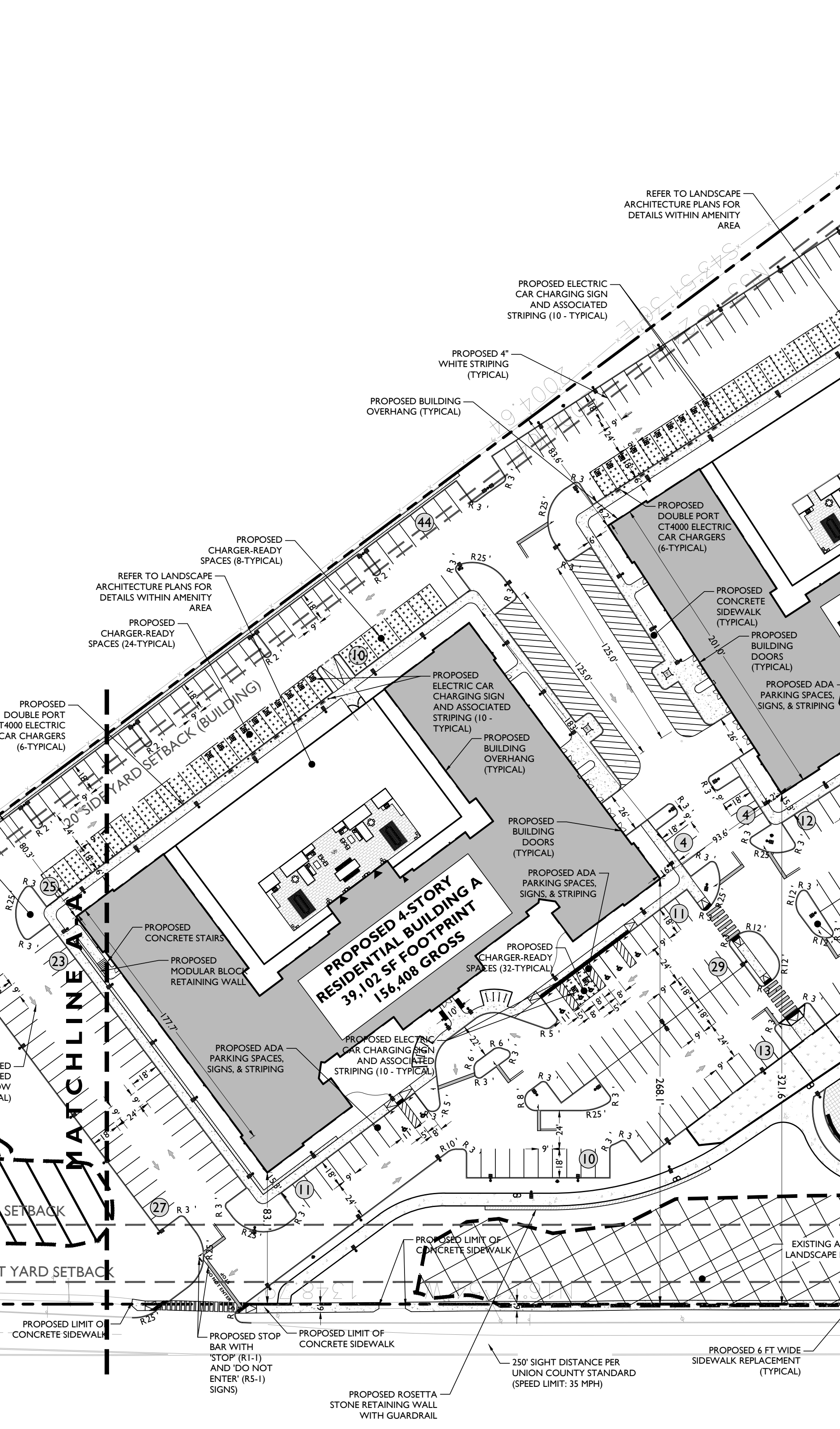
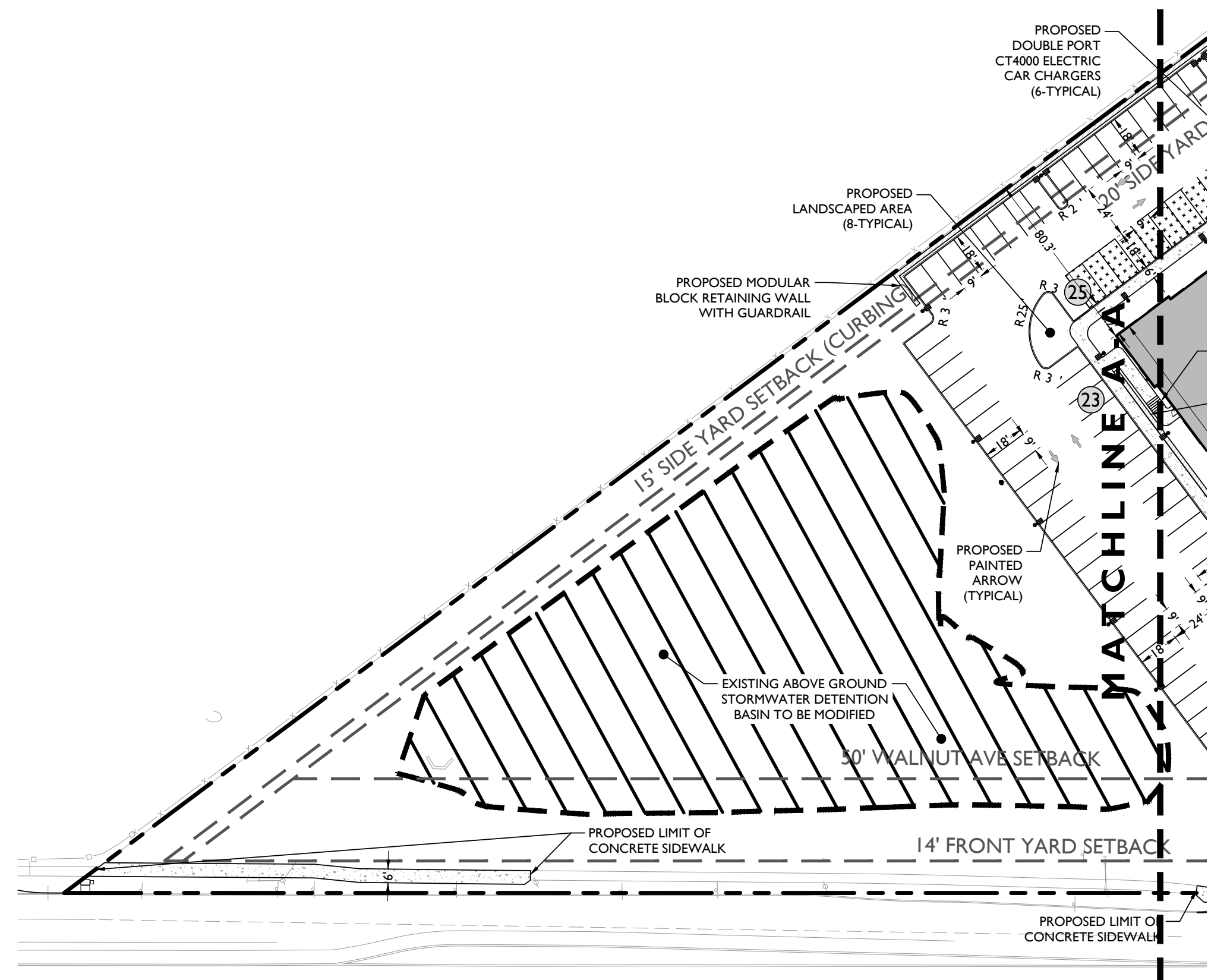
CADD FILE NO. : 4 OF 20



NOTE: SEE ARCHITECTURAL PLANS FOR LOCATION OF INTERIOR TRASH ENCLOSURES ON THE RESIDENTIAL TRACT.

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDESIRED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

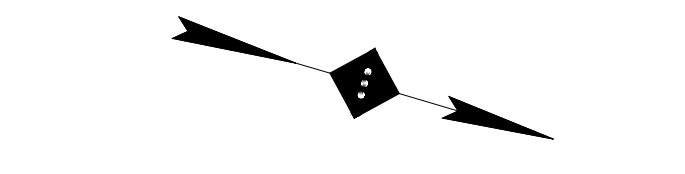


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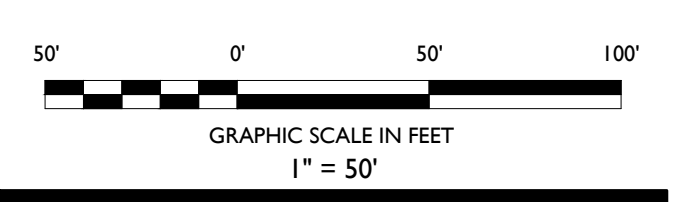
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Phone 718.606.8305

NOTES:



SITE LEGEND

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
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	EXISTING CURB
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED HEAVY DUTY ASPHALT



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REVISION:

PROJECT:
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE:

SITE PLAN

DATE: 08/01/2022

PROJECT NO.: T-16509

DRAWING BY: FT

CHK BY: ZC

DWG NO: **C-5**

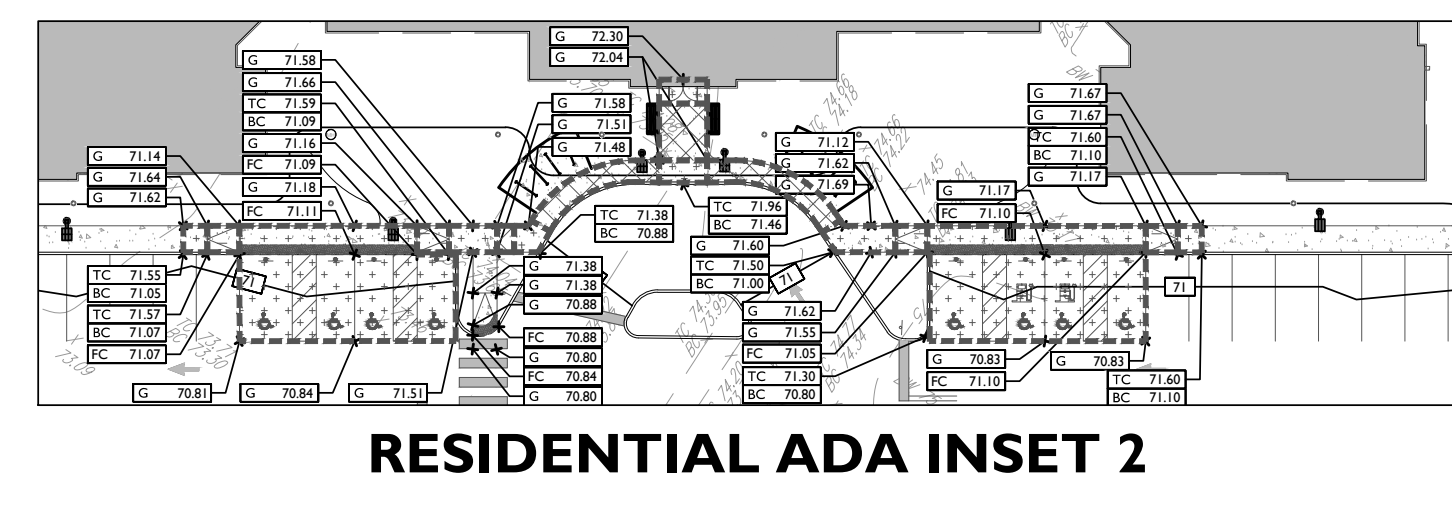
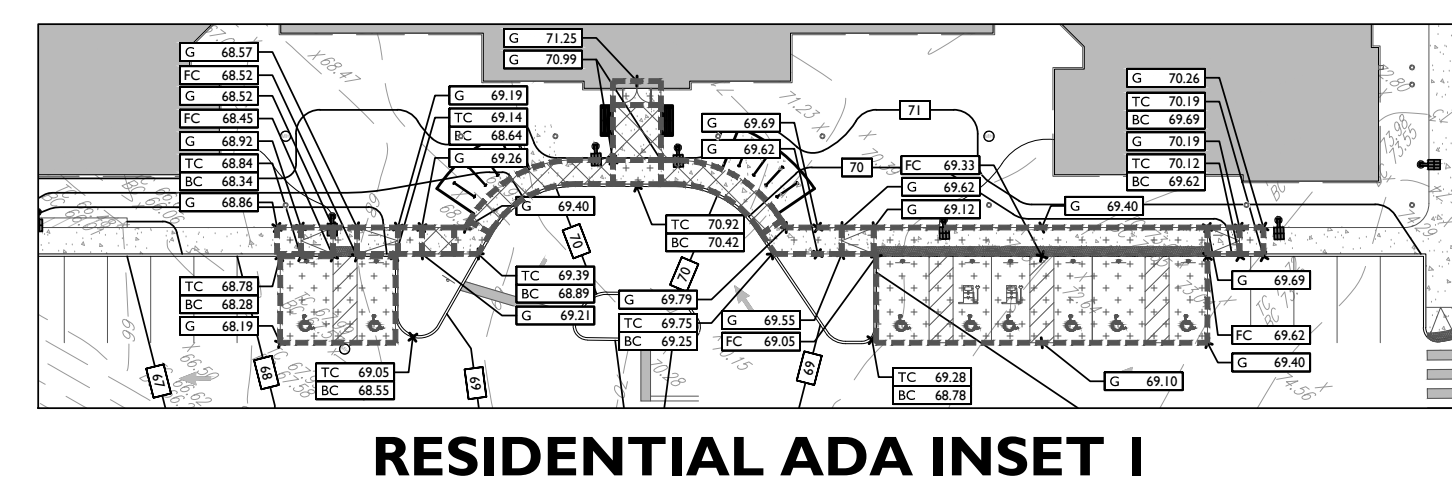
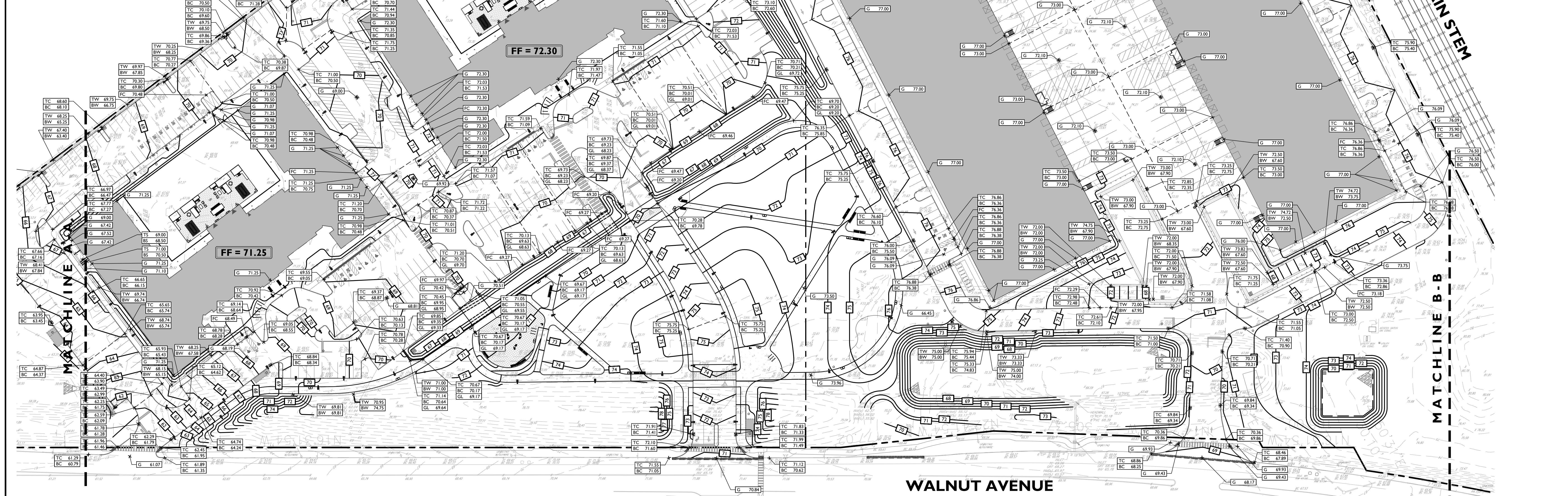
CADD FILE NO: 5 OF 20

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 3.0% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 1.0% RUNNING SLOPE AND A MAXIMUM OF 2.0% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.0% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDING BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 0.33% RUNNING SLOPE AND A MAXIMUM 2.0% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL, WHERE PROVIDED. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.0% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 4 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A ROSE GREATER THAN 4 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 1 UNITS HORIZONTAL (SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND REST ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASINMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.



ADA LEGEND

- 2.0% MAXIMUM SLOPE WITHIN ALL DIRECTIONS
 - 8.3% MAXIMUM RUNNING SLOPE
 - 2.0% MAXIMUM CROSS SLOPE
 - 5.0% MAXIMUM RUNNING SLOPE
 - 2.0% MAXIMUM CROSS SLOPE
- NOTE: THIS ADA SLOPE SUMMARY INSET IS INTENDED TO SERVE AS A DESIGN SUMMARY OF THE GRADING PLAN. THE GRADING PLAN SHALL TAKE PRECEDENCE OVER THE SLOPES INDICATED WITHIN THIS INSET. THE CONTRACTOR SHALL REFER TO THE SPOT SHOTS INDICATED ON THE GRADING PLAN FOR USE DURING CONSTRUCTION.

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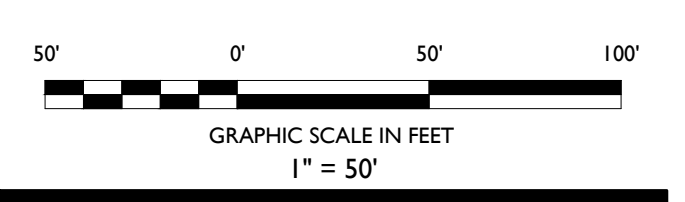


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- NOTES:**
- 03 FT 10/03/22 REVISED PER MUNICIPAL COMMENTS
 - 02 FT 08/01/22 ISSUED FOR BID
 - 01 FT 05/23/22 ISSUED FOR TOWN COUNCIL SUBMISSION
- NO. BY DATE ISSUE OR REVISION

- SITE LEGEND**
- PROPERTY BOUNDARY
 - ADJACENT PROPERTY BOUNDARY
 - PROPOSED CURB
 - EXISTING CURB
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - CONTOUR LINE
 - RIDGE LINE



REVISION:

PROJECT:

PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE:

GRADING PLAN

DESIGNER:
ZACHARY E. CHAPLIN
012 98 4 93605

DATE: 08/01/2022

PROJECT NO.: T-16509

DRAWING BY: FT

CHK BY: ZC

DWG NO: **C-6**

CADD FILE NO: 6 OF 20

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AGENCY FOR NOTICE OF CONSTRUCTION/CAVIGATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DETECTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

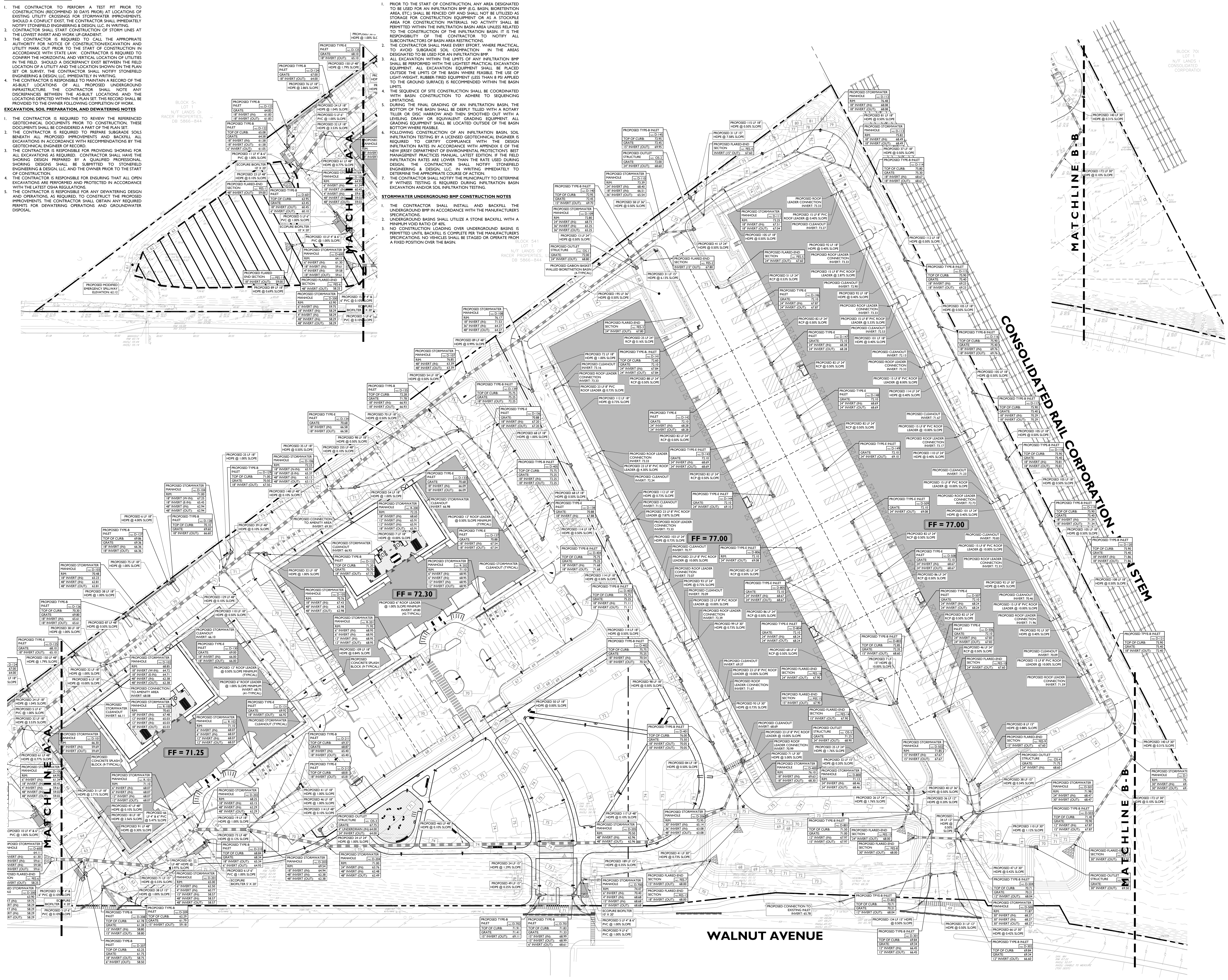
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THIS DESIGN SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERMANENTLY PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

STORMWATER INFILTRATION BMP CONSTRUCTION NOTES

- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIOTRETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SURGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
- ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
- THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
- DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILER OR DISC HARROW AND THEN SHOOTED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
- FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION, IF THE INFILTRATION RATES ARE LOWER THAN THE RATE LISTED UNDER DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES

- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
- NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

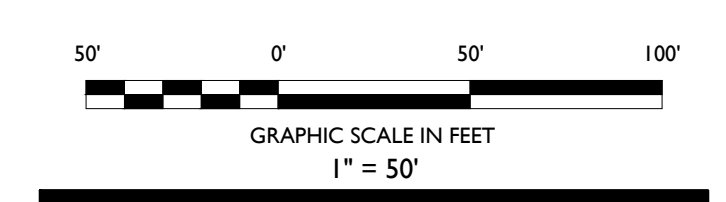
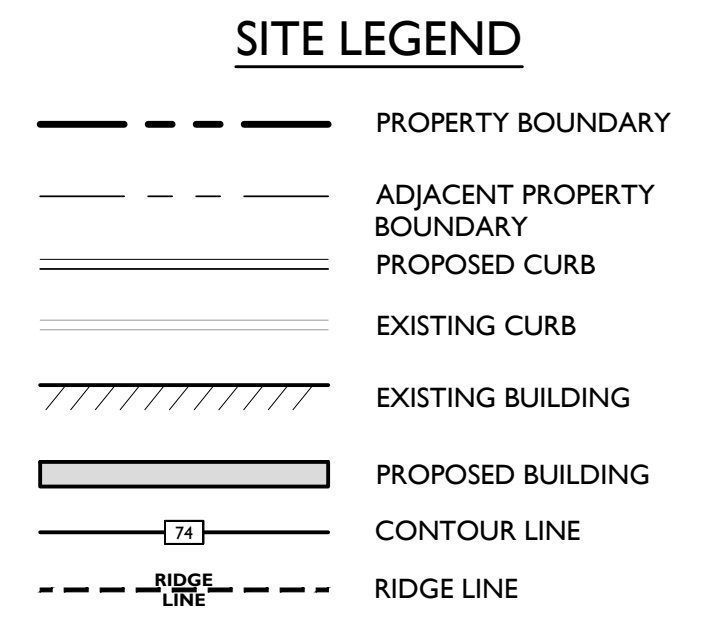
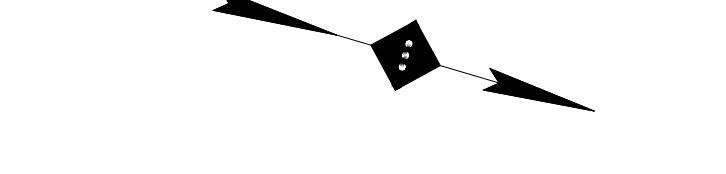


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PROJECT:
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

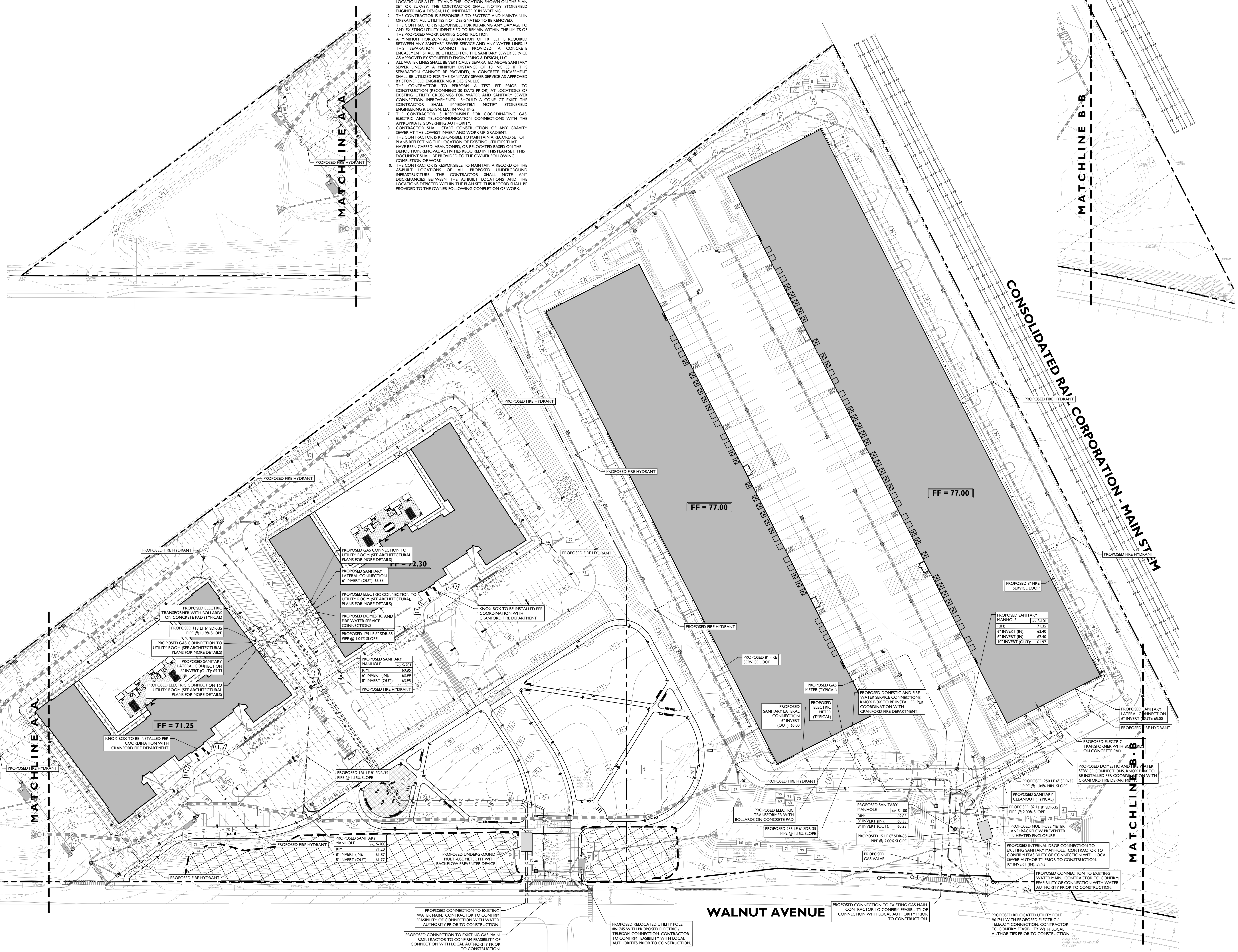
DRAWING TITLE:
DRAINAGE PLAN

DATE: 08/01/2022
PROJECT NO.: T-16509
DRAWING BY: FT
CHK BY: ZC
DWG NO.: C-7
CADD FILE NO.: 7 OF 20

NOTE: ALL PROPOSED ON-SITE UTILITIES ARE LOCATED UNDERGROUND.

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/CAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



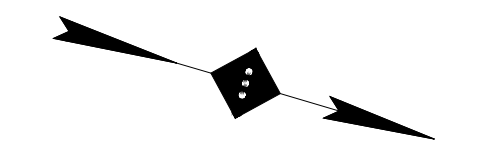
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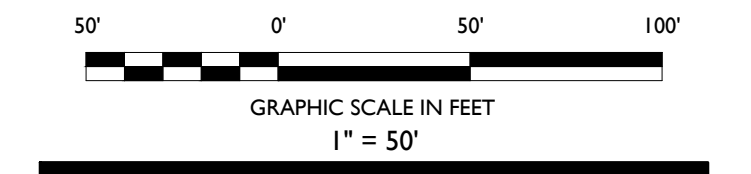
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Phone 718.606.8305

NOTES :



SITE LEGEND

- PROPERTY LINE
- SAN --- PROPOSED SANITARY LATERAL
- W --- PROPOSED DOMESTIC WATER SERVICE
- E/D/C --- PROPOSED ELECTRICAL/DATA CONDUITS
- T/C --- PROPOSED DATA CONDUITS
- E --- PROPOSED ELECTRIC CONDUITS
- OH --- PROPOSED OVERHEAD WIRES
- G --- PROPOSED GAS LINE
- ∩ --- PROPOSED VALVE
- └┘ --- PROPOSED WATER TEE / BEND
- ⊙ --- PROPOSED FIRE HYDRANT
- ⊙ --- PROPOSED SANITARY MANHOLE / CLEANOUT
- ⊙ --- PROPOSED UTILITY POLE
- ⊙ --- PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS



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NO.	BY	DATE	ISSUE OR REVISION

REVISION :

PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

UTILITY PLAN

DESIGNER:
ZACHARY E. CHAPLIN
02 PE # 43505

DATE: 08/01/2022

PROJECT NO.: T-16509

DRAWING BY: FT

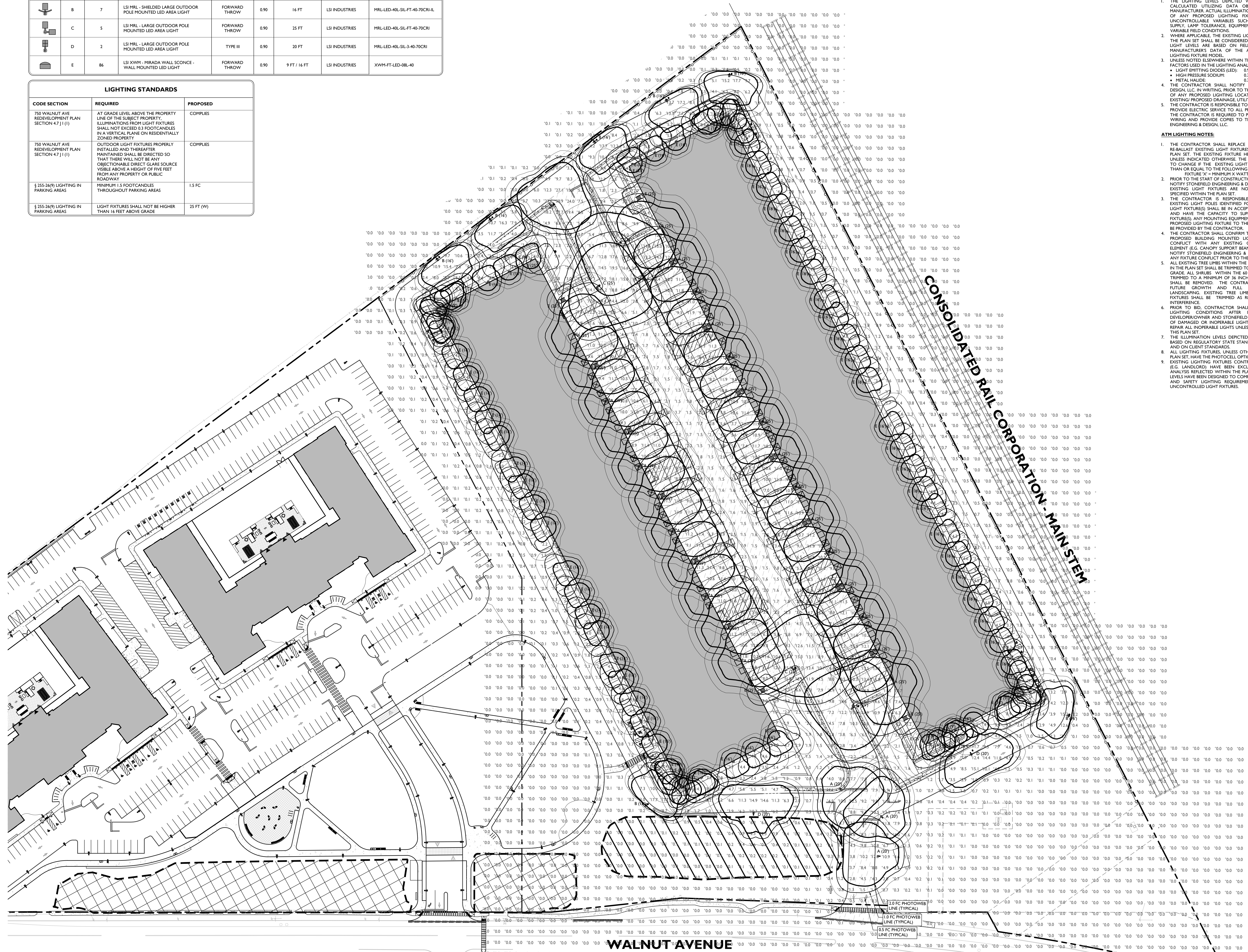
CHK BY: ZC

DWG NO: **C-8**

CADD FILE NO: 8 OF 20

PROPOSED LUMINAIRE SCHEDULE - RESIDENTIAL							
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MOUNTING HEIGHT	IES FILE
	A	26 / 3	LSI MRL - LARGE OUTDOOR WALL OR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	25 FT / 20 FT	LSI INDUSTRIES MRL-LED-40L-SL-FT-40-70CRI
	B	7	LSI MRL - SHIELDED LARGE OUTDOOR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	16 FT	LSI INDUSTRIES MRL-LED-40L-SL-FT-40-70CRI-IL
	C	5	LSI MRL - LARGE OUTDOOR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	25 FT	LSI INDUSTRIES MRL-LED-40L-SL-FT-40-70CRI
	D	2	LSI MRL - LARGE OUTDOOR POLE MOUNTED LED AREA LIGHT	TYPE III	0.90	20 FT	LSI INDUSTRIES MRL-LED-40L-SL-3-40-70CRI
	E	86	LSI XVM - MIRADA WALL SCONCE - WALL MOUNTED LED LIGHT	FORWARD THROW	0.90	9 FT / 16 FT	LSI INDUSTRIES XVM-FT-LED-08L-40

LIGHTING STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.7.1 (1)	AT GRADE LEVEL ABOVE THE PROPERTY LINE OF THE SUBJECT PROPERTY. ILLUMINATION FROM LIGHT FIXTURES SHALL NOT EXCEED 0.3 FOOTCANDLES IN A VERTICAL PLANE ON RESIDENTIALLY ZONED PROPERTY.	COMPLIES
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.7.1 (1)	OUTDOOR LIGHT FIXTURES PROPERLY INSTALLED AND THEREAFTER MAINTAINED SHALL BE DIRECTED SO THAT THERE WILL NOT BE ANY OBJECTIONABLE DIRECT GLARE SOURCE VISIBLE ABOVE A HEIGHT OF FIVE FEET FROM ANY PROPERTY OR PUBLIC ROADWAY.	COMPLIES
§ 255-26(9) LIGHTING IN PARKING AREAS	MINIMUM 1.5 FOOTCANDLES THROUGHOUT PARKING AREAS	1.5 FC
§ 255-26(9) LIGHTING IN PARKING AREAS	LIGHT FIXTURES SHALL NOT BE HIGHER THAN 16 FEET ABOVE GRADE	25 FT (W)



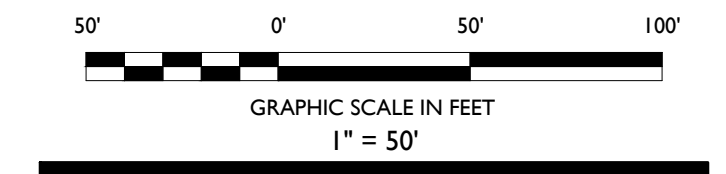
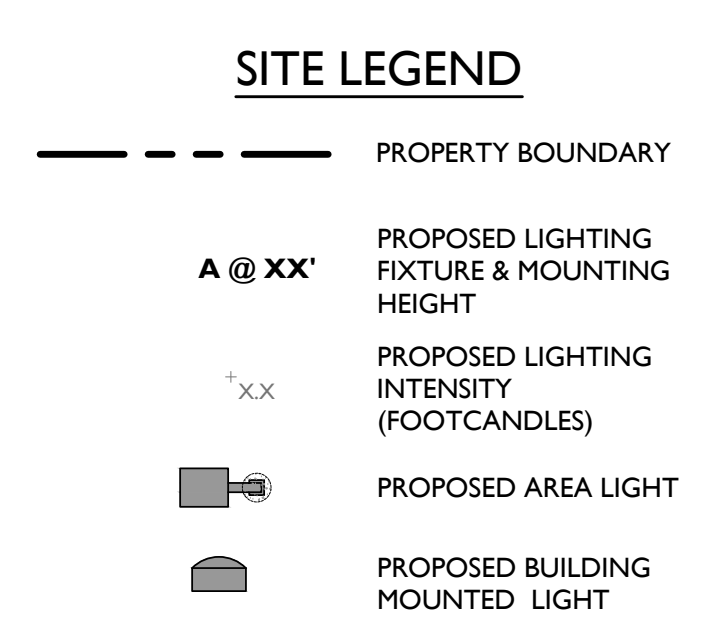
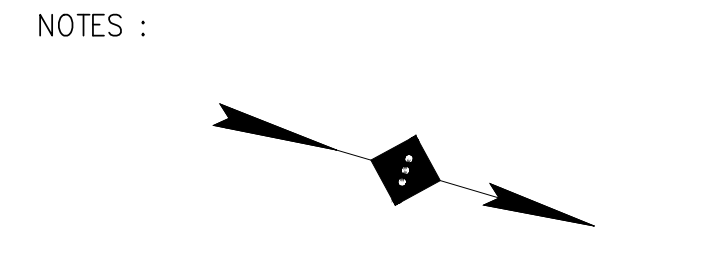
- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODELS.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN LLC IN WRITING PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRICAL SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RELAMP AND REBALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE "X" - MINIMUM WATTAGE
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DARK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC, OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS, INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

HARTZ MOUNTAIN INDUSTRIES
500 PLAZA DRIVE
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NO.	BY	DATE	ISSUE OR REVISION

PROJECT:
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE:
LIGHTING PLAN - INDUSTRIAL SUBDIVISION

DESIGNER:
ZACHARY E. CHAPLIN
02 PE # 53605

DATE: 08/01/2022

PROJECT NO.: T-16509

DRAWING BY: FT

CHK BY: ZC

DWG NO.: **C-9**

CADD FILE NO.: 9 OF 20

NOTE: LIGHT FIXTURES IN THE RESIDENTIAL OUTDOOR PARK SEATING AREAS TO BE INSTALLED WITH EXTERIOR ELECTRIC OUTLETS.

PROPOSED LUMINAIRE SCHEDULE - RESIDENTIAL							
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MOUNTING HEIGHT	IES FILE
F		77	OPULENCE SERIES POST TOP ARCHITECTURAL LUMINAIRE	TYPE IV	0.90	16 FT	LSI INDUSTRIES OPS-PT-14L-4F-40K8.IES
G		47	OPULENCE SERIES POST TOP ARCHITECTURAL LUMINAIRE	TYPE III	0.90	12 FT	LSI INDUSTRIES OPS-PT-14L-3W-40K8.IES
H		5	OPULENCE SERIES TWIN POST TOP ARCHITECTURAL LUMINAIRE	TYPE IV	0.90	16 FT	LSI INDUSTRIES OPS-PT-14L-4F-40K8.IES
I		4	OPULENCE SERIES TWIN POST TOP ARCHITECTURAL LUMINAIRE	TYPE III	0.90	16 FT	LSI INDUSTRIES OPS-PT-14L-3W-40K8.IES



OPULENCE SERIES POST TOP
NOT TO SCALE

LIGHTING STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.7.1 (1)	AT GRADE LEVEL ABOVE THE PROPERTY LINE OF THE SUBJECT PROPERTY, ILLUMINATIONS FROM LIGHT FIXTURES SHALL NOT EXCEED 0.3 FOOT-CANDELES IN A VERTICAL PLANE ON RESIDENTIALLY ZONED PROPERTY	COMPLIES
750 WALNUT AVE REDEVELOPMENT PLAN SECTION 4.7.1 (1)	OUTDOOR LIGHT FIXTURES PROPERLY INSTALLED AND THEREAFTER MAINTAINED SHALL BE DIRECTED SO THAT THERE WILL NOT BE ANY OBJECTIONABLE DIRECT GLARE SOURCE VISIBLE ABOVE A HEIGHT OF FIVE FEET FROM ANY PROPERTY OR PUBLIC ROADWAY	COMPLIES
§ 255-26(9) LIGHTING IN PARKING AREAS	MINIMUM 1.5 FOOT-CANDELES THROUGHOUT PARKING AREAS	1.5 FC
§ 255-26(9) LIGHTING IN PARKING AREAS	LIGHT FIXTURES SHALL NOT BE HIGHER THAN 16 FEET ABOVE GRADE	COMPLIES

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER, ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODELS.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RELAMP AND REBALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE "X" = MINIMUM "X" WATTS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
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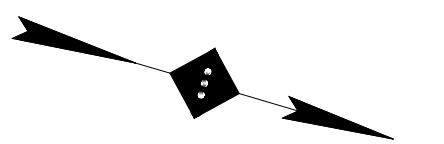
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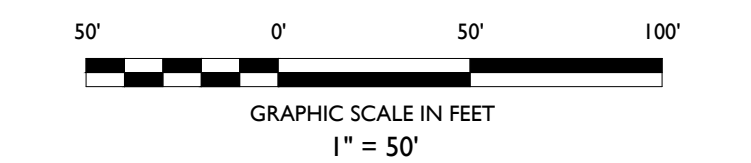
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Phone 718.606.8305

NOTES:



SITE LEGEND

- PROPERTY BOUNDARY
- A @ XX' PROPOSED LIGHTING FIXTURE & MOUNTING HEIGHT
- xx PROPOSED LIGHTING INTENSITY (FOOT-CANDELES)
- ☐ PROPOSED AREA LIGHT
- ☐ PROPOSED BUILDING MOUNTED LIGHT



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REVISION:

PROJECT:
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE:
LIGHTING PLAN - RESIDENTIAL SUBDIVISION AND PARK

DESIGNER:
ZACHARY E. CHAPLIN
062 PE # 53605

DATE: 08/01/2022

PROJECT NO.: T-16509

DRAWING BY: FT

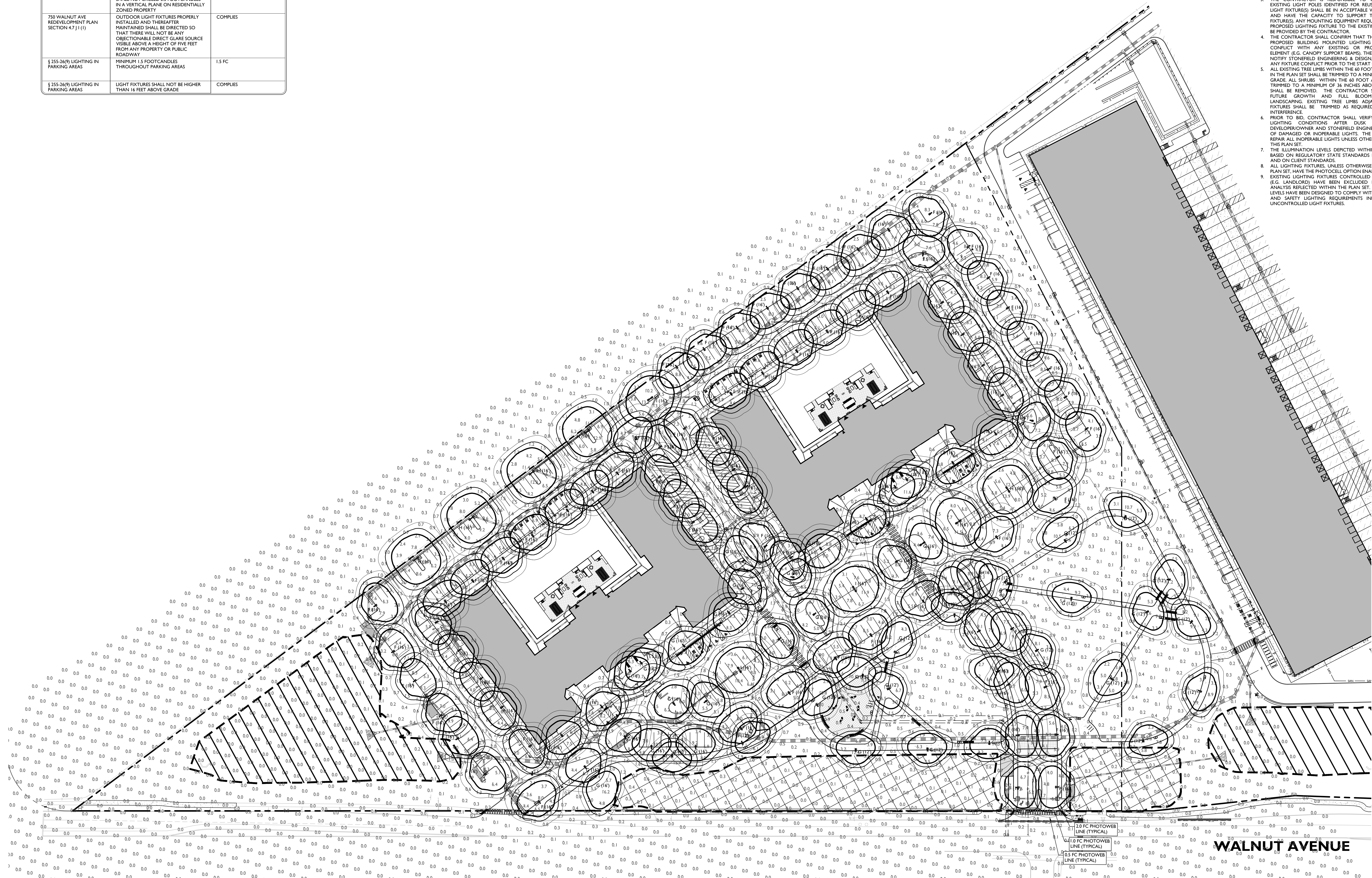
CHK BY: ZC

DWG NO:

C-10

CADD FILE NO:

10 OF 20



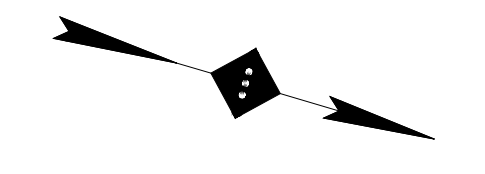
2.0 FC PHOTOVIEW LINE (TYPICAL)
1.0 FC PHOTOVIEW LINE (TYPICAL)
0.5 FC PHOTOVIEW LINE (TYPICAL)

WALNUT AVENUE



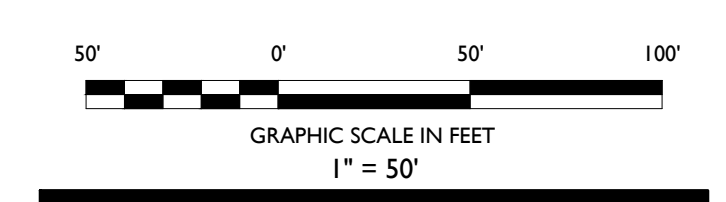
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NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- SOIL TYPE BOUNDARY
- LOD - PROPOSED LIMIT OF DISTURBANCE
- SF - PROPOSED SILT FENCE
- TPF - PROPOSED TREE PROTECTION FENCE
- PROPOSED STOCKPILE & EQUIPMENT STORAGE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED INLET PROTECTION FILTER



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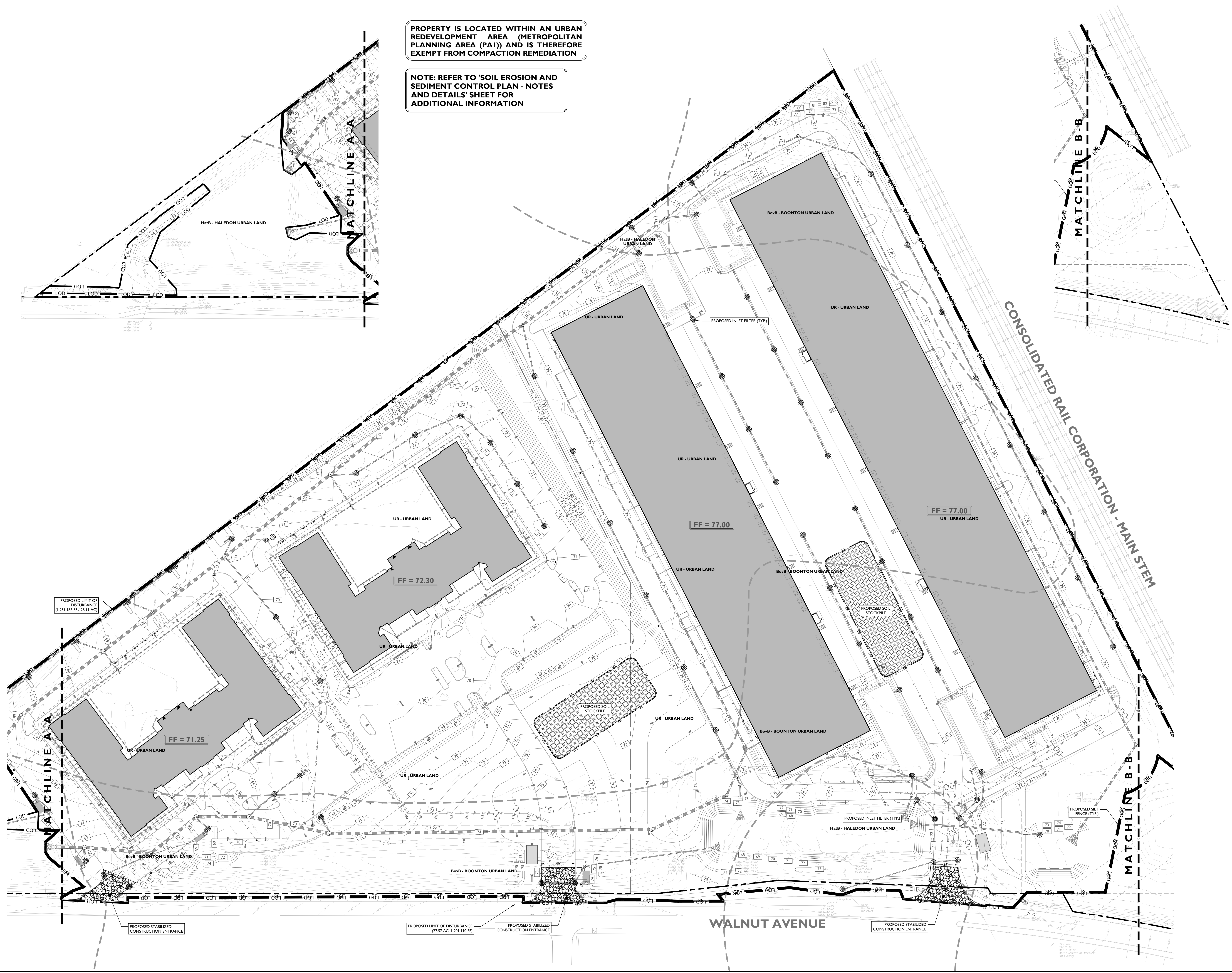
PROJECT :
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :
SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE : 08/01/2022
PROJECT NO. : T-16509
DRAWING BY : FT
CHK BY : ZC
DWG NO. : **C-11**
CADD FILE NO. :
11 OF 20

PROPERTY IS LOCATED WITHIN AN URBAN REDEVELOPMENT AREA (METROPOLITAN PLANNING AREA (PA1)) AND IS THEREFORE EXEMPT FROM COMPACTION REMEDIATION

NOTE: REFER TO 'SOIL EROSION AND SEDIMENT CONTROL PLAN - NOTES AND DETAILS' SHEET FOR ADDITIONAL INFORMATION

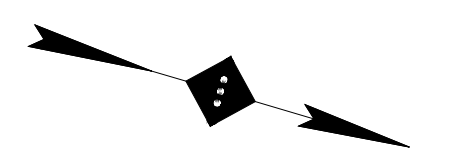




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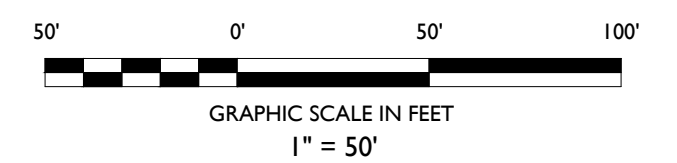
584 Broadway, Suite 310, New York, NY 10012
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NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- PROPOSED CURB
- EXISTING CURB
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY ASPHALT



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REVISION :

PROJECT :
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

SOIL EROSION AND SEDIMENT CONTROL PLAN - NOTES AND DETAILS

DESIGNER:
ZACHARY E. CHAPLIN
02 PE # 53605

DATE : 08/01/2022

PROJECT NO. : T-16509

DRAWING BY : FT

CHK BY : ZC

DWG NO. : **C-12**

CADD FILE NO. : 12 OF 20

15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAR DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED TO SOIL CONTACT AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATIONS, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 150 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH AS OPPOSED TO STRAW IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.
19. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.

BASIN COMPACTION NOTES

1. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" INCHES WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
2. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED AND FIRMED IN ACCORDANCE WITH ABOVE.
3. IMMEDIATELY PRIOR TO TOPSOILING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" INCHES WHERE THERE HAS BEEN SOIL COMPACTION. THIS WILL HELP INSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
4. SOIL COMPACTION RESULTING FROM LAND GRADING ACTIVITIES CAN IMPACT THE INFILTRATION RATE OF THE SOIL. RESTORATION OF COMPACTED SOILS THROUGH DEEP TILLAGE (6" TO 12") AND THE ADDITION OF ORGANIC MATTER MAY BE REQUIRED IN PLANNED PREVIOUS AREAS TO ENHANCE THE INFILTRATION RATE OF THE DISTURBED SOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLE, IRRIGATION SYSTEMS, ETC.).
5. TO PREVENT COMPACTION OF THE SUBSOIL WHICH WILL REDUCE ITS INFILTRATION CAPACITY, BASINS SHOULD BE EXCAVATED WITH LIGHT EARTH MOVING EQUIPMENT. PREFERABLY WITH TRACKS OR OVER-SIZED TIRES RATHER THAN THE NORMAL RUBBER TIRES. ONCE THE FINAL CONSTRUCTION PHASE IS REACHED, THE FLOOR OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLED DISC HARROW AND SMOOTHED OVER WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT.
6. FOR BASINS, ANNUAL TILLING OPERATIONS MAINTAIN INFILTRATION CAPACITY. THESE TILLED AREAS SHOULD BE RE-VEGETATED IMMEDIATELY TO PREVENT EROSION. DEEP TILLING CAN BE USED TO BREAKUP CLOGGED SURFACE LAYERS FOLLOWED BY REGARDING AND LEVELING. SAND OR ORGANIC MATTER CAN BE TILLED INTO THE BASIN FLOOR TO PROMOTE A RESTORED INFILTRATION CAPACITY. SEDIMENT REMOVAL PROCEDURES SHOULD NOT BE UNDERTAKEN UNTIL THE BASIN IS THOROUGHLY DRY. THE TOP LAYER SHOULD BE REPAIRED BY LIGHT EQUIPMENT TO PREVENT COMPACTION. THE REMAINING SOIL CAN BE RETILED AND DISTURBED VEGETATION REPLANTED.

SEQUENCE OF CONSTRUCTION

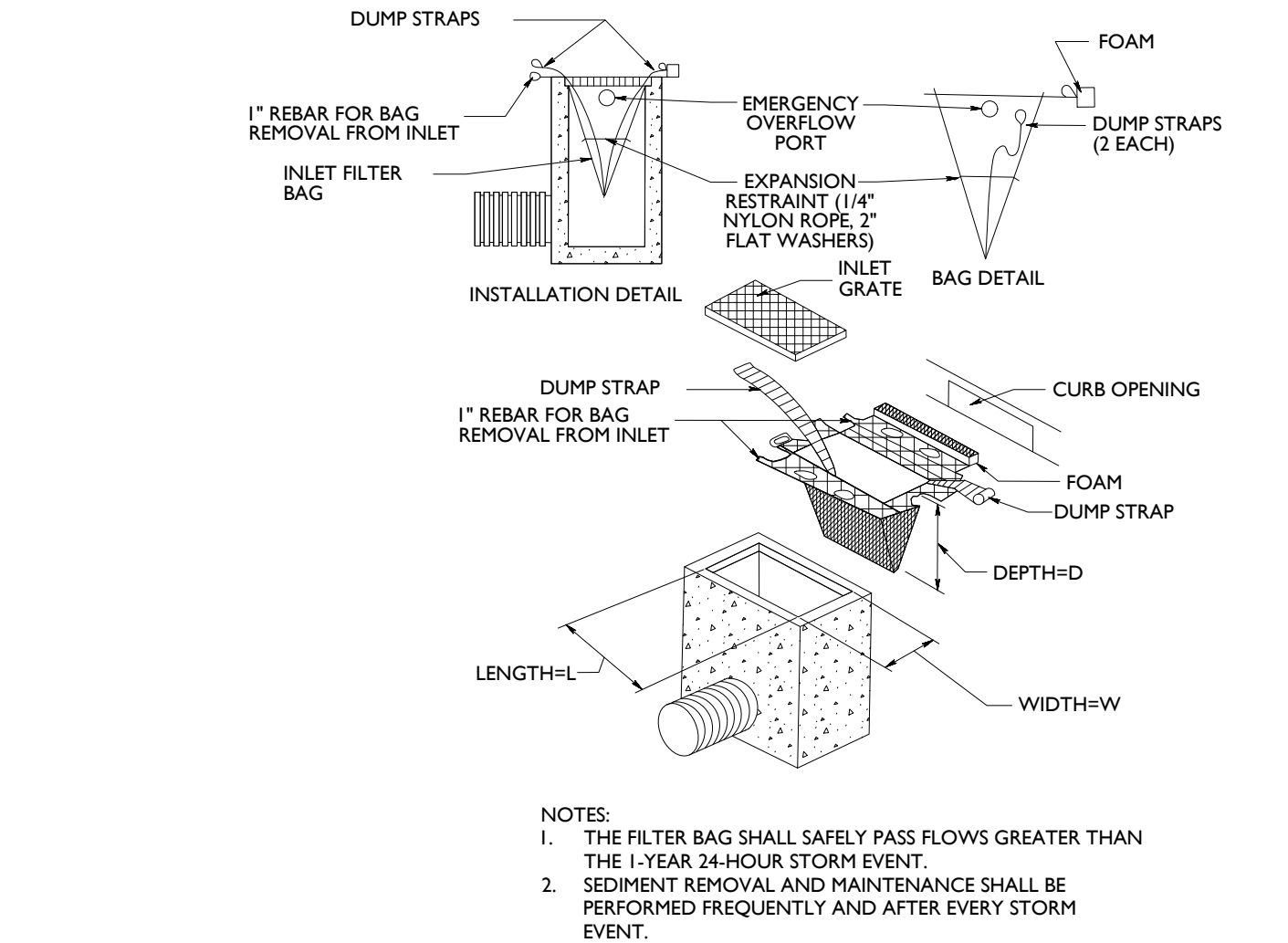
1. INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE (3 DAYS)
2. DEMOLISH EXISTING STRUCTURE AND CLEAR SITE. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL NEXT PHASE OF CONSTRUCTION BEGINS (5 WEEKS)
3. CONSTRUCT STORMWATER MANAGEMENT FACILITIES AND ASSOCIATED DRAINAGE IMPROVEMENTS. INSTALL INLET FILTERS ON INLETS AS THEY ARE INSTALLED (4 WEEKS)
4. ROUGH GRADING AND EXCAVATION (6 WEEKS)
5. COMMENCE BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (6 MONTHS)
6. PERMANENTLY STABILIZE ALL EXPOSED AREAS AND INSTALL ALL FINAL LANDSCAPING FEATURES (4 WEEKS)
7. REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES (1 WEEK)

DUST CONTROL NOTES

1. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
2. VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1; PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1; AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
3. SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON PUCK SOILS) KEEP TRAFFIC OFF THESE AREAS.
4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURIAL FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
7. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEP SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
8. STONE COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SOIL EROSION AND SEDIMENT CONTROL NOTES

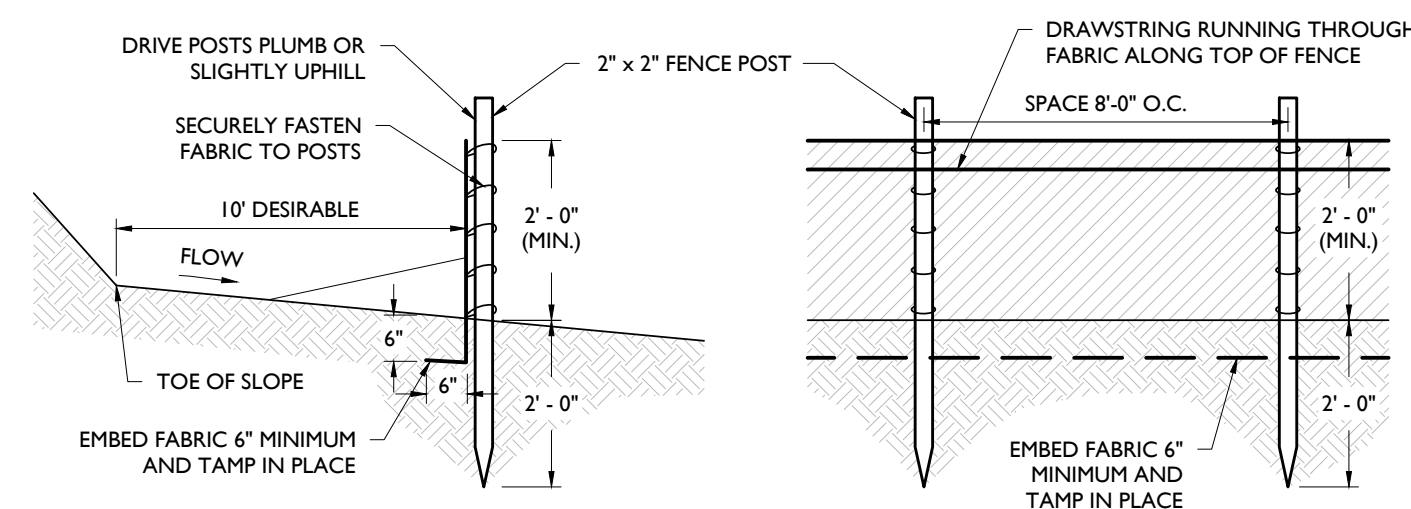
1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
4. PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE ACCORDING TO THE NJ STATE STANDARDS.
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
9. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 500X200X24 PAD OF 1/2 OR 3/4" STONE, AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
11. IN THAT NESA 4.24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.



- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
 2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

INLET FILTER BAG DETAIL

NOT TO SCALE



- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1. ABOVE. SPACING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

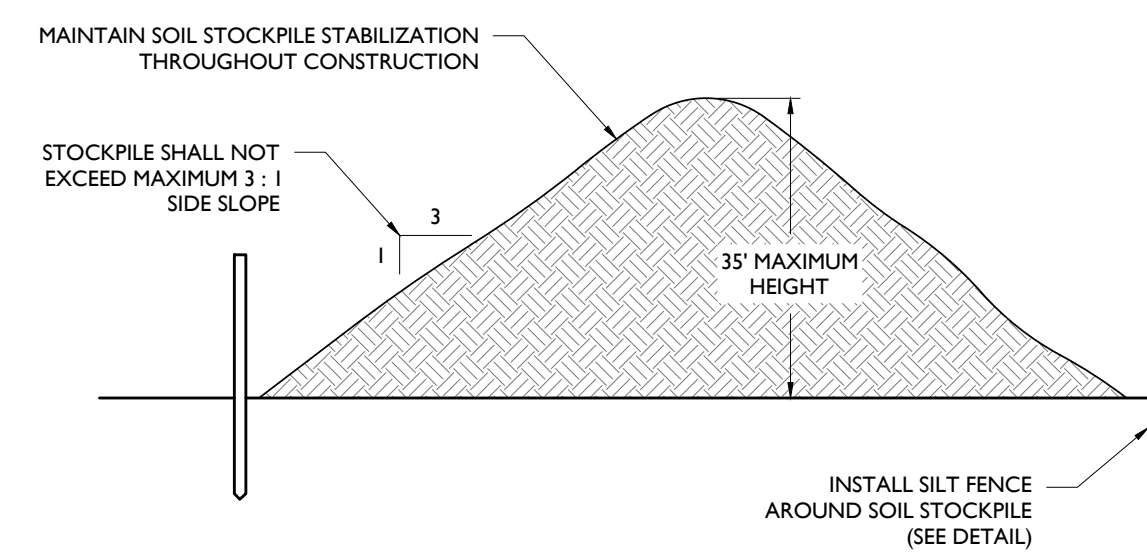
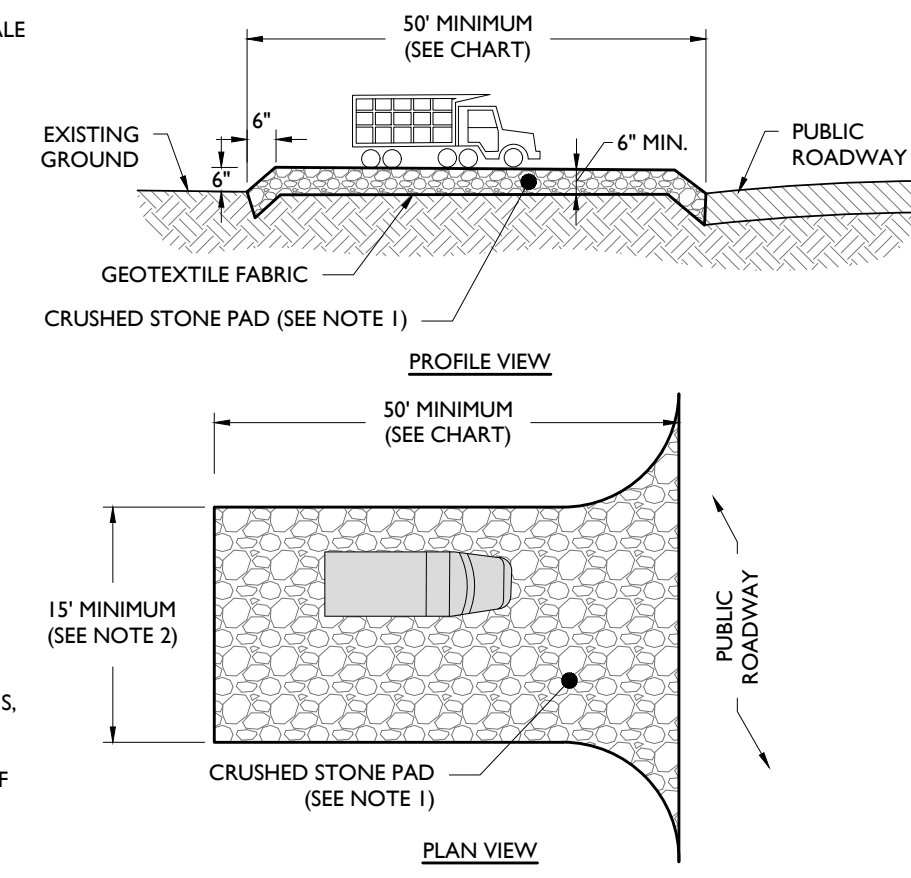
NOT TO SCALE

SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRANULED SOILS	FINE GRANULED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

- NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 2. WIDTH SHALL BE 15" MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL, FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

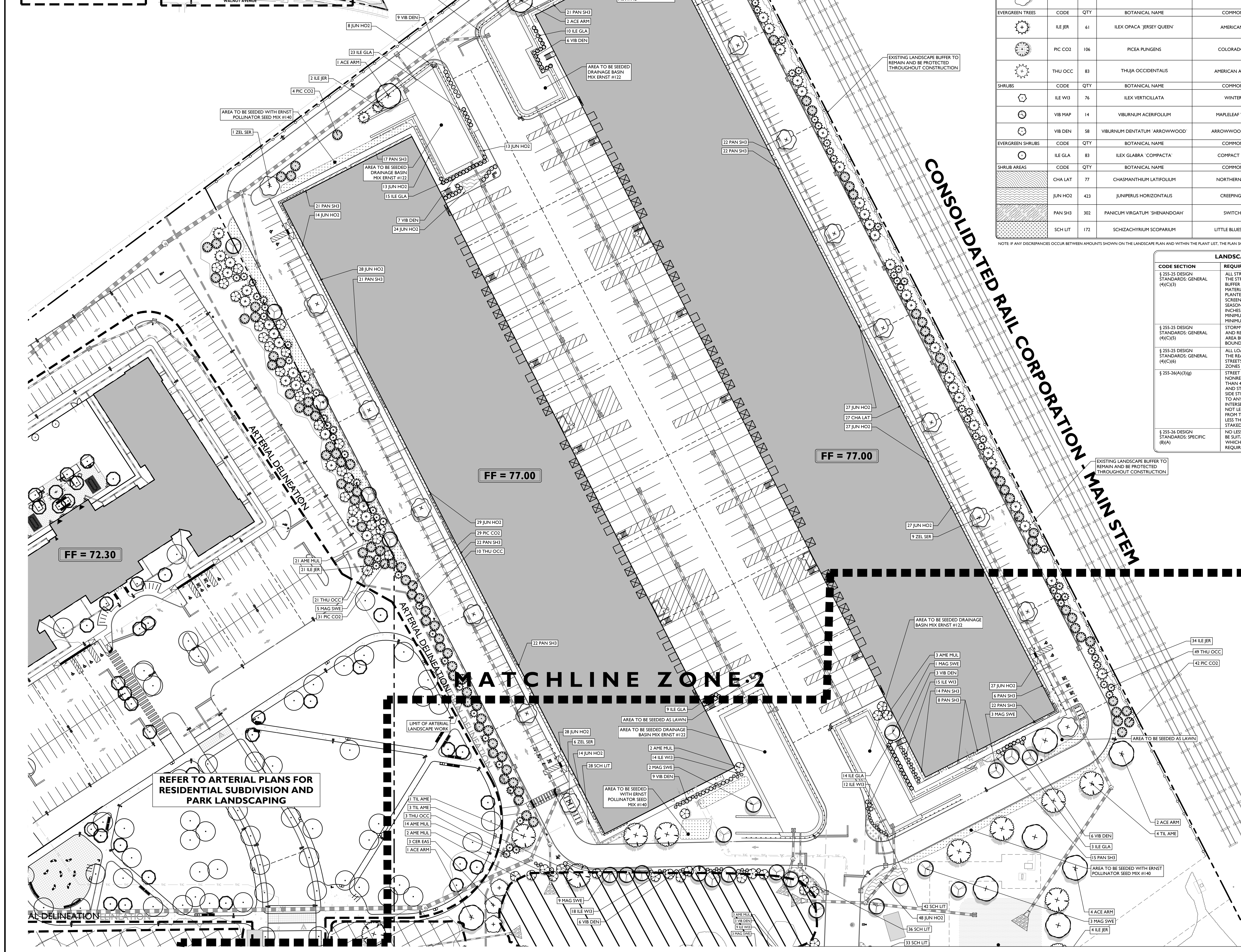
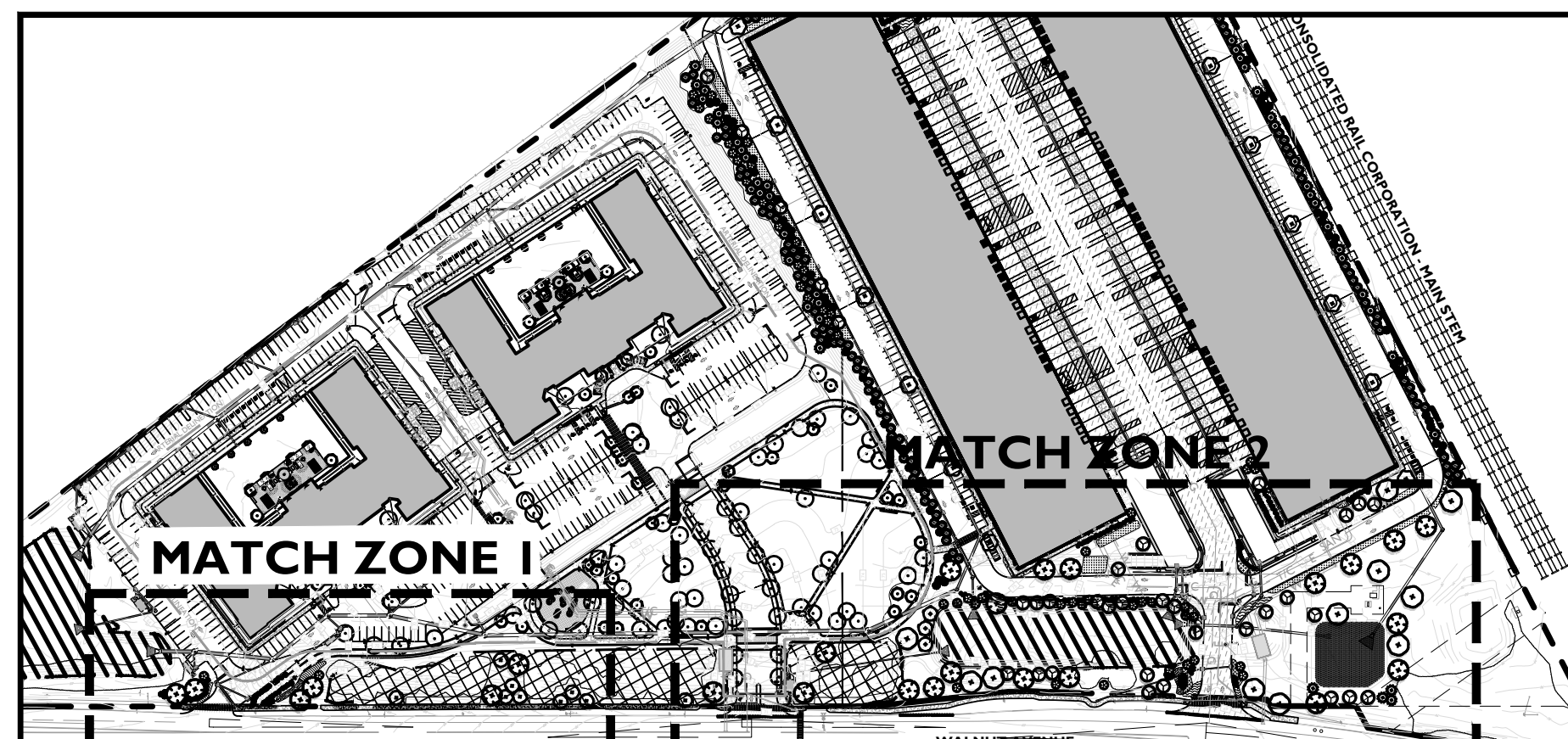
NOT TO SCALE



- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE



TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
(Symbol)	ACE ARM	14	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3'-3.5' CAL	B&B	NATIVE
(Symbol)	AME MUL	52	AMELANCHIER CANADENSIS	SHADLOW SERVICEBERRY MULTITRUNK	4'-8' HT	B&B	NATIVE
(Symbol)	CER EAS	3	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	2.5'-3' CAL	B&B	NATIVE
(Symbol)	MAG SWE	33	MAGNOLIA VIRGINIANA	SWEET BAY	4'-8' HT	B&B	NATIVE
(Symbol)	QUE PAL	9	QUERCUS PALUSTRIS	PIN OAK	3'-3.5' CAL	B&B	NATIVE
(Symbol)	TIL AME	25	TILIA AMERICANA	AMERICAN LINDEN	3'-3.5' CAL	B&B	NATIVE
(Symbol)	ZEL SER	16	ZELKOVA SERRATA	SAWLEAF ZELKOVA	3'-3.5' CAL	B&B	NATIVE
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
(Symbol)	ILE JER	61	ILEX OPACA 'JERSEY QUEEN'	AMERICAN HOLLY	6' HT	B&B	NATIVE
(Symbol)	PIC CO2	106	PICEA PUNGENS	COLORADO SPRUCE	6' HT	B&B	NATIVE
(Symbol)	THU OCC	83	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6' HT	B&B	NATIVE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
(Symbol)	ILE W3	76	ILEX VERTICILLATA	WINTERBERRY	7 GAL	POT	NATIVE
(Symbol)	VIB MAP	14	VIBURNUM ACERIFOLIUM	MAPLELEAF VIBURNUM	7 GAL	POT	NATIVE
(Symbol)	VIB DEN	58	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	7 GAL	POT	NATIVE
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
(Symbol)	ILE GLA	83	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT	NATIVE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
(Symbol)	CHA LAT	77	CHASMANTHUM LATIFOLIUM	NORTHERN SEA OATS	3 GAL	36" o.c.	NATIVE
(Symbol)	JUN HO2	423	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	3 GAL	36" o.c.	NATIVE
(Symbol)	PAN SH3	302	PANICUM VIRGATUM 'SHEMANDOAH'	SWITCH GRASS	3 GAL	40" o.c.	NATIVE
(Symbol)	SCH LIT	172	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	1 GAL	30" o.c.	NATIVE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

CODE SECTION	REQUIRED	PROPOSED
§ 255-25 DESIGN STANDARDS: GENERAL (M)(C)(3)	ALL STRUCTURES REQUIRING BUFFERS TO SCREEN VIEWS FROM THE STREET OR ADJACENT RESIDENTIAL AREAS SHALL PROVIDE A BUFFER OF A MINIMUM OF 30 FEET PLANTED WITH PLANT MATERIAL THAT IS SUFFICIENTLY LARGE AT INSTALLATION AND PLANTED IN A PROPER MANNER TO CREATE AN EVERGREEN SCREEN AT LEAST 10 FEET IN HEIGHT WITHIN THREE GROWING SEASONS. TREES SHALL BE PLANTED AT A MINIMUM OF 2 1/2 INCHES IN CALIBER. EVERGREENS SHALL BE PLANTED AT A MINIMUM OF SIX FEET IN HEIGHT AND SHRUBS SHALL BE A MINIMUM OF TWO FEET IN HEIGHT.	COMPLIES
§ 255-25 DESIGN STANDARDS: GENERAL (M)(C)(5)	STORMWATER MANAGEMENT FACILITIES, INCLUDING DETENTION AND RETENTION FACILITIES, MAY BE LOCATED WITHIN A BUFFER AREA BUT SHALL NOT BE LOCATED WITHIN 40 FEET FROM THE BOUNDARY OF A RESIDENTIAL ZONE.	COMPLIES
§ 255-25 DESIGN STANDARDS: GENERAL (M)(C)(6)	ALL LOADING DOCKS IN ANY C-3 ZONE SHALL BE LOCATED IN THE REAR OF BUILDINGS AND SHALL BE SCREENED FROM STREETS, ADJACENT PROPERTIES AND ALL ADJACENT RESIDENTIAL ZONES AND USES.	COMPLIES
§ 255-26(A)(3)(a)	STREET TREES SHALL BE REQUIRED IN ALL RESIDENTIAL AND NONRESIDENTIAL ZONES. SHADE TREES SHALL NOT BE MORE THAN 40 FEET APART AND LOCATED BETWEEN THE BACKLINE AND STREET RIGHT-OF-WAY LINE IF POSSIBLE INCLUDING THE SIDE STREET OF CORNER LOTS, AND NOT CLOSER THAN 25 FEET TO ANY EXISTING OR PROPOSED STREETLIGHT OR STREET INTERSECTION. TREES SHALL BE NURSERY-GROWN STOCK OF NOT LESS THAN THREE-INCH CALIBER, MEASURED ONE FOOT FROM THE ROOT SYSTEM, WITH BRANCHES COMMENCING NOT LESS THAN EIGHT FEET ABOVE GRADE WHEN PLANTED AND STAKED IN AN APPROVED MANNER.	COMPLIES
§ 255-26 DESIGN STANDARDS: SPECIFIC (B)(A)	NO LESS THAN 10% OF THE AREA OF EACH PARKING AREA SHALL BE SUITABLY LANDSCAPED. WAIVED REQUIRED PARKING AREAS WHICH ARE LANDSCAPED SHALL NOT BE INCLUDED IN THE REQUIRED 10%.	COMPLIES



REVISION	DATE	ISSUE OR REVISION
1	10/03/22	REVISED PER MUNICIPAL COMMENTS
2	08/01/22	ISSUED FOR BID
3	05/23/22	ISSUED FOR TOWN COUNCIL SUBMISSION

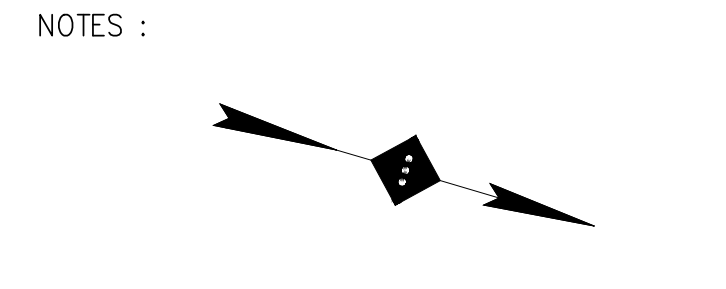
ONE CALL

BEFORE YOU BEGIN WORK FOR A PROJECT AROUND OR NEAR ANY UTILITY, SUCH AS A POWER LINE, GAS LINE, OR TELEPHONE LINE, YOU MUST CALL NEW JERSEY'S ONE CALL CENTER AT 800-4-A-UTILITY (800-428-8874) TO REPORT ANY POTENTIAL CONFLICTS. NEW JERSEY'S ONE CALL CENTER WILL NOTIFY THE APPROPRIATE UTILITY PROVIDERS OF YOUR PROJECT AND PROVIDE YOU WITH THE NECESSARY INFORMATION TO AVOID ANY POTENTIAL CONFLICTS. IF YOU ARE HAVING ANY DIFFICULTY WITH THE ONE CALL CENTER, PLEASE CONTACT THE UTILITY PROVIDER DIRECTLY. FOR A LIST OF UTILITY PROVIDERS, VISIT WWW.ONECALLNJ.COM. IF YOU ARE HAVING ANY DIFFICULTY WITH THE ONE CALL CENTER, PLEASE CONTACT THE UTILITY PROVIDER DIRECTLY.

IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIFF IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY IRRIGATION SYSTEM DRAINAGE WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

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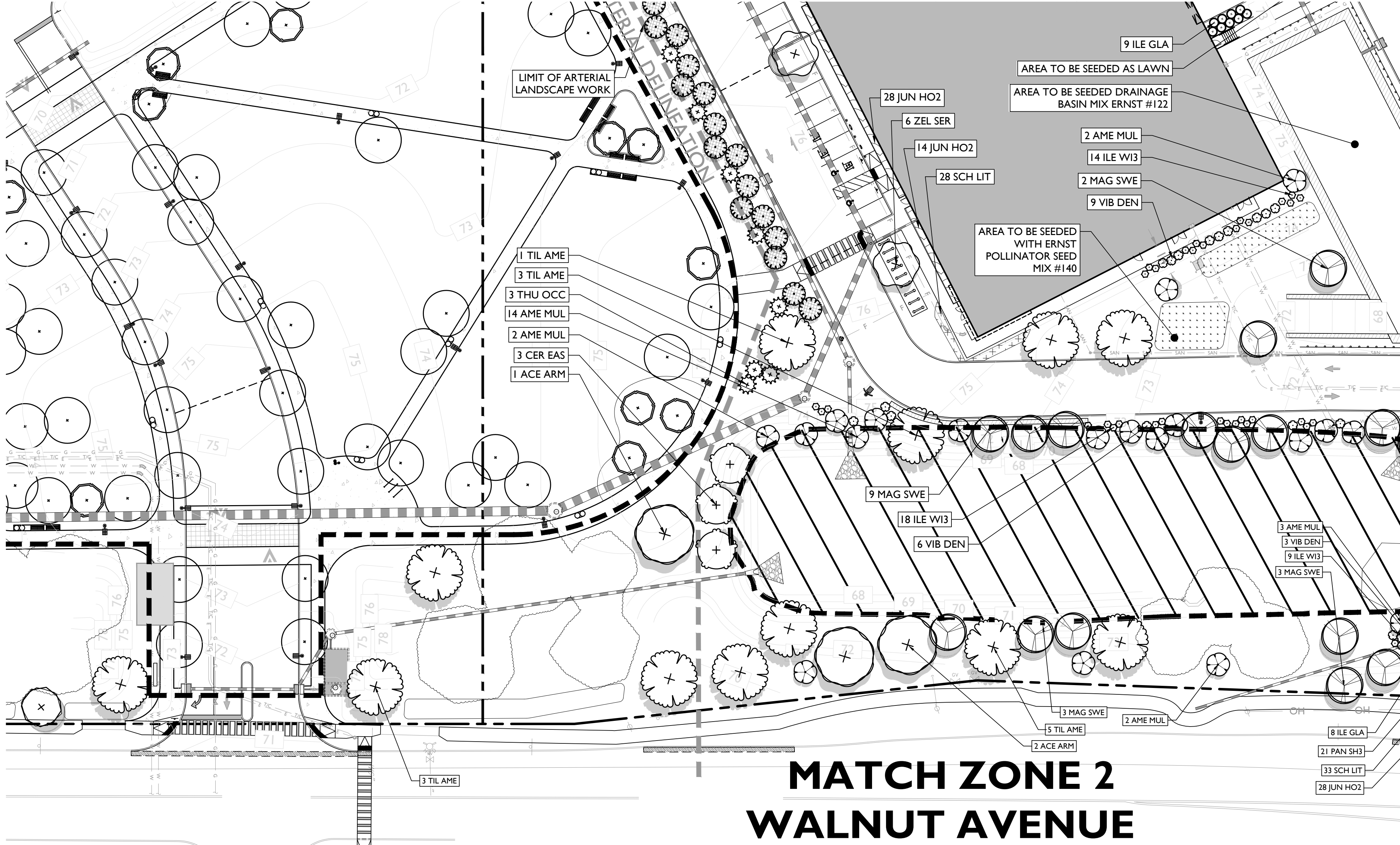
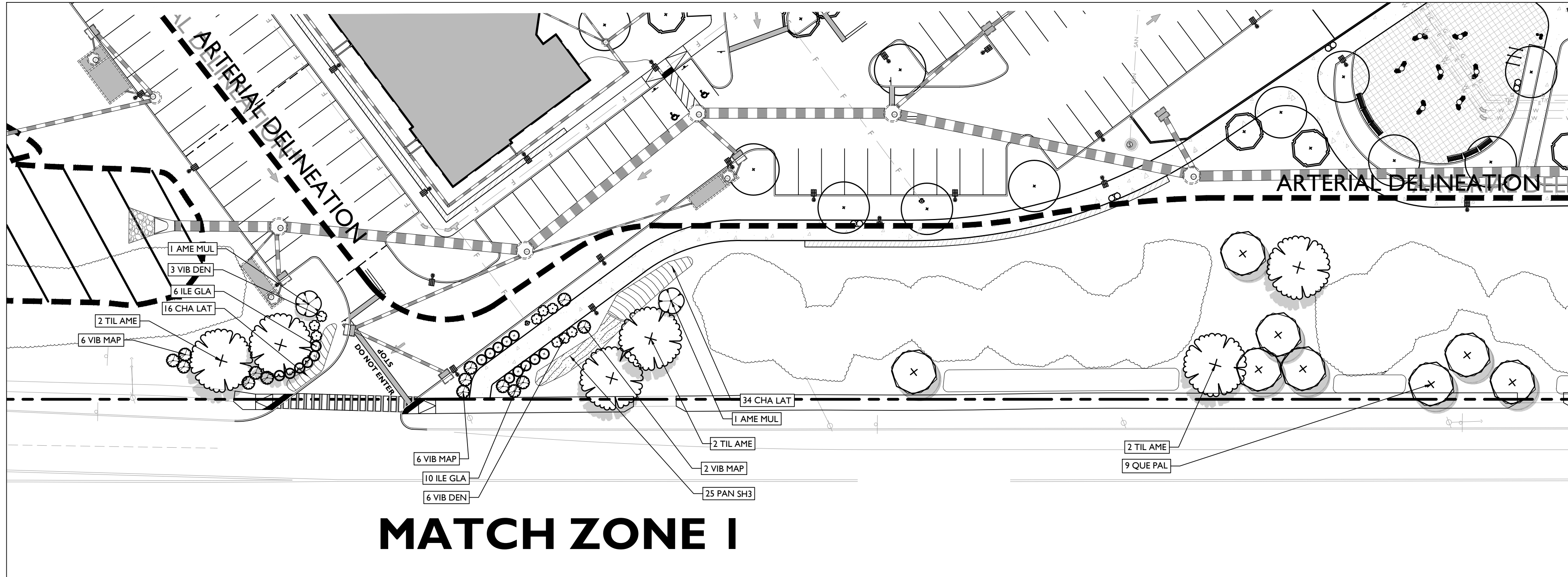
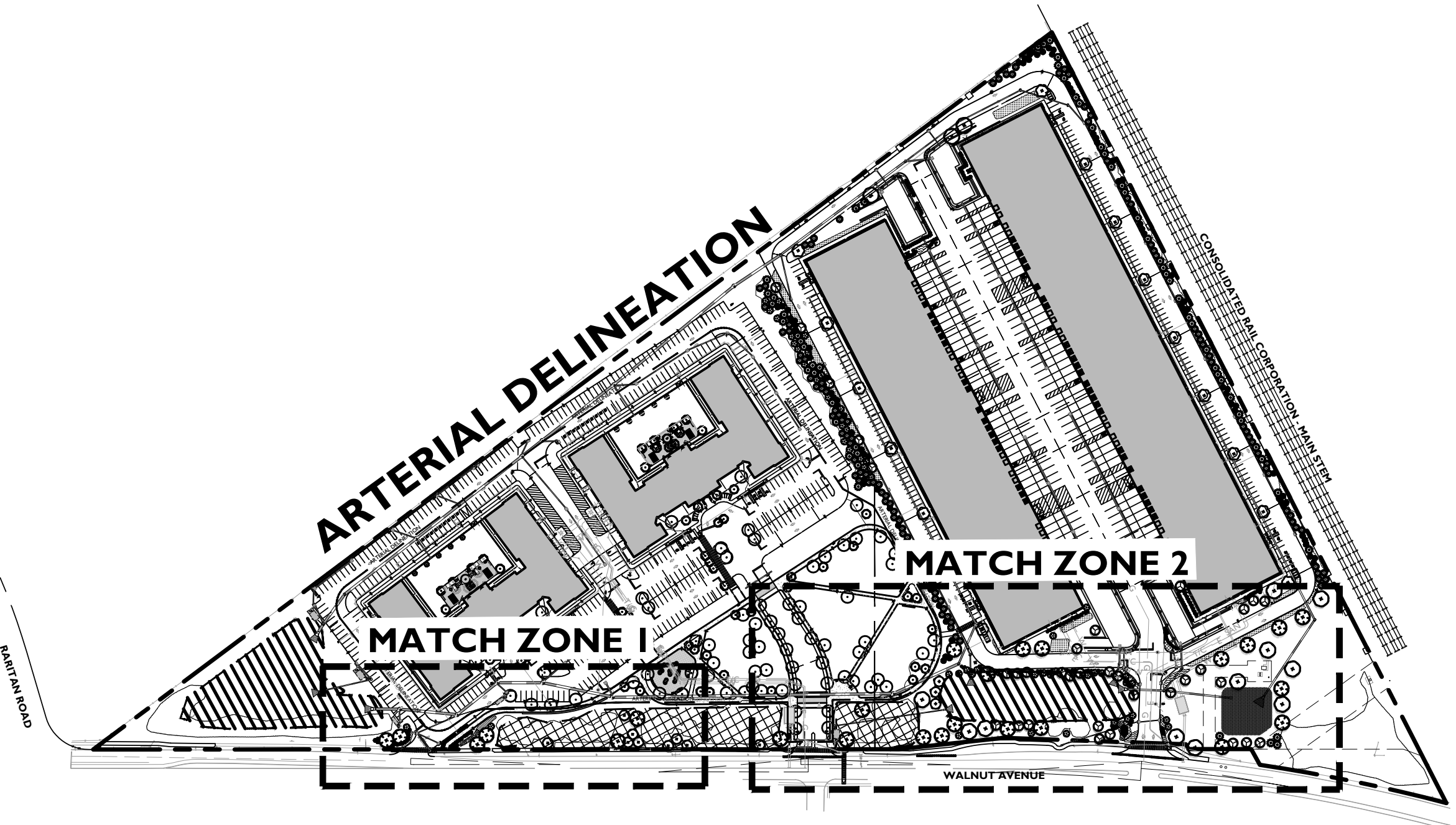
SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- ==== PROPOSED CURB
- ===== EXISTING CURB
- /// EXISTING BUILDING
- PROPOSED BUILDING

PROJECT: **PROPOSED MIXED-USE REDEVELOPMENT**
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE: **LANDSCAPE PLAN**

DATE: 08/01/2022
PROJECT NO.: T-16509
DRAWING BY: FT
CHK BY: ZC
DWG NO.:
C-13
CADD FILE NO.: 13 OF 20



LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 255-25 DESIGN STANDARDS: GENERAL (4)(C)(1)	ALL STRUCTURES REQUIRING BUFFERS TO SCREEN VIEWS FROM THE STREET OR ADJACENT RESIDENTIAL AREAS SHALL PROVIDE A BUFFER OF A MINIMUM OF 30 FEET PLANTED DEPTH. PLANT MATERIAL SHALL BE SUFFICIENTLY LARGE AT INSTALLATION AND PLANTED IN A PROPER FASHION TO CREATE AN EVERGREEN SCREEN AT LEAST 10 FEET IN HEIGHT WITHIN THREE GROWING SEASONS. TREES SHALL BE PLANTED AT A MINIMUM OF 2 1/2 INCHES IN CALIBER. EVERGREENS SHALL BE PLANTED AT A MINIMUM OF SIX FEET IN HEIGHT AND SHRUBS SHALL BE A MINIMUM OF TWO FEET IN HEIGHT.	COMPLIES
§ 255-25 DESIGN STANDARDS: GENERAL (4)(C)(2)	STORMWATER MANAGEMENT FACILITIES, INCLUDING DETENTION AND RETENTION FACILITIES, MAY BE LOCATED WITHIN A BUFFER AREA BUT SHALL NOT BE LOCATED WITHIN 40 FEET FROM THE BOUNDARY OF A RESIDENTIAL ZONE.	COMPLIES
§ 255-25 DESIGN STANDARDS: GENERAL (4)(C)(3)	ALL LOADING DOCKS IN ANY C-3 ZONE SHALL BE LOCATED IN THE REAR OF BUILDINGS AND SHALL BE FULLY SCREENED FROM STREETS, ADJACENT PROPERTIES AND ALL ADJACENT RESIDENTIAL ZONES AND USES.	COMPLIES
§ 255-24(A)(1)(i)	STREET TREES SHALL BE REQUIRED IN ALL RESIDENTIAL AND NONRESIDENTIAL ZONES. SHADE TREES SHALL NOT BE MORE THAN 40 FEET APART AND LOCATED BETWEEN THE SETBACK LINE AND STREET RIGHT-OF-WAY LINE IF POSSIBLE, INCLUDING THE SIDE STREET OF CORNER LOTS, AND NOT CLOSER THAN 25 FEET TO ANY EXISTING OR PROPOSED STREET RIGHT-OF-WAY STREET INTERSECTION. TREES SHALL BE NURSERY-GROWN STOCK OF NOT LESS THAN THREE-INCH CALIBER, MEASURED ONE FOOT FROM THE ROOT SYSTEM, WITH BRANCHES COMMENCING NOT LESS THAN EIGHT FEET ABOVE GRADE WHEN PLANTED AND STAGED IN AN APPROVED MANNER.	COMPLIES
§ 255-26 DESIGN STANDARDS: SPECIFIC (B)(A)	NO LESS THAN 10% OF THE AREA OF EACH PARKING AREA SHALL BE SUITABLY LANDSCAPED, WAIVED REQUIRED PARKING AREAS WHICH ARE LANDSCAPED SHALL NOT BE INCLUDED IN THE REQUIRED 10%.	COMPLIES

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
+	ACE ARM	14	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3"-3.5" CAL	88B	NATIVE
+	AME MUL	52	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY MULTITRUNK	6'-8" HT	88B	NATIVE
+	CER EAS	3	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	2.5"-3" CAL	88B	NATIVE
+	MAG SWE	33	MAGNOLIA VIRGINIANA	SWEET BAY	6'-8" HT	88B	NATIVE
+	QUE PAL	9	QUERCUS PALUSTRIS	PIN OAK	3"-3.5" CAL	88B	NATIVE
+	TIL AME	25	TILIA AMERICANA	AMERICAN LINDEN	3"-3.5" CAL	88B	NATIVE
+	ZEL SER	16	ZELKOVA SERRATA	SAWLEAF ZELKOVA	3"-3.5" CAL	88B	NATIVE
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
+	ILE JER	61	ILEX OPACA 'JERSEY QUEEN'	AMERICAN HOLLY	6" HT	88B	NATIVE
+	PIC CO2	106	PICEA PUNGENS	COLORADO SPRUCE	6" HT	88B	NATIVE
+	THU OCC	83	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6" HT	88B	NATIVE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
+	ILE W13	76	ILEX VERTICILLATA	WINTERBERRY	7 GAL	POT	NATIVE
+	VIB MAP	14	VIBURNUM ACERIFOLIUM	MAPLELEAF VIBURNUM	7 GAL	POT	NATIVE
+	VIB DEN	58	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	7 GAL	POT	NATIVE
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
+	ILE GLA	83	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18"-24"	POT	NATIVE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
+	CHA LAT	77	CHASMANTHUM LATIFOLIUM	NORTHERN SEA OATS	3 GAL	36" o.c.	NATIVE
+	JUN HO2	423	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	3 GAL	36" o.c.	NATIVE
+	PAN SH3	302	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	3 GAL	40" o.c.	NATIVE
+	SCH LIT	172	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	1 GAL	30" o.c.	NATIVE

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREA OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO BE FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
- IRRIGATION NOTE**
- IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM TO INCLUDE ALL PLANTING BEDS AND LAWN AREA PRIOR TO CONSTRUCTION. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

ONE CALL

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR HOME, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT 800.475.2200 TO REQUEST A MARK-OUT OF THE UTILITIES SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE ONE CALL SERVICE IS FREE. THE ONE CALL SERVICE IS AVAILABLE 24 HOURS A DAY. IF YOU ARE HAVING TROUBLE WITH THE SERVICE, YOU CAN CALL 800.475.2200. YOU CAN ALSO VISIT THE WEBSITE [WWW.ONECALLNJ.COM](http://www.onecallnj.com) FOR MORE INFORMATION.

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 Phone 718.606.8305

NOTES :

SITE LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- PROPOSED CURB
- EXISTING CURB
- EXISTING BUILDING
- PROPOSED BUILDING

GRAPHIC SCALE IN FEET
 1" = 40'

03	FT	10/03/22	REVISED PER MUNICIPAL COMMENTS
02	FT	08/01/22	ISSUED FOR BID
01	FT	05/23/22	ISSUED FOR TOWN COUNCIL SUBMISSION
NO.	BY	DATE	ISSUE OR REVISION

PROJECT :
PROPOSED MIXED-USE REDEVELOPMENT
 750 WALNUT AVENUE
 CRANFORD, N.J.

LANDSCAPE PLAN

DESIGNER:
 ZACHARY E. CHAPLIN
 NJ REG # 93605

DATE: 08/01/2022

PROJECT NO.: T-16509

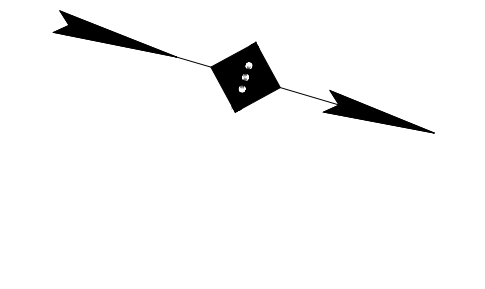
DRAWING BY: FT

CHEK BY: ZC

DWG NO.: **C-14**

CADD FILE NO.: 14 OF 20

NOTES :



SITE LEGEND. PROPERTY BOUNDARY: Dashed line. ADJACENT PROPERTY BOUNDARY: Dotted line. PROPOSED CURB: Solid line. EXISTING CURB: Solid line with hatching. EXISTING BUILDING: Solid line with hatching. PROPOSED BUILDING: Solid line with hatching.

DECIDUOUS TREE PLANTING DETAIL. NOT TO SCALE. 1. FOR CONTAINER-GROWN TREES... 2. THOROUGHLY SOAK THE TREE ROOT BALL... 3. SOIL AMENDMENTS. Includes diagrams of tree placement, soil amendment, and root ball handling.

CONIFEROUS TREE PLANTING DETAIL. NOT TO SCALE. 1. FOR CONTAINER-GROWN TREES... 2. THOROUGHLY SOAK THE TREE ROOT BALL... 3. SOIL AMENDMENTS. Includes diagrams of tree placement, soil amendment, and root ball handling.

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL. NOT TO SCALE. 1. THOROUGHLY SOAK THE GROUND COVER... 2. SOIL AMENDMENTS. Includes diagrams of shrub placement and soil preparation.

IRRIGATION DURING ESTABLISHMENT. TABLES 1, 2, and 3 detailing irrigation schedules for different caliper sizes.

GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL. NOT TO SCALE. 1. THOROUGHLY SOAK THE GROUND COVER... 2. SOIL AMENDMENTS. Includes diagrams of ground cover planting and soil amendment.

ARBORTIE DETAIL. NOT TO SCALE. INSTALLATION GUIDELINES: 1. LOOP TIE AROUND TREE... 2. REMOVE ALL STAKING AND TIES... 3. FOLD ENDS OF ARBORTIE BACK... 4. CONSULT LANDSCAPE ARCHITECT... Includes diagrams of arbor tie installation.

GENERAL LANDSCAPING NOTES. 1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS... 2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING VEGETATION... 3. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER...

PLANT QUALITY AND HANDLING NOTES. 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK... 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST... 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY...

SOIL PREPARATION AND MULCH NOTES. 1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST... 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER... 3. TOPSOIL SHALL BE FERTILE, FINE, NATURAL, TOPSOIL OF LOAMING CHARACTER...

PLANT MATERIAL GUARANTEE NOTES. 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR... 2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL...

MYCROB TRITE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT... HEALTHY START MACRO TABS... FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL...

TABLES 1, 2, and 3: IRRIGATION DURING ESTABLISHMENT. Table 1: Irrigation for Survival. Table 2: Irrigation for Vitality. Table 3: Irrigation for Survival (continued).

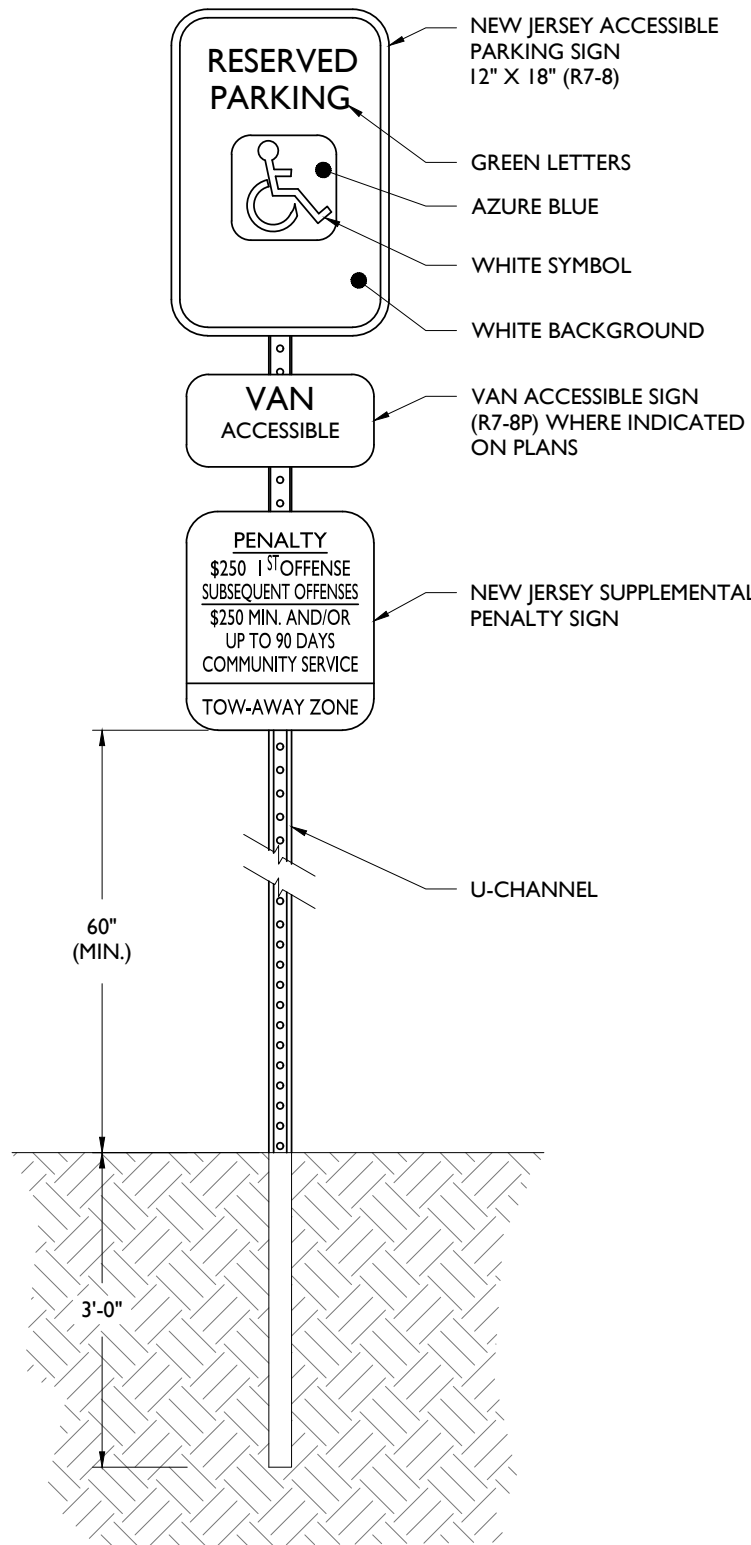
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL... 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING...

1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS... 2. SOIL AMENDMENTS...

REVISION: Table with columns for revision number, date, and description. 01 05/23/22 ISSUED FOR TOWN COUNCIL SUBMISSION. 02 08/01/22 ISSUED FOR BID. 03 10/03/22 REVISED PER MUNICIPAL COMMENTS.

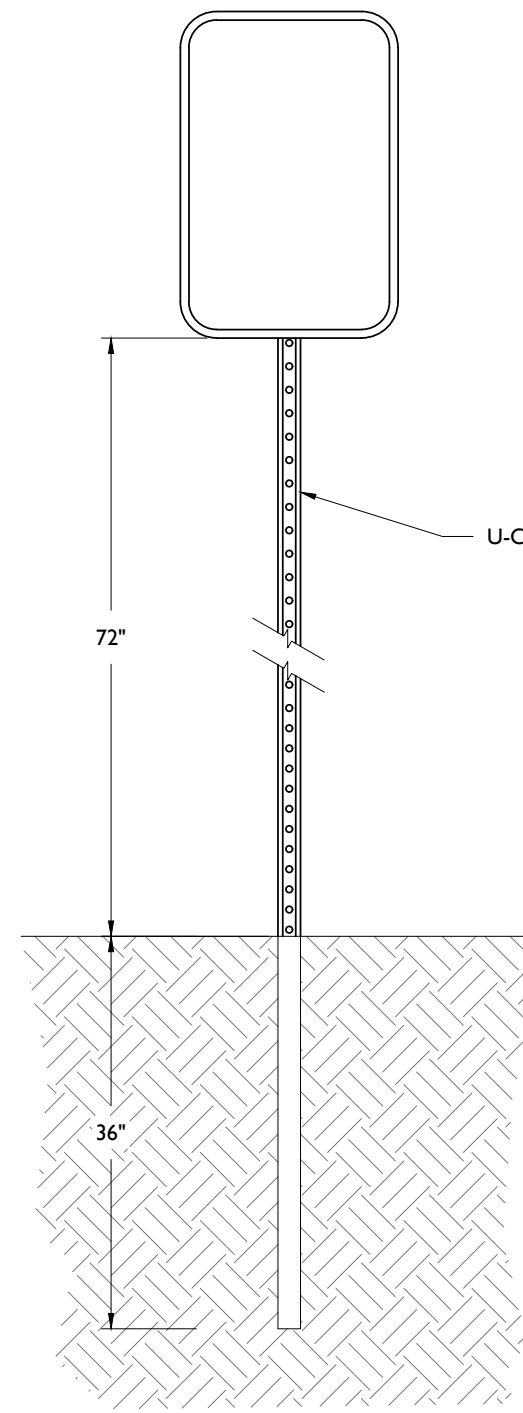
PROJECT: PROPOSED MIXED-USE REDEVELOPMENT 750 WALNUT AVENUE CRANFORD, N.J. DRAWING TITLE: LANDSCAPE DETAILS. DRAWING NO.: T-16509. DATE: 08/01/2022. CHECKED BY: FT. DRAWING BY: ZC. DWG NO.: C-15. CAD FILE NO.: 15 OF 20.

1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS... 2. SOIL AMENDMENTS...



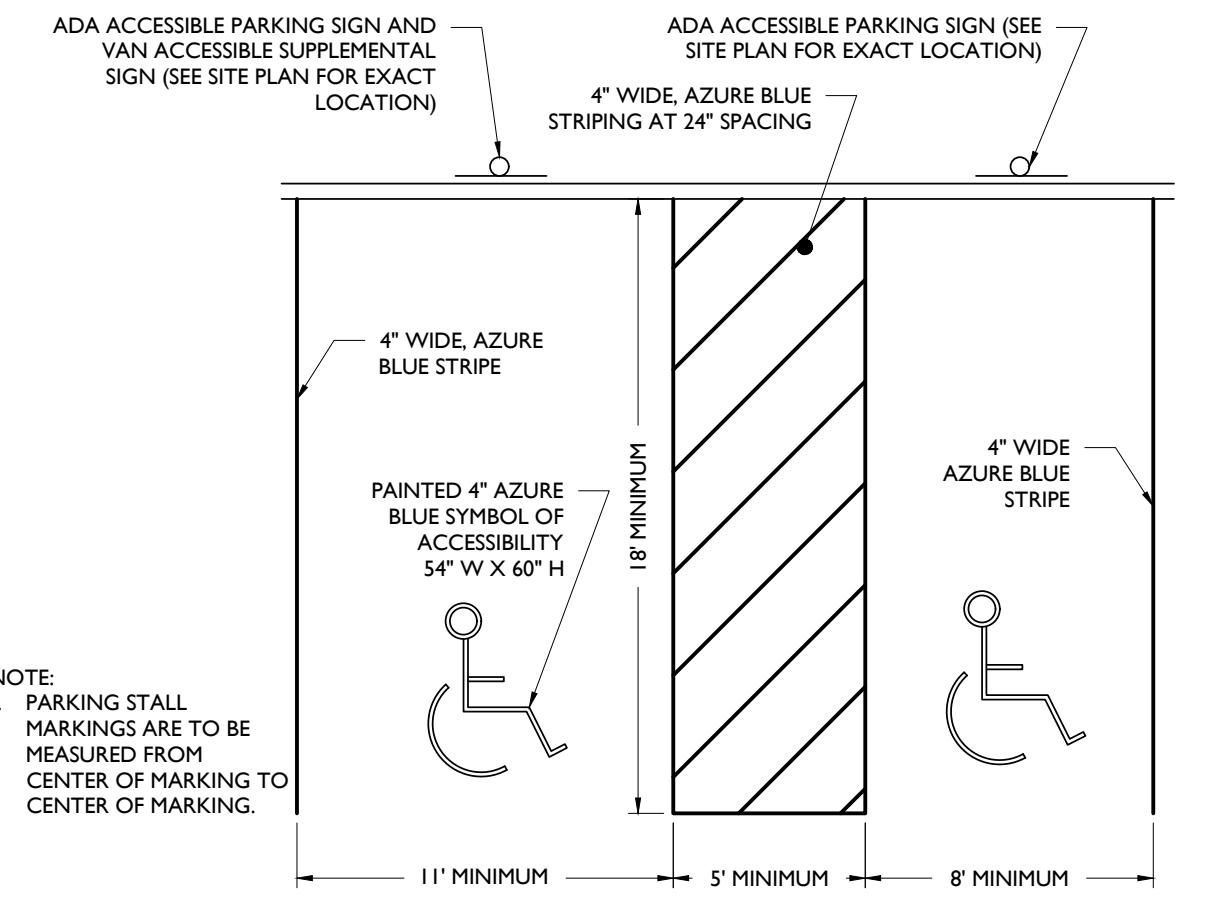
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

1



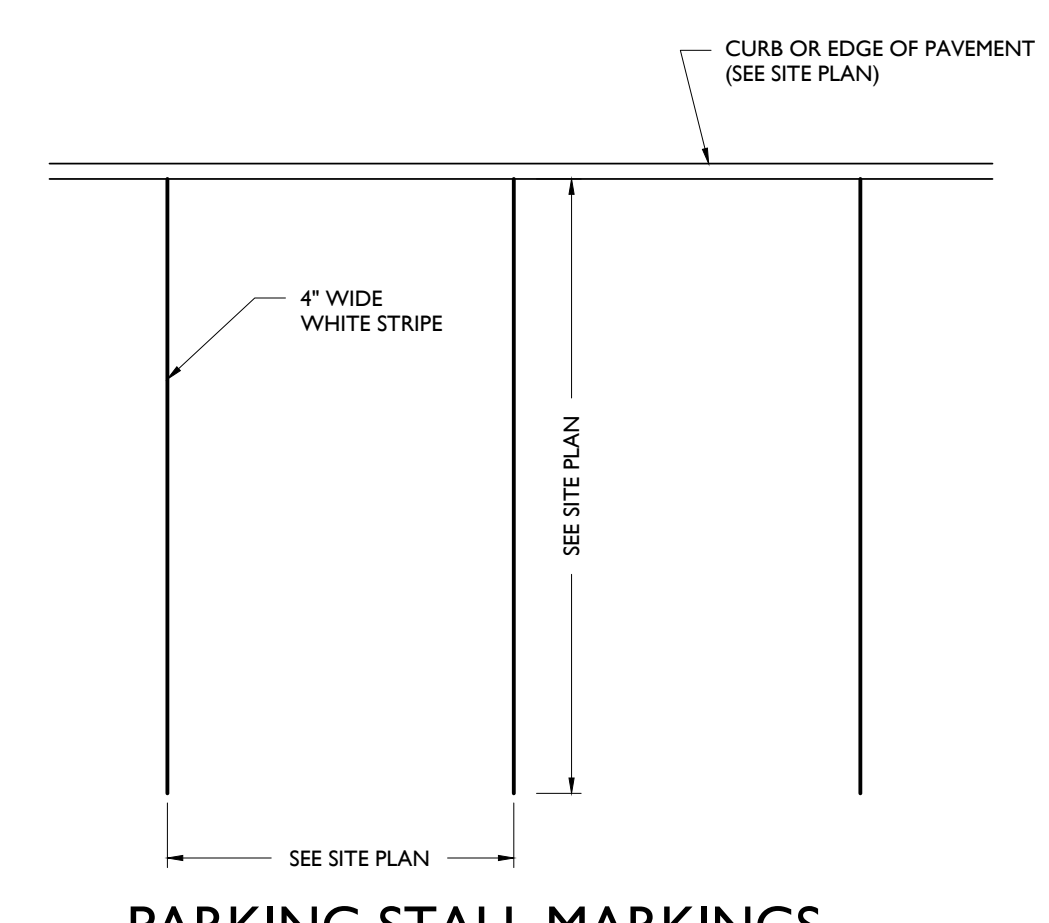
SIGN POST DETAIL
NOT TO SCALE

2



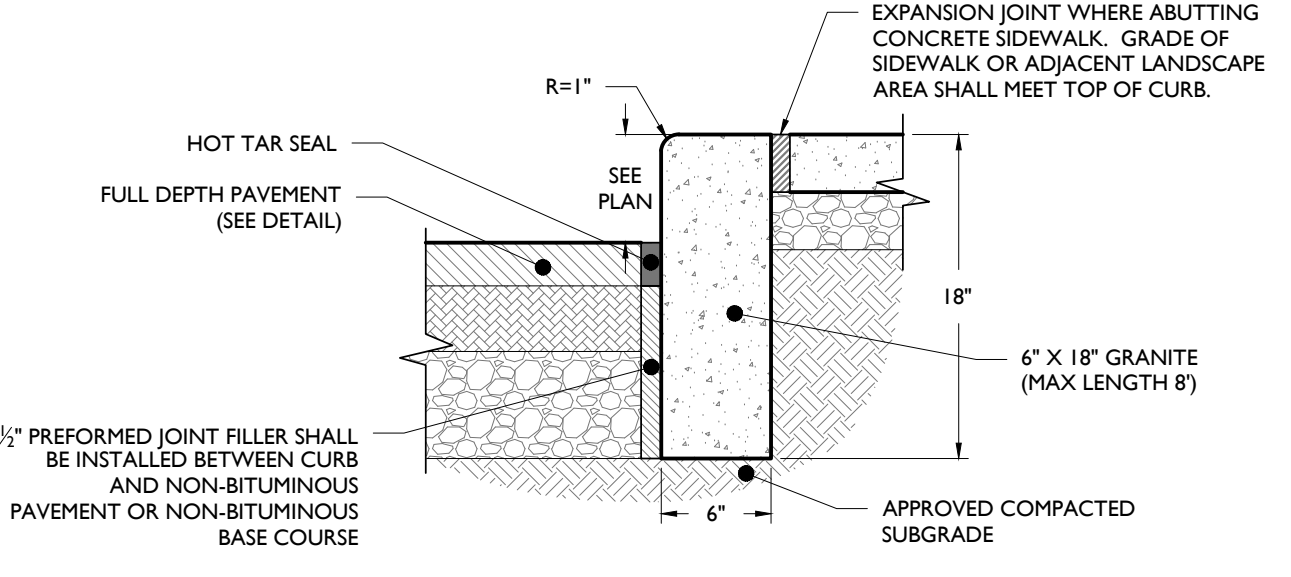
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

3



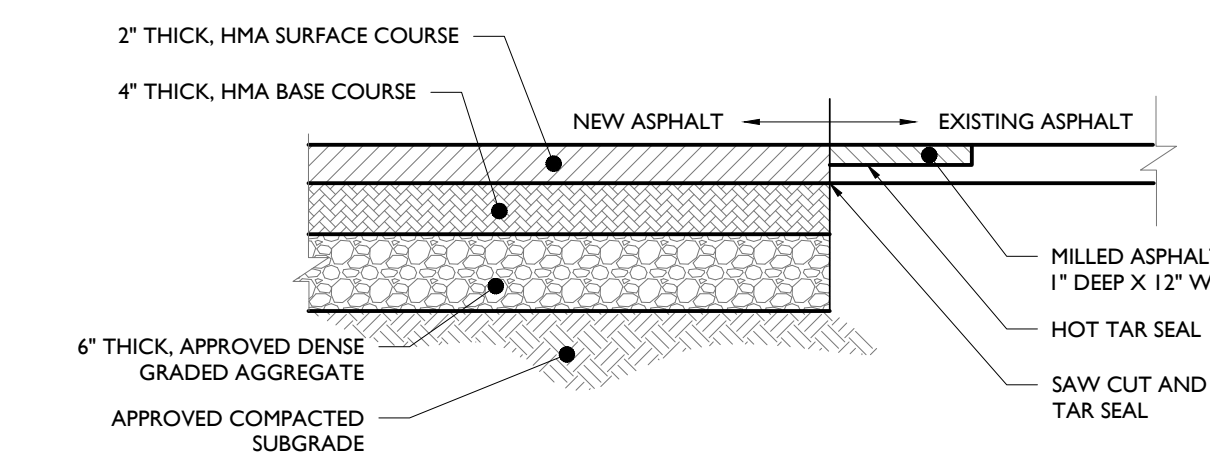
PARKING STALL MARKINGS
NOT TO SCALE

4



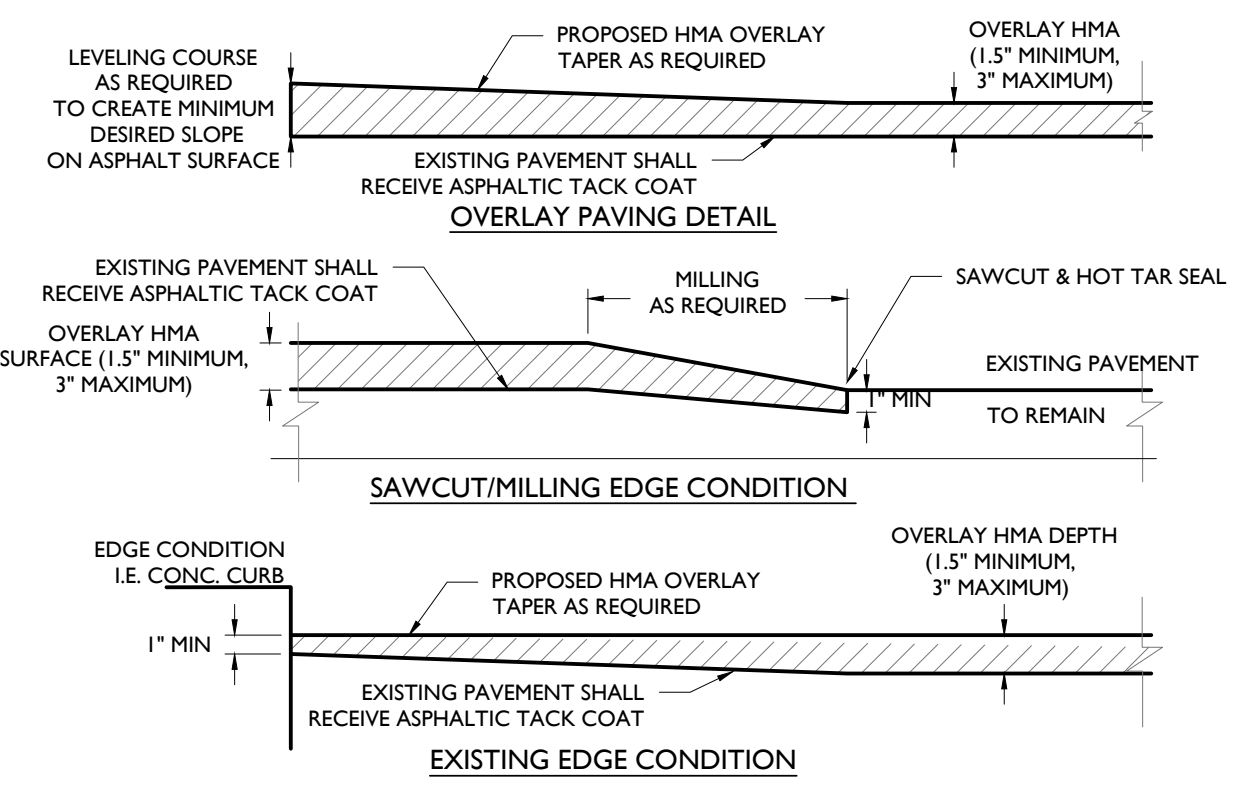
GRANITE BLOCK CURB DETAIL
NOT TO SCALE

5



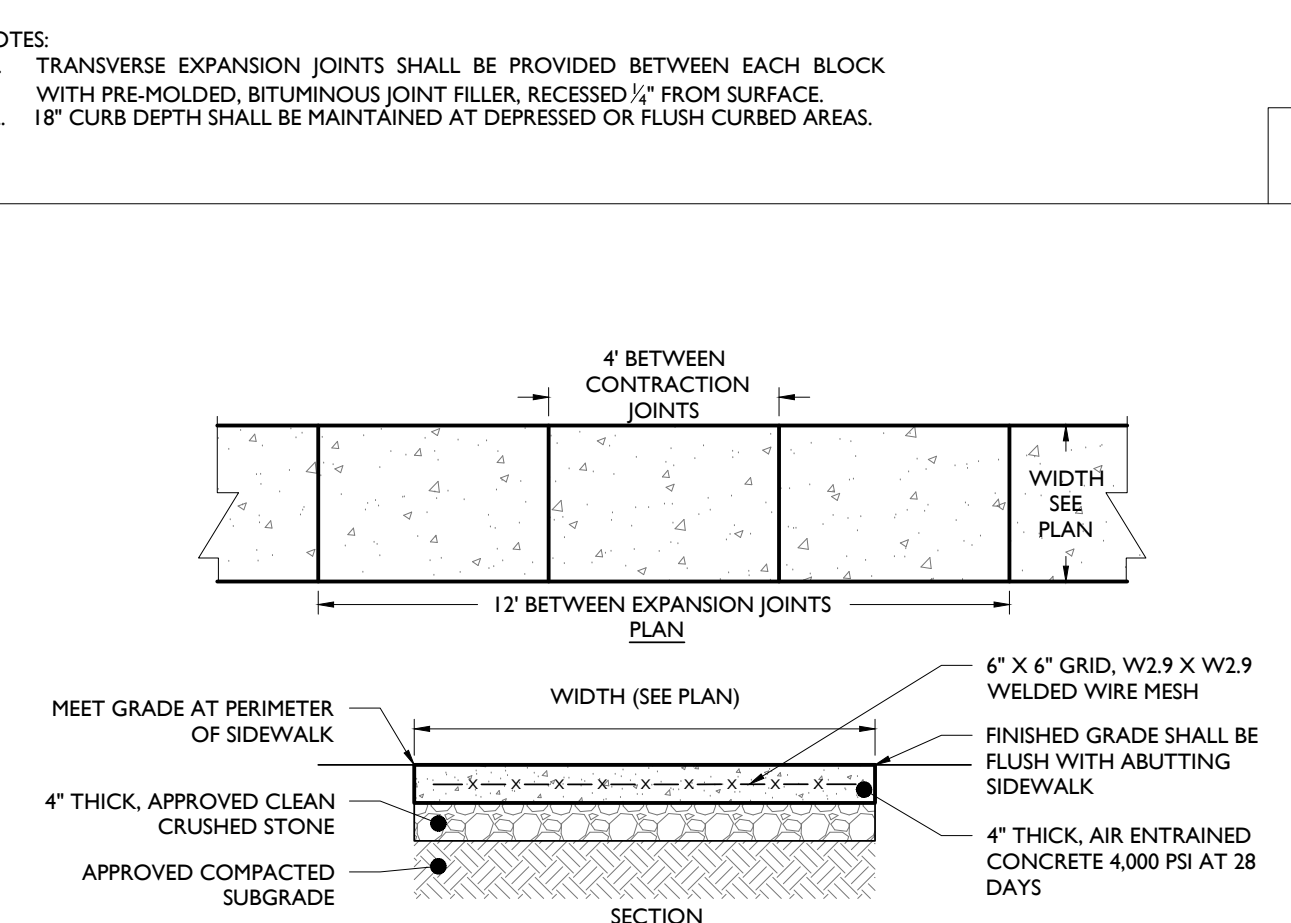
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

6



PAVEMENT MILLING & OVERLAY DETAIL
NOT TO SCALE

7

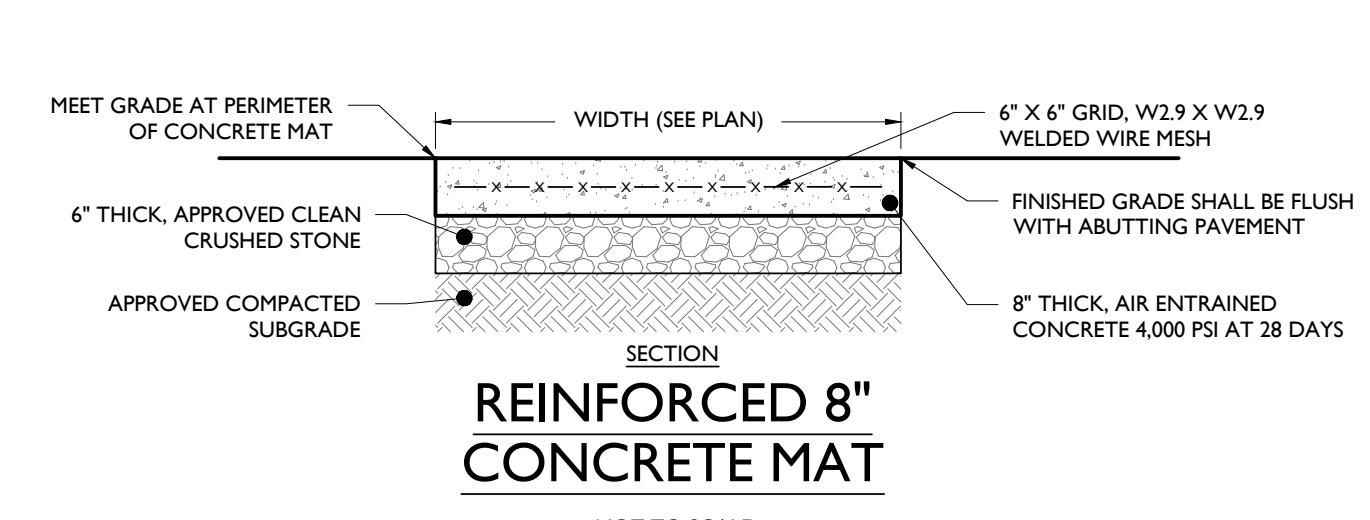


REINFORCED CONCRETE WALKWAY DETAIL
NOT TO SCALE

NOTES:

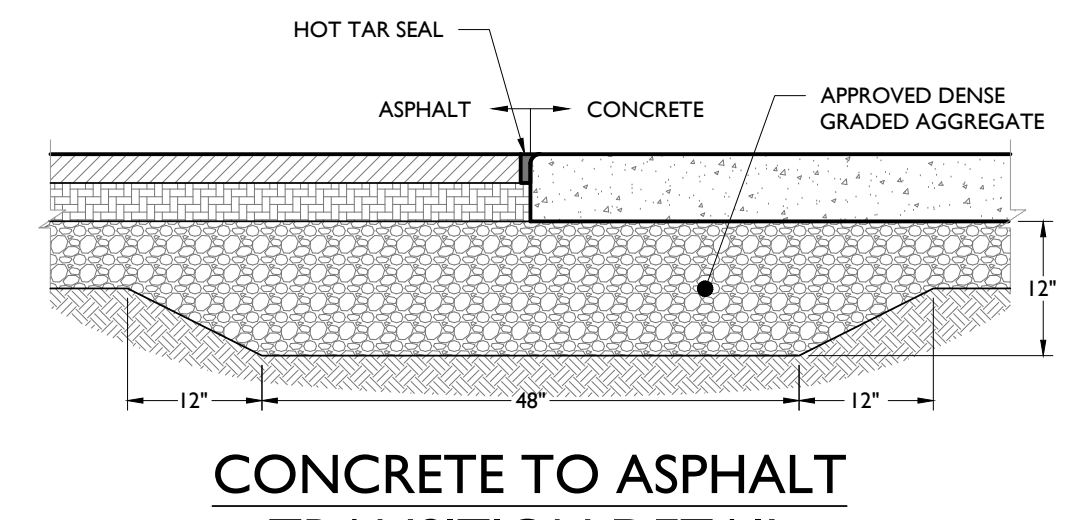
1. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED BETWEEN EACH BLOCK WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

8



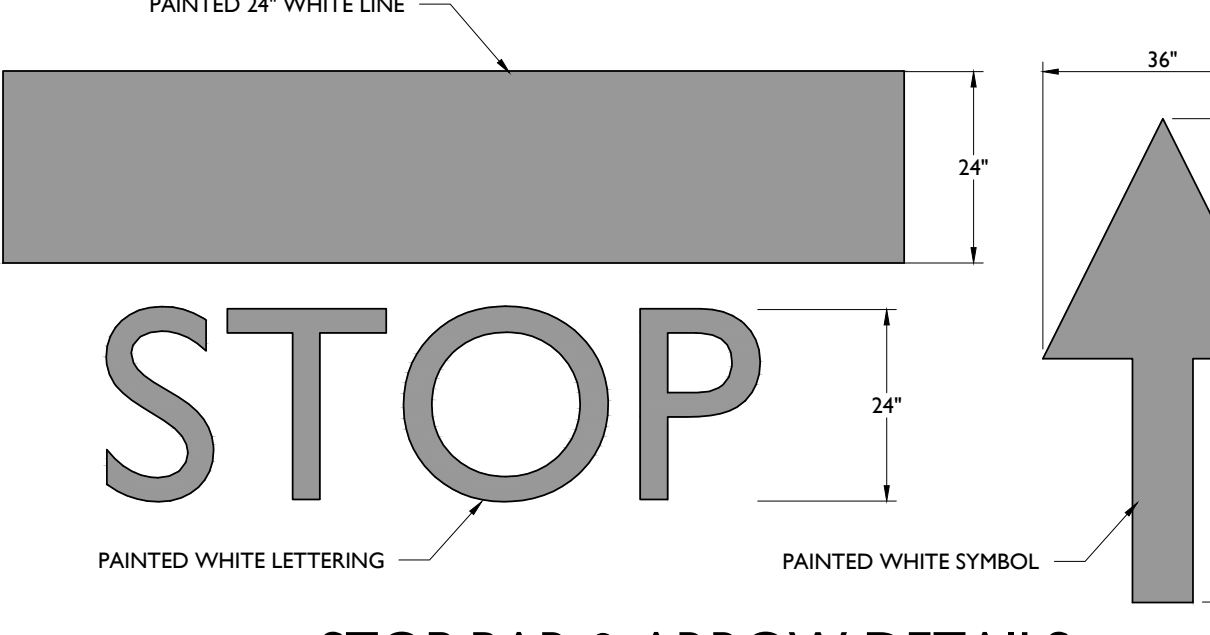
REINFORCED 8" CONCRETE MAT
NOT TO SCALE

9



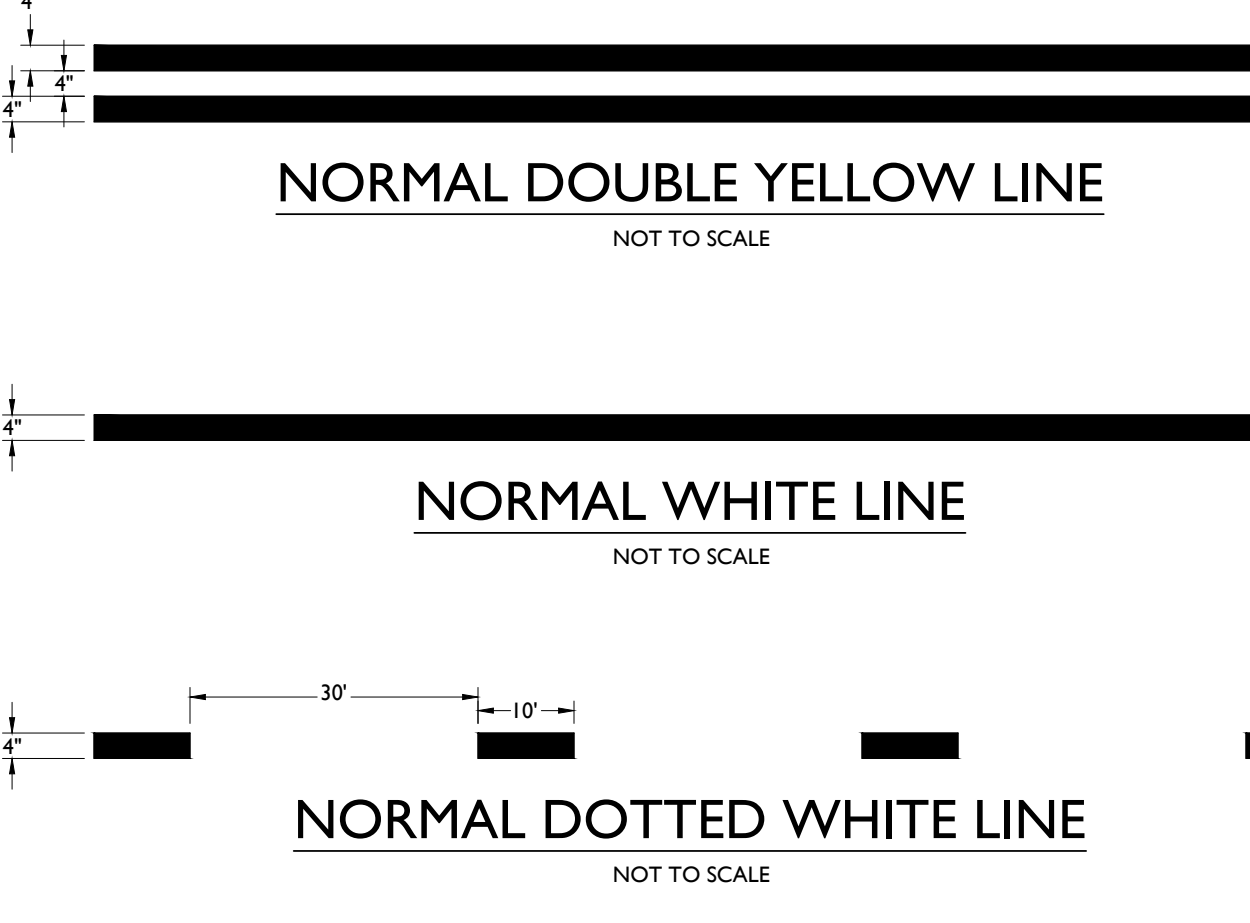
CONCRETE TO ASPHALT TRANSITION DETAIL
NOT TO SCALE

10



STOP BAR & ARROW DETAILS
NOT TO SCALE

11

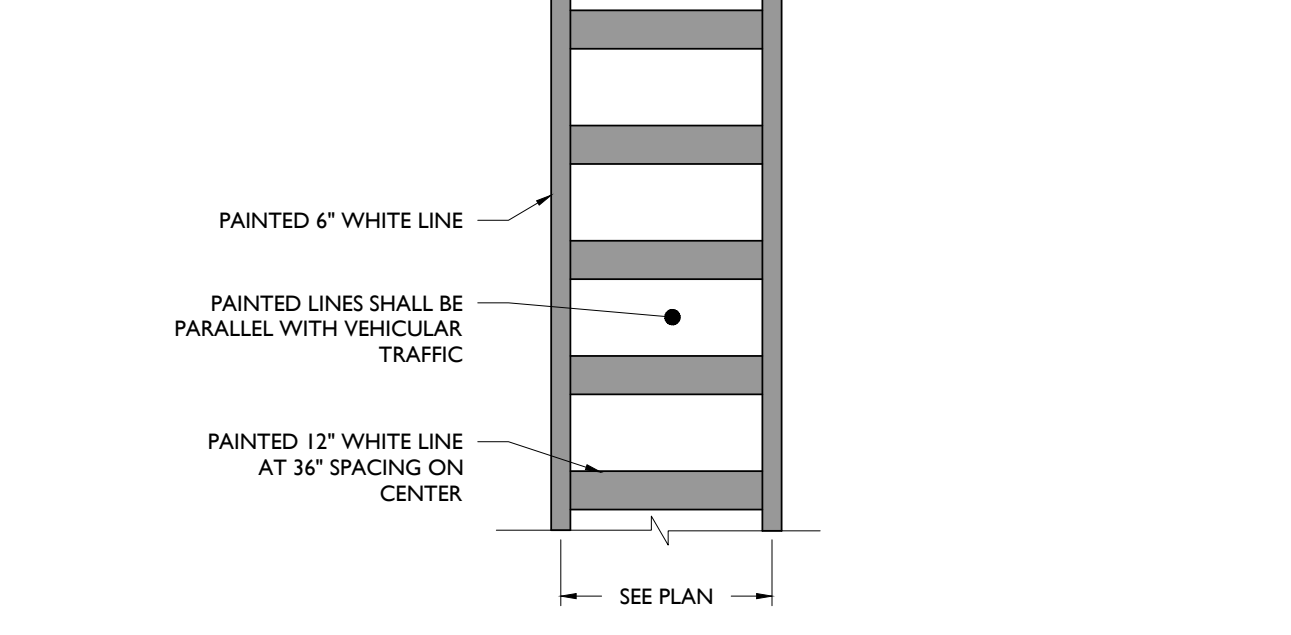


NORMAL DOUBLE YELLOW LINE
NOT TO SCALE

NORMAL WHITE LINE
NOT TO SCALE

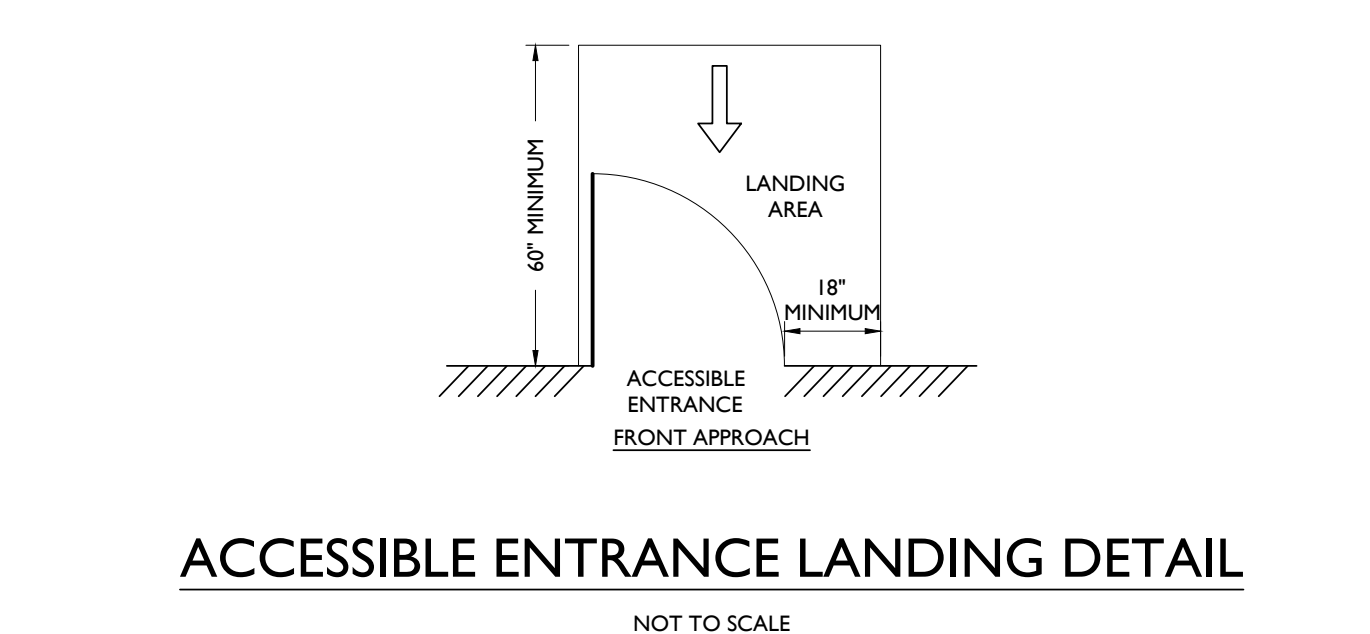
NORMAL DOTTED WHITE LINE
NOT TO SCALE

12



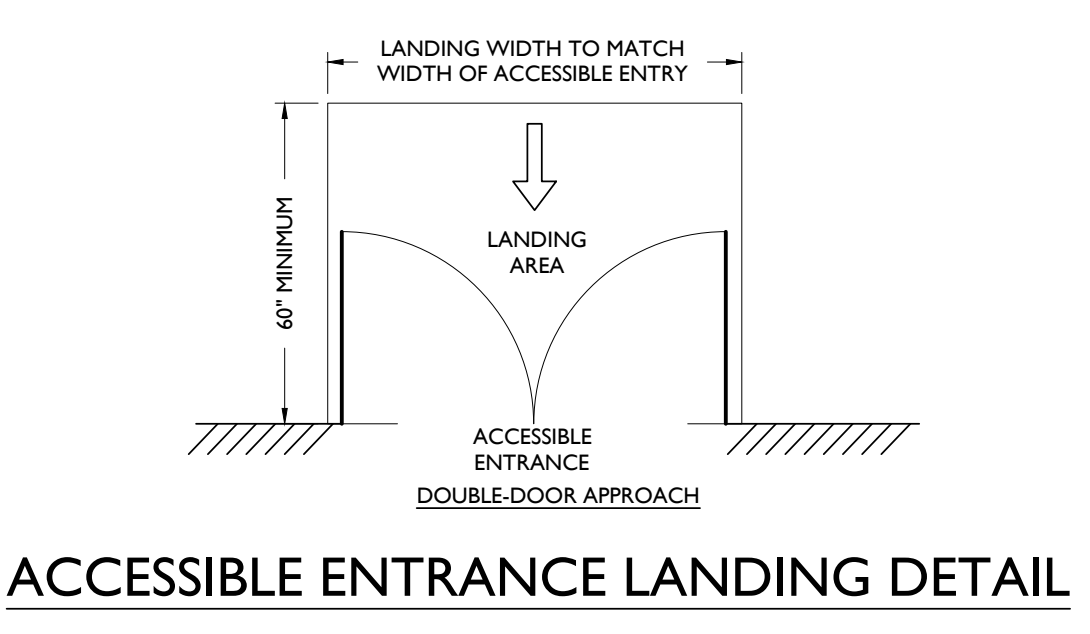
CROSSWALK DETAIL
NOT TO SCALE

13



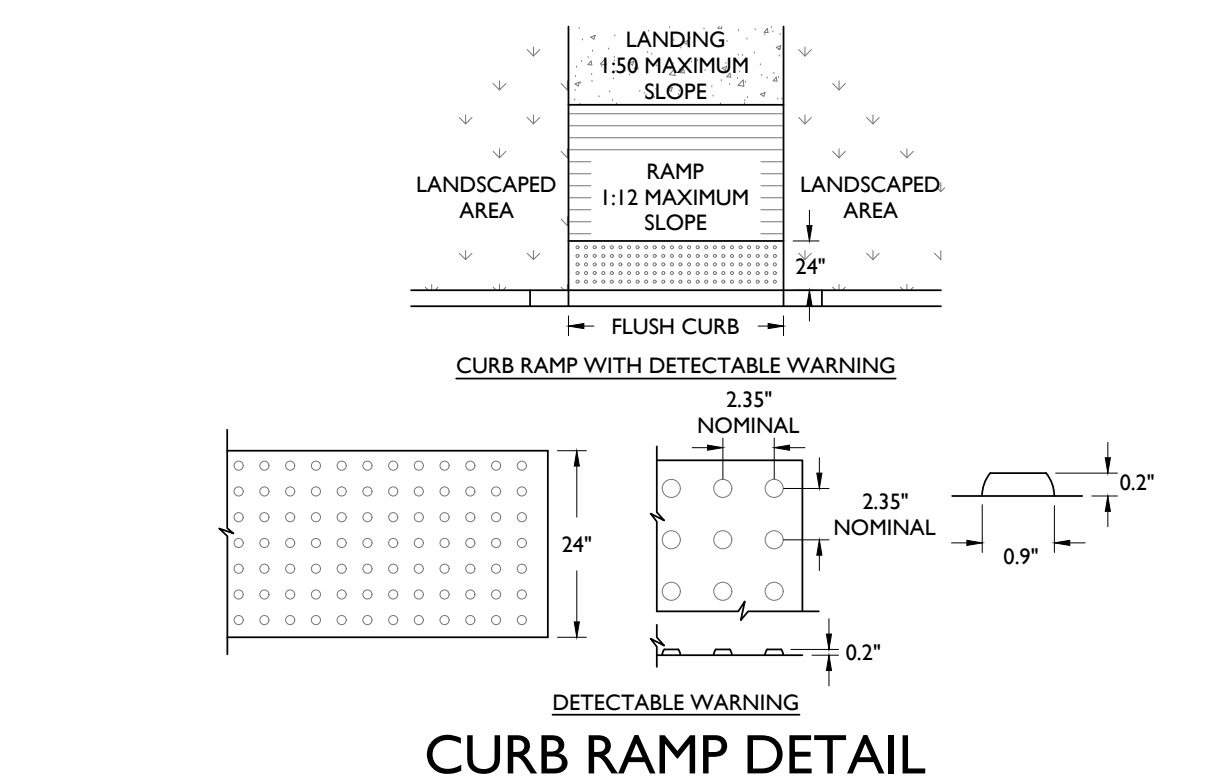
ACCESSIBLE ENTRANCE LANDING DETAIL
NOT TO SCALE

14



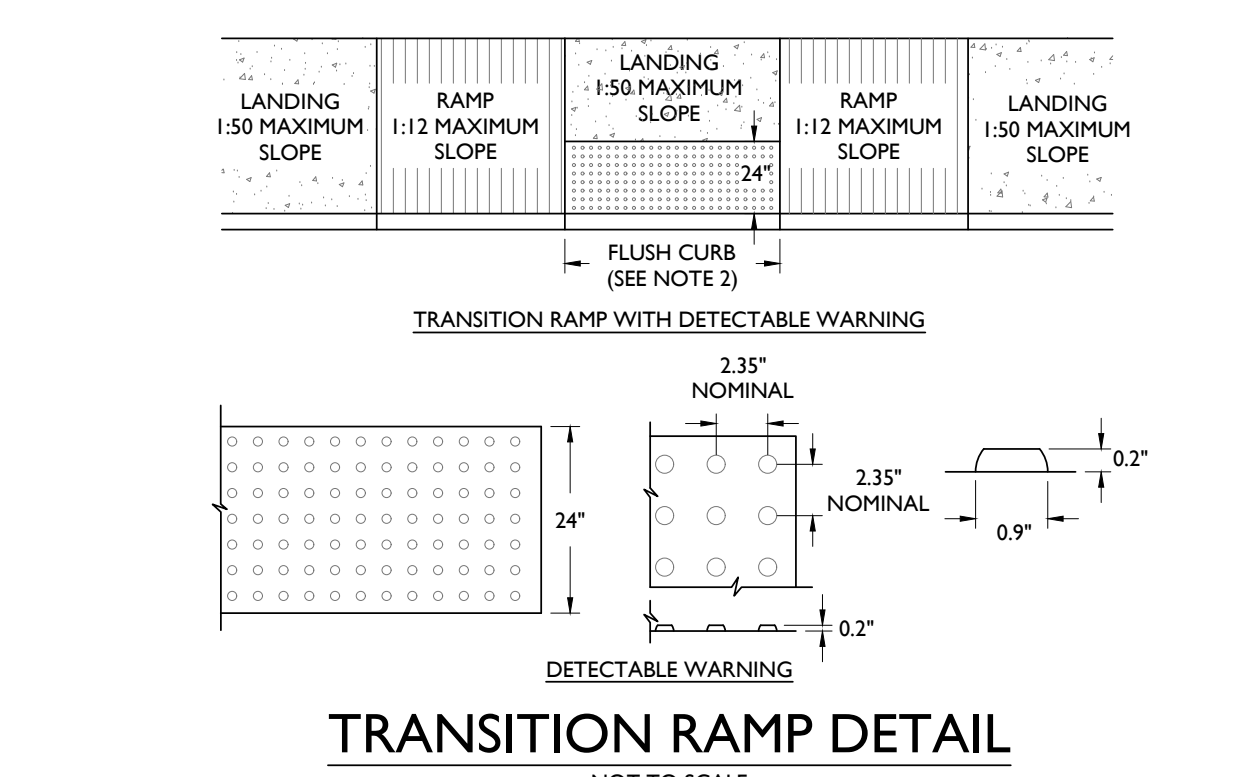
ACCESSIBLE ENTRANCE LANDING DETAIL
NOT TO SCALE

15



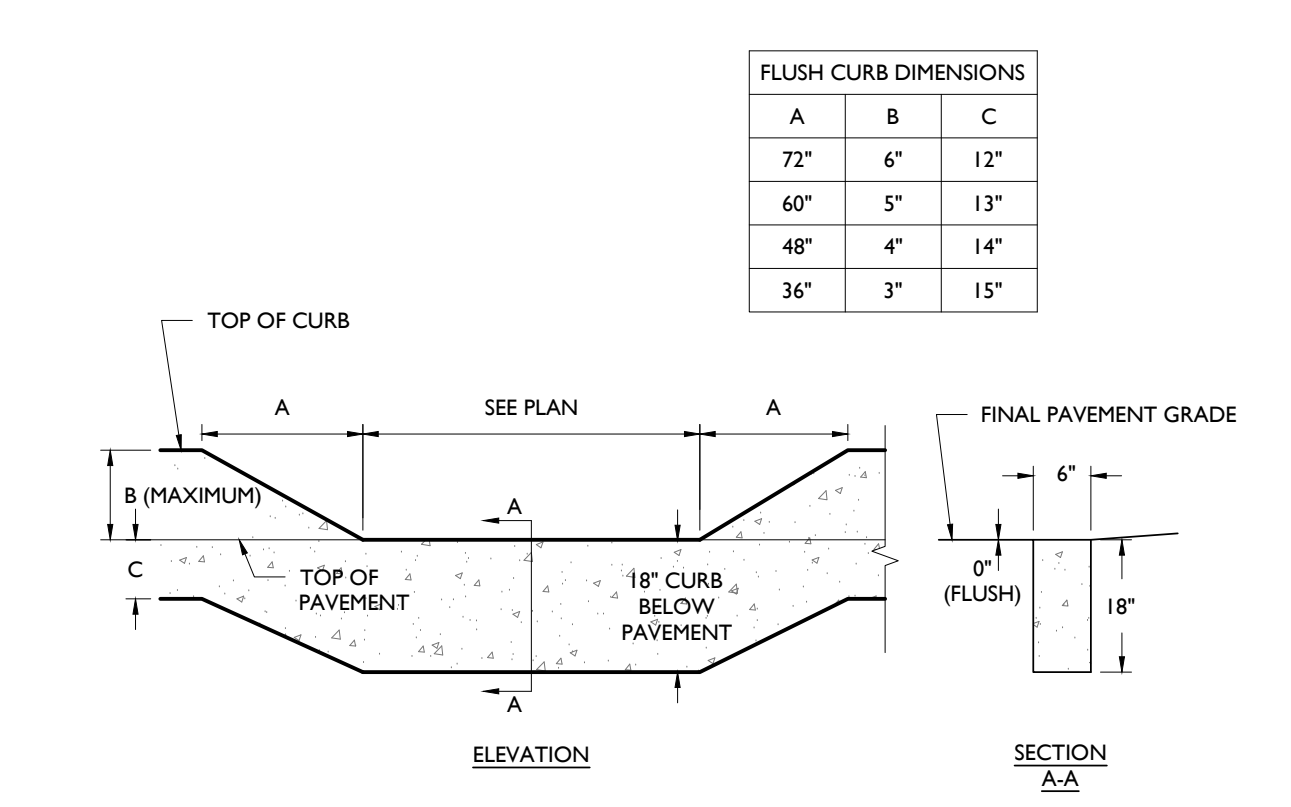
CURB RAMP DETAIL
NOT TO SCALE

16



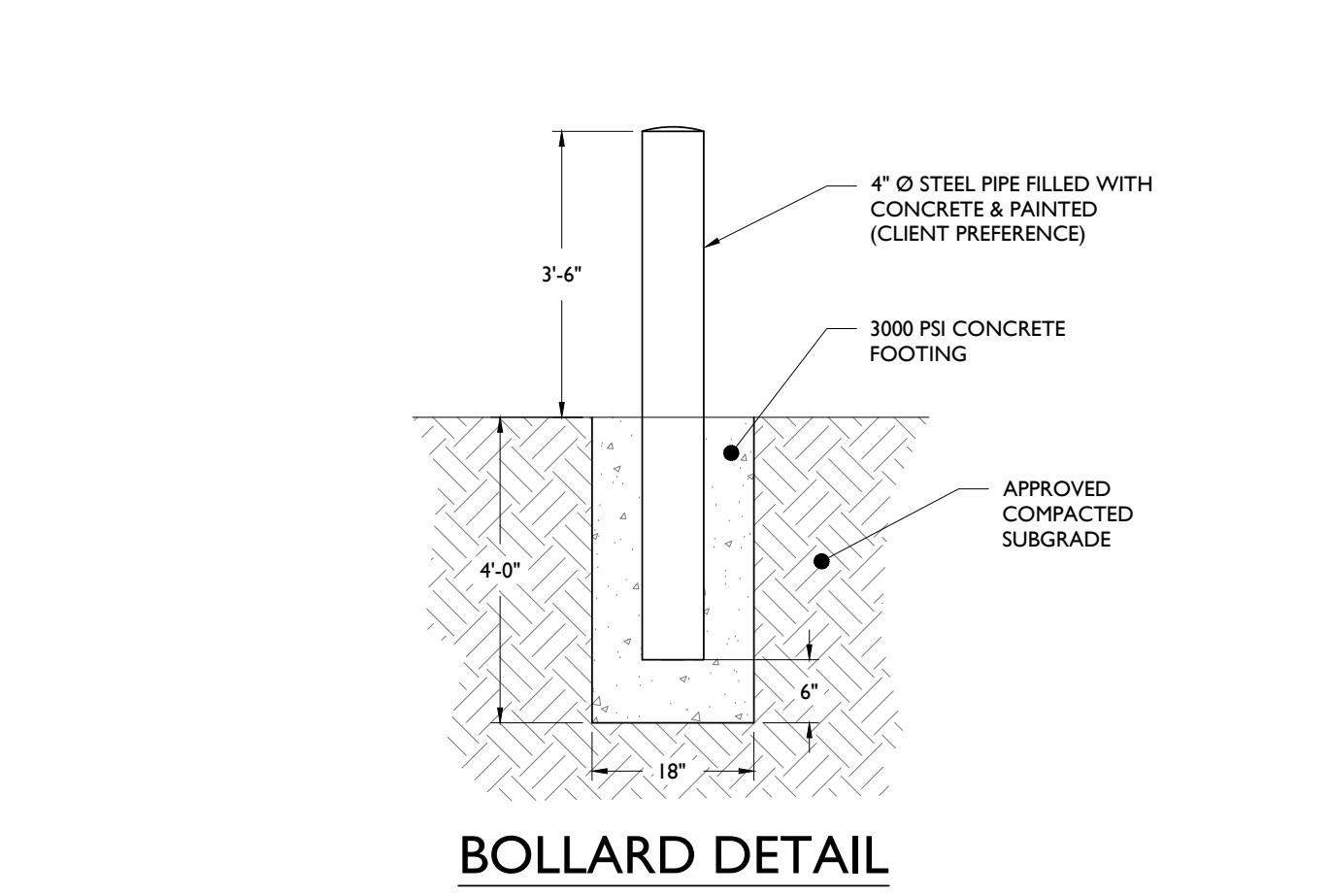
TRANSITION RAMP DETAIL
NOT TO SCALE

17



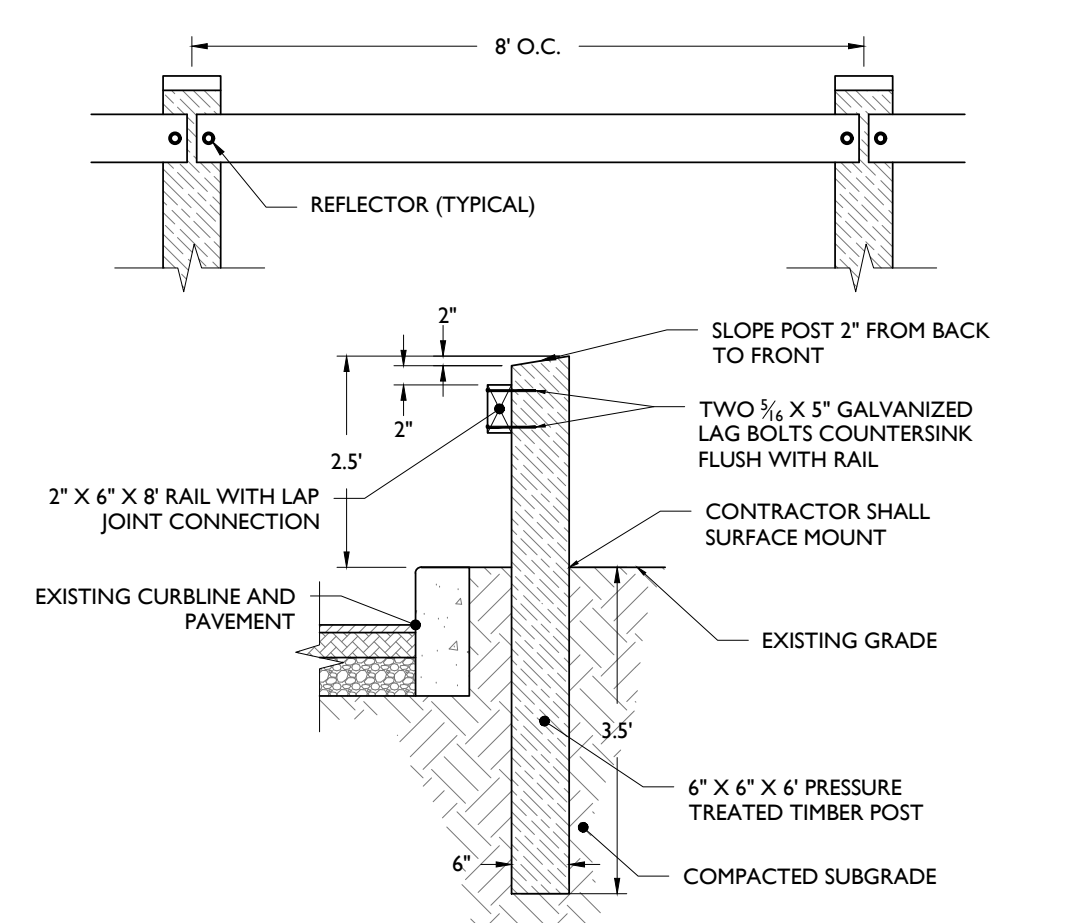
FLUSH CURB DETAIL
NOT TO SCALE

18



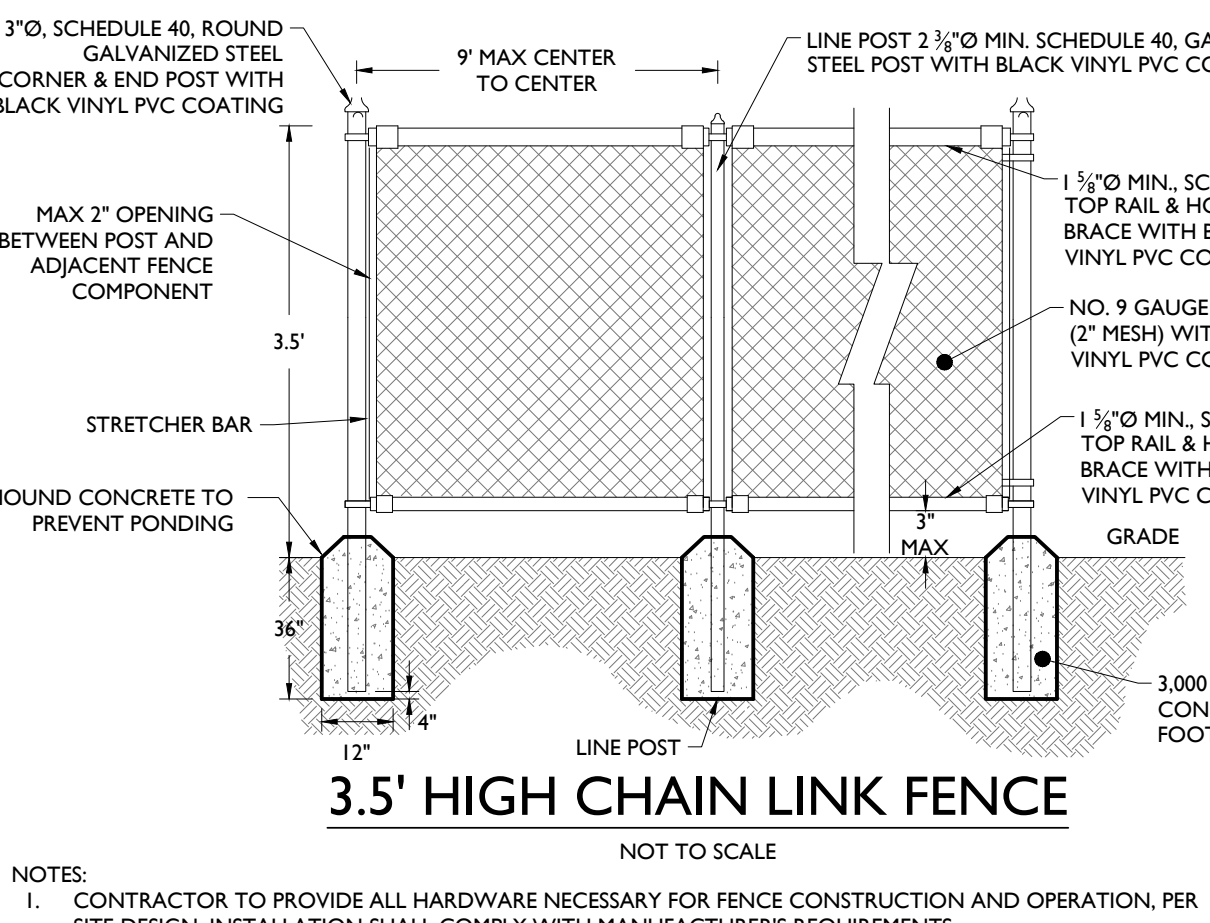
BOLLARD DETAIL
NOT TO SCALE

19



TIMBER POST GUIDE RAIL DETAIL
NOT TO SCALE

20



3.5' HIGH CHAIN LINK FENCE
NOT TO SCALE

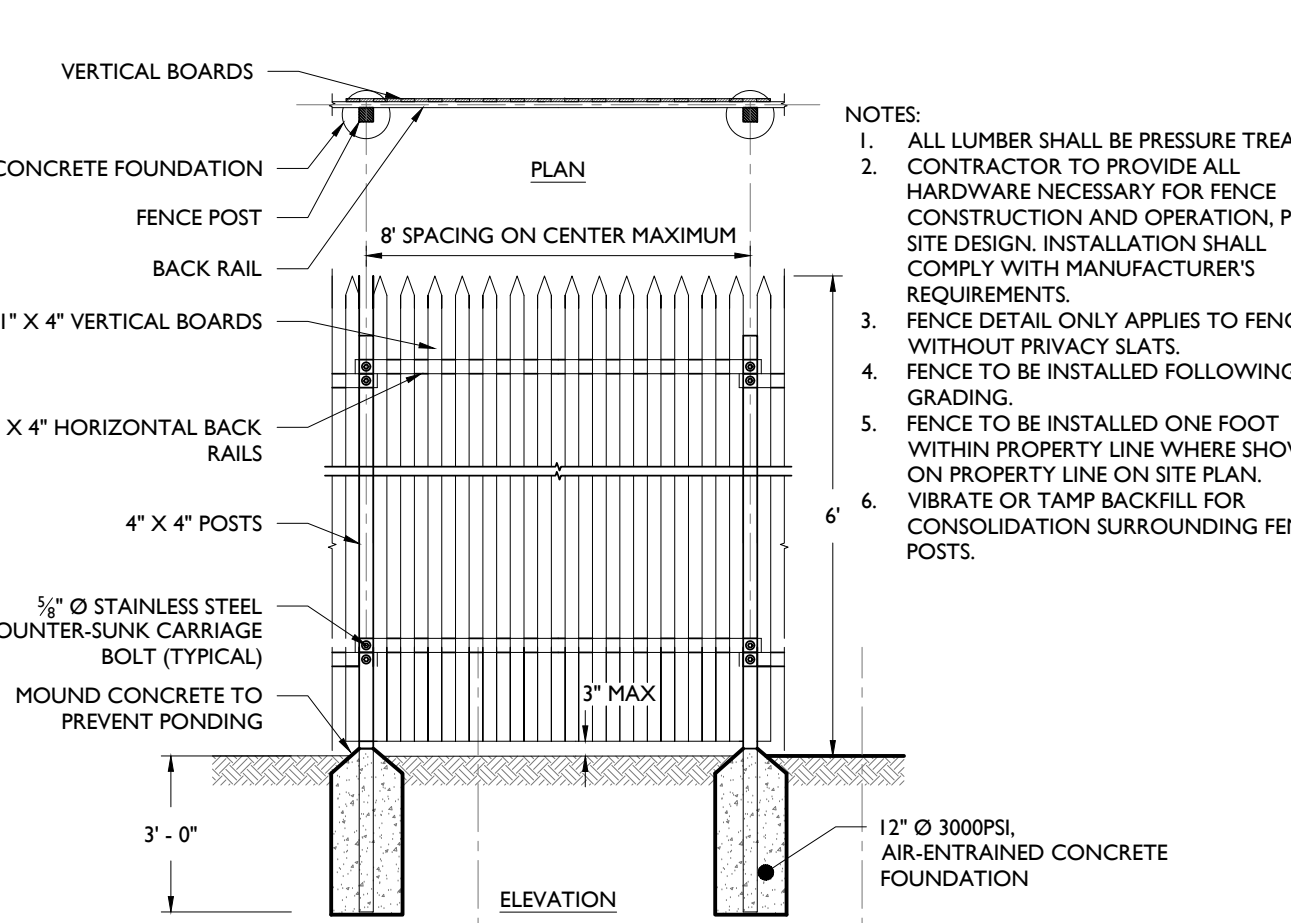
21

M.U.T.C.D. NUMBER	TEXT	COLOR	LEGEND	BACKGROUND	SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND	
YIELD SIGN (R1-2)		RED	WHITE	36"x36"x36"	GROUND	

NOTE: ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE

22



PICKET FENCE DETAIL
NOT TO SCALE

23

HARTZ MOUNTAIN INDUSTRIES
500 BOXA DRIVE
P.O. BOX 1515
SECAUCUS, N.J. 07096-1515

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NOTES:

NO.	BY	DATE	ISSUED FOR TOWN COUNCIL SUBMISSION
03	FT	10/03/22	REVISED PER MUNICIPAL COMMENTS
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01	FT	05/23/22	ISSUED FOR TOWN COUNCIL SUBMISSION

REVISION:

PROJECT: PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE: CONSTRUCTION DETAILS

DESIGNER: ZACHARY E. CHAPLIN
02 PE # 53605

DATE: 08/01/2022

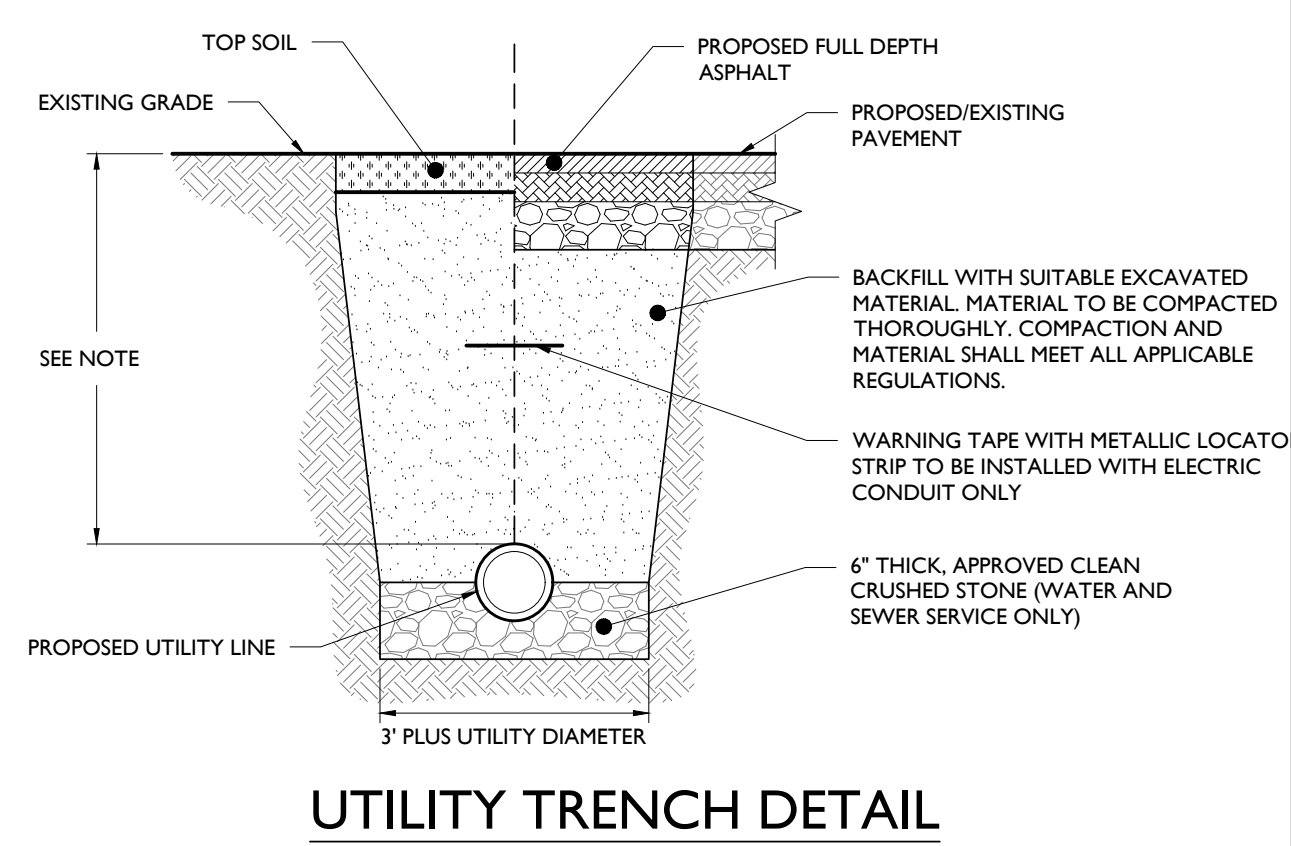
PROJECT NO.: T-16509

DRAWING BY: FT

CHK BY: ZC

DWG NO: C-16

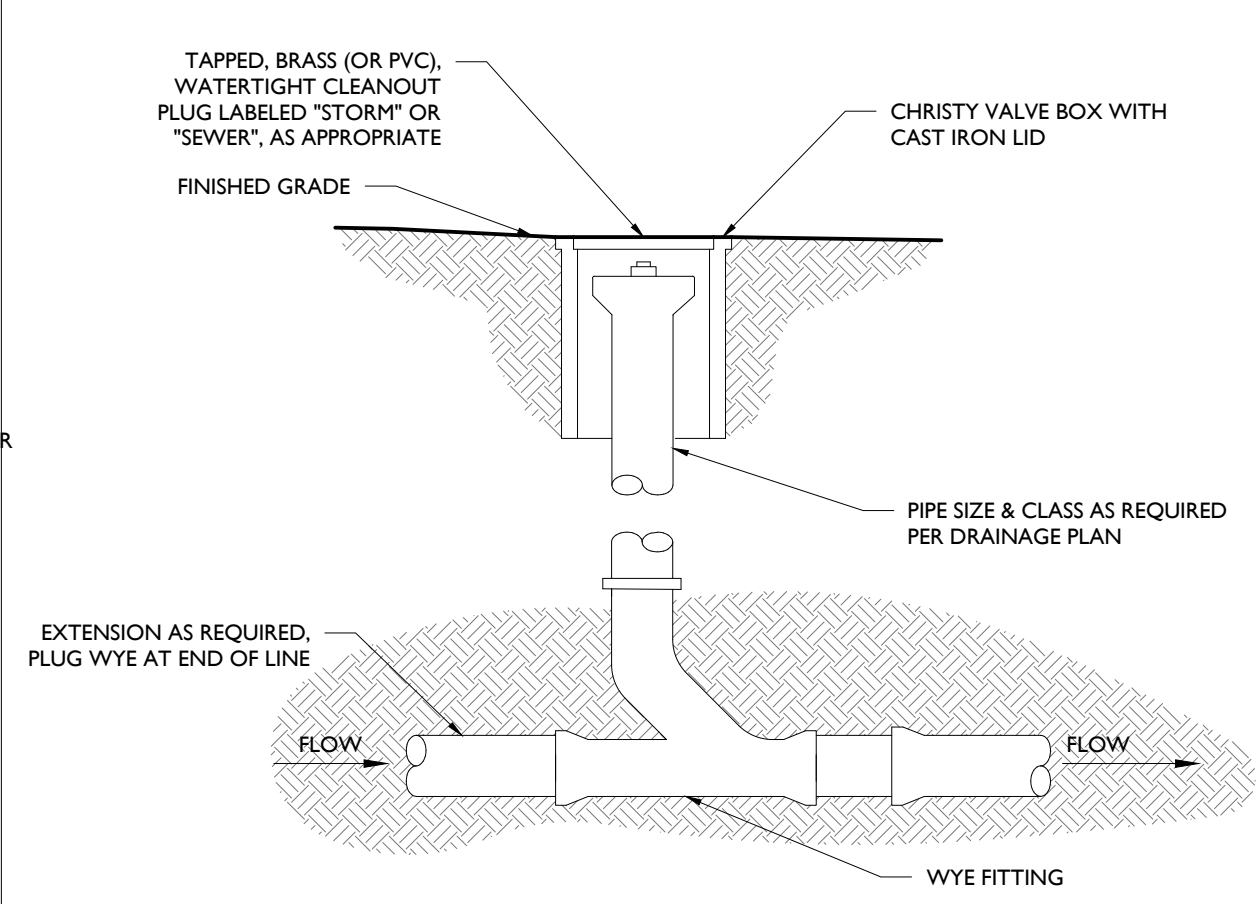
CADD FILE NO: 16 OF 20



UTILITY TRENCH DETAIL
NOT TO SCALE

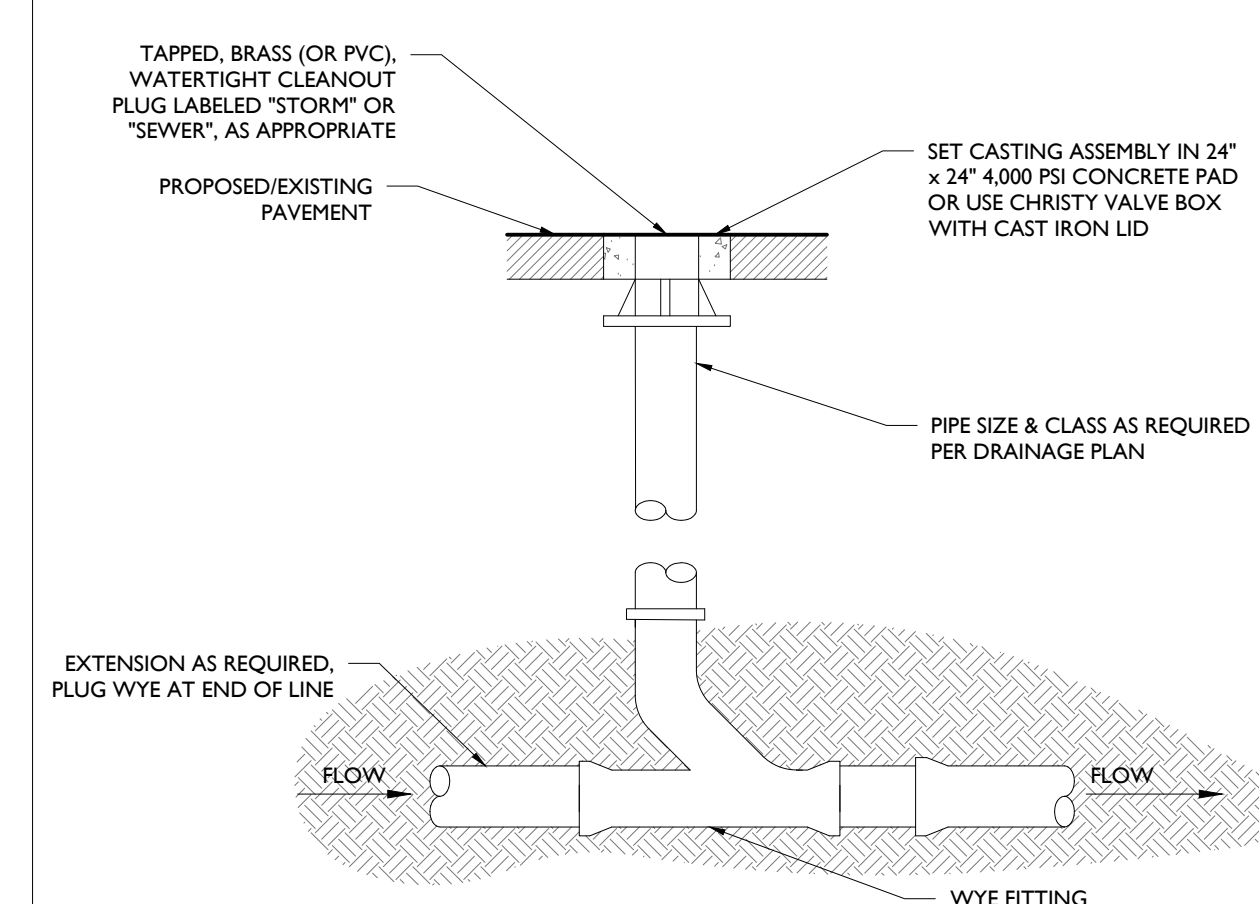
NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
• ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
• GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
• SEWER SERVICE - 36" MINIMUM
• WATER SERVICE - 48" MINIMUM

1



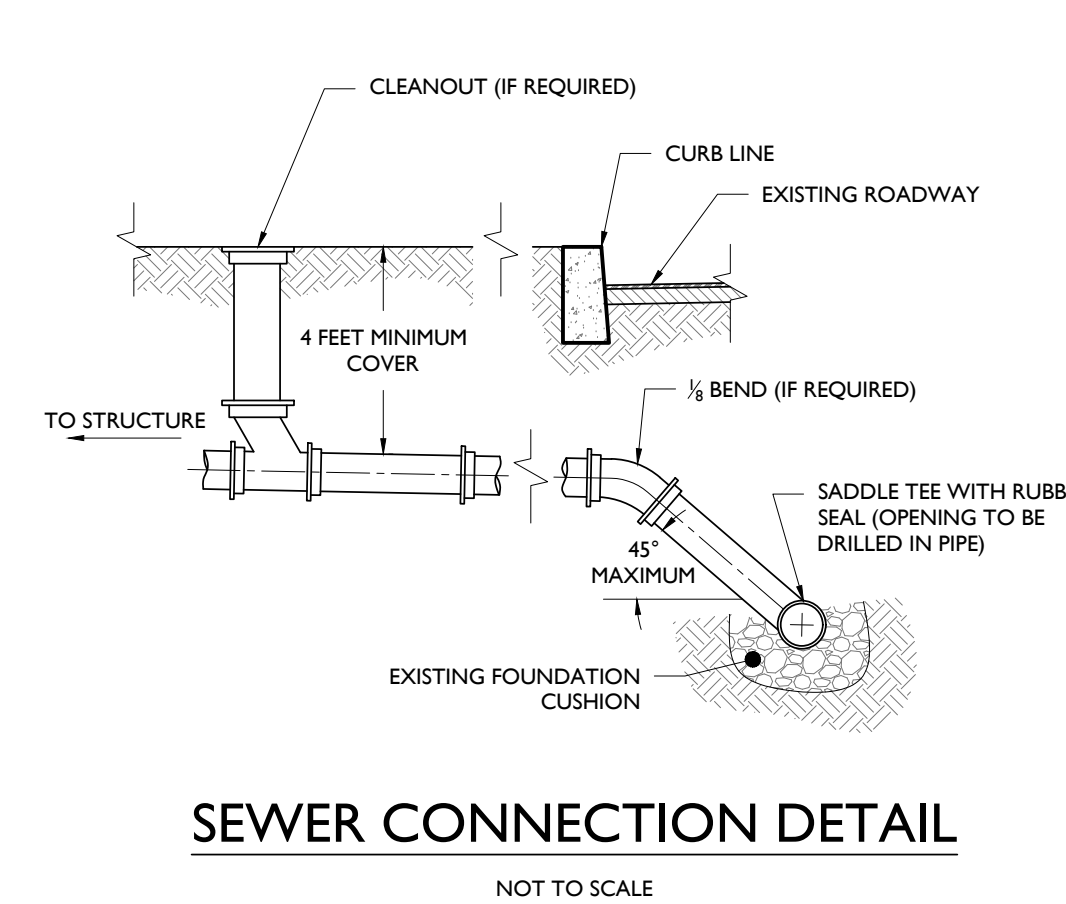
SOFTSCAPE CLEAN-OUT
NOT TO SCALE

2



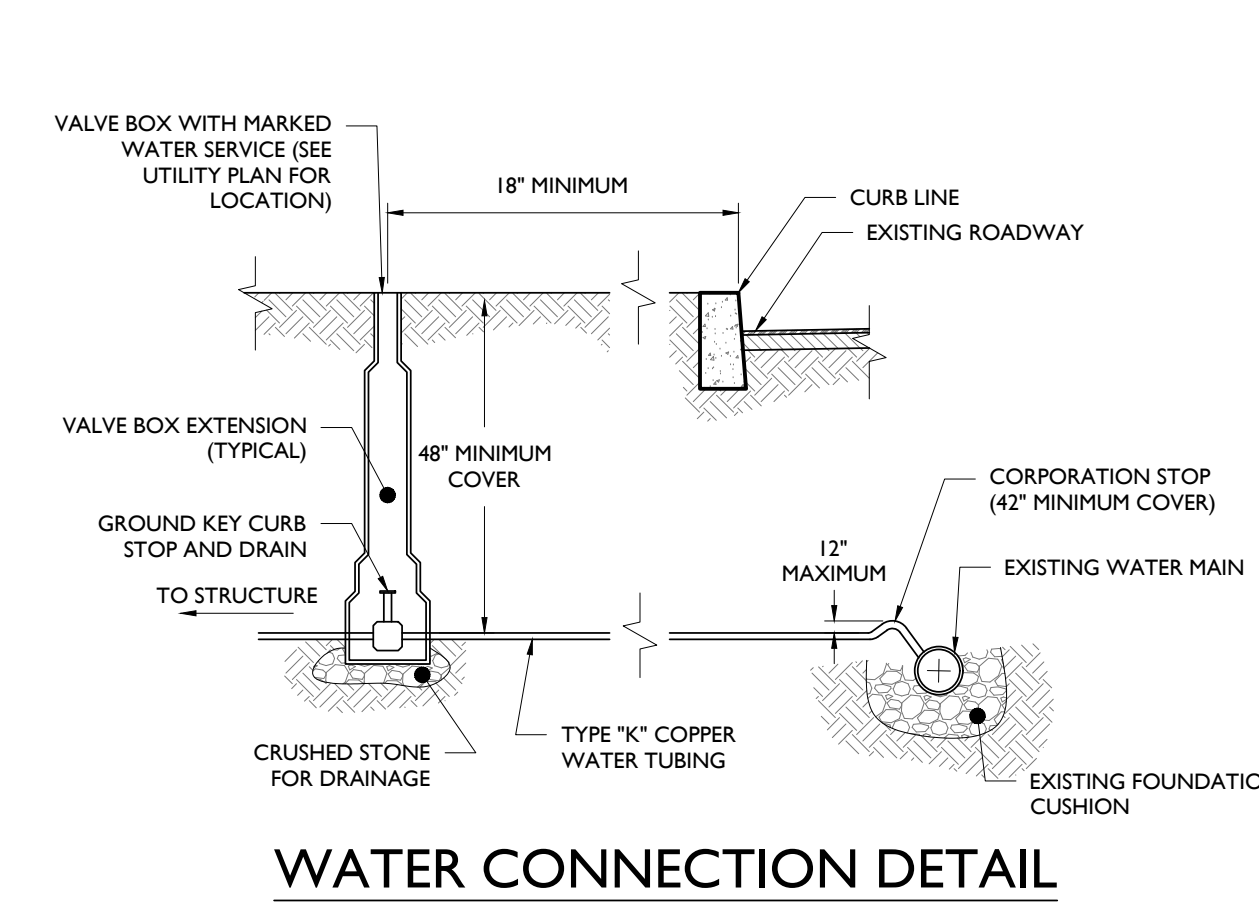
HARDSCAPE CLEAN-OUT
NOT TO SCALE

3



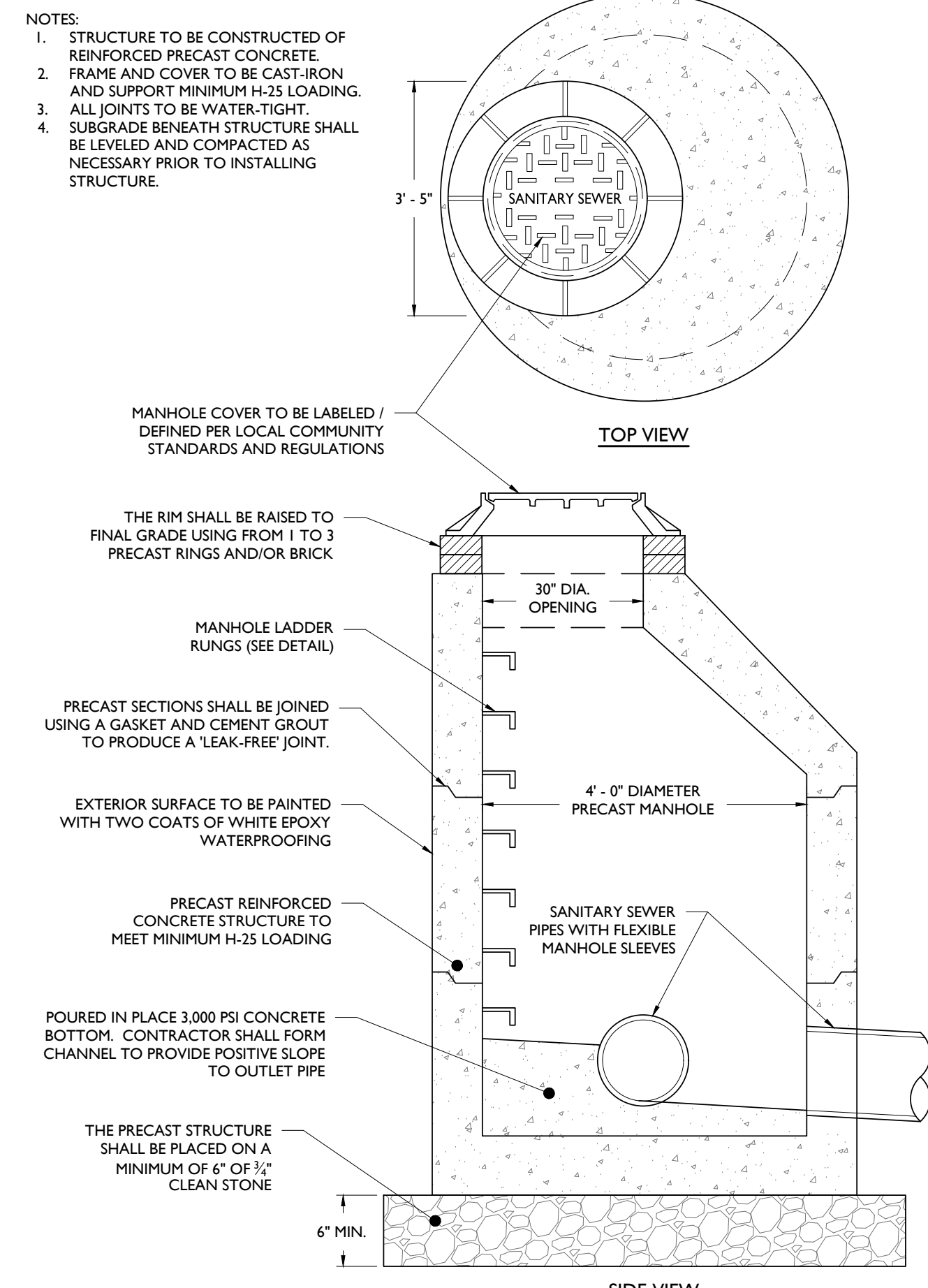
SEWER CONNECTION DETAIL
NOT TO SCALE

4



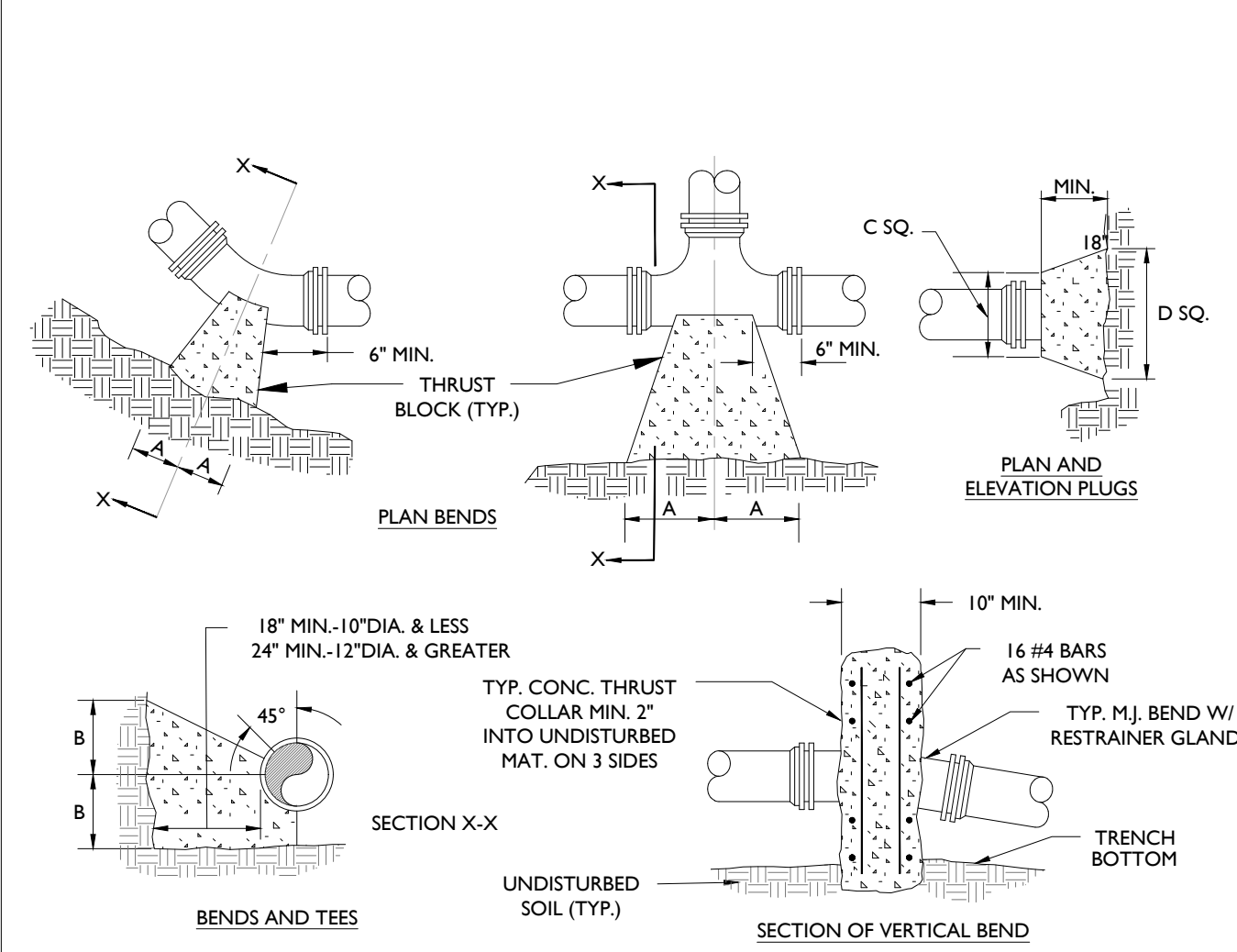
WATER CONNECTION DETAIL
NOT TO SCALE

5



SANITARY MANHOLE DETAIL
NOT TO SCALE

6

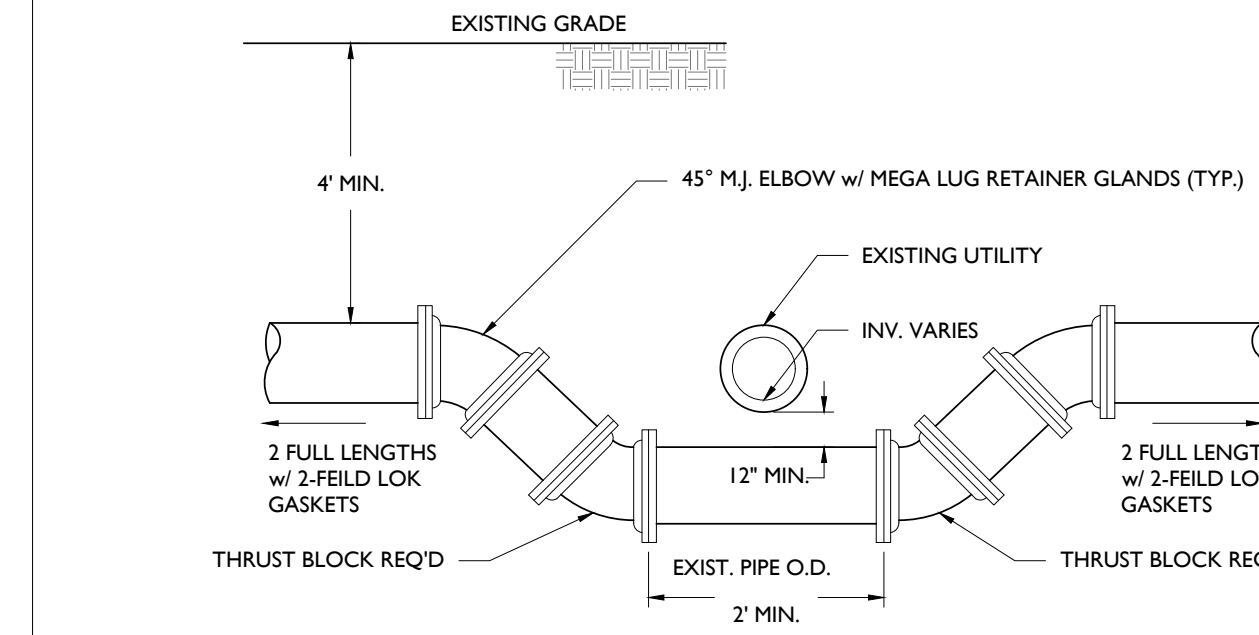


NOTES:
1. FOR VERT. BEND DOWN IN EXCESS OF 11 1/4" BEND, ANCHORAGE SHALL BE DESIGNED BY ENGINEER.
2. FOR VERT. BEND UPWARD, BLOCKING TO BE SIMILAR TO THAT FOR HORIZ. BEND.
3. GLANDS & BOLTS SHALL BE PROTECTED FROM CONC. BY PLASTIC SHEETING WHEN POURING THRUST BLOCKS.

PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND		TEE		PLUG
	A	B	A	B	A	B	A	B	A	B	
4"	8"	12"	8"	8"	6"	6"	6"	8"	11"	9"	10"
6"	10"	14"	10"	10"	8"	8"	8"	11"	14"	12"	14"
8"	12"	16"	12"	12"	10"	10"	10"	14"	18"	16"	18"
10"	14"	18"	14"	14"	12"	12"	12"	16"	20"	18"	20"
12"	16"	20"	16"	16"	14"	14"	14"	18"	22"	20"	22"
14"	18"	22"	18"	18"	16"	16"	16"	20"	24"	22"	24"
16"	20"	24"	20"	20"	18"	18"	18"	22"	26"	24"	26"
18"	22"	26"	22"	22"	20"	20"	20"	24"	28"	26"	28"
20"	24"	28"	24"	24"	22"	22"	22"	26"	30"	28"	30"
22"	26"	30"	26"	26"	24"	24"	24"	28"	32"	30"	32"
24"	28"	32"	28"	28"	26"	26"	26"	30"	34"	32"	34"
30"	36"	40"	36"	36"	32"	32"	32"	36"	40"	38"	40"

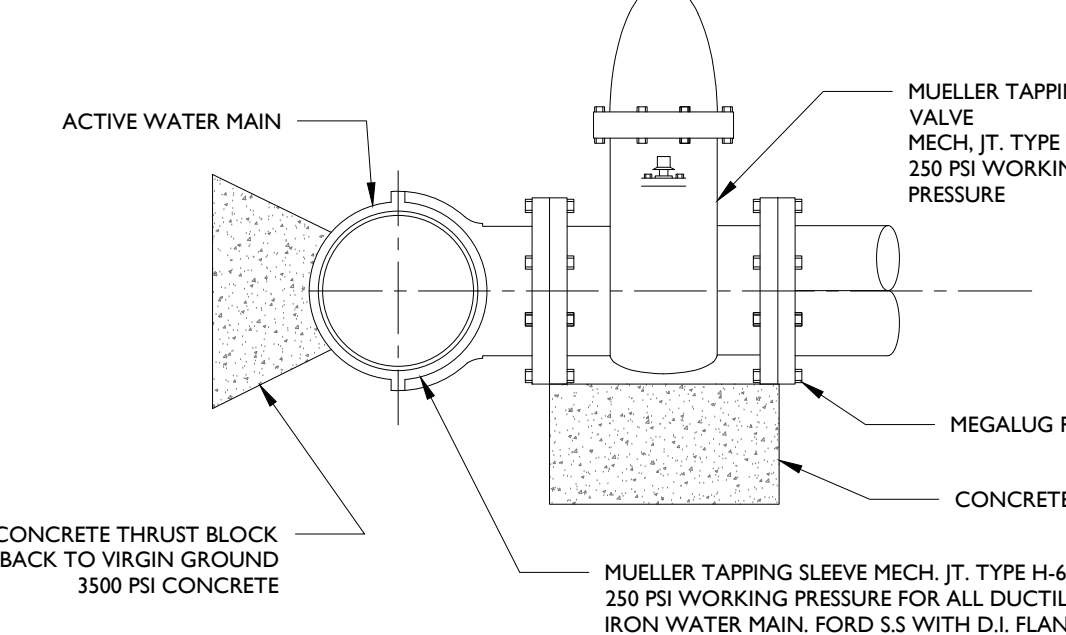
THRUST BLOCK
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7



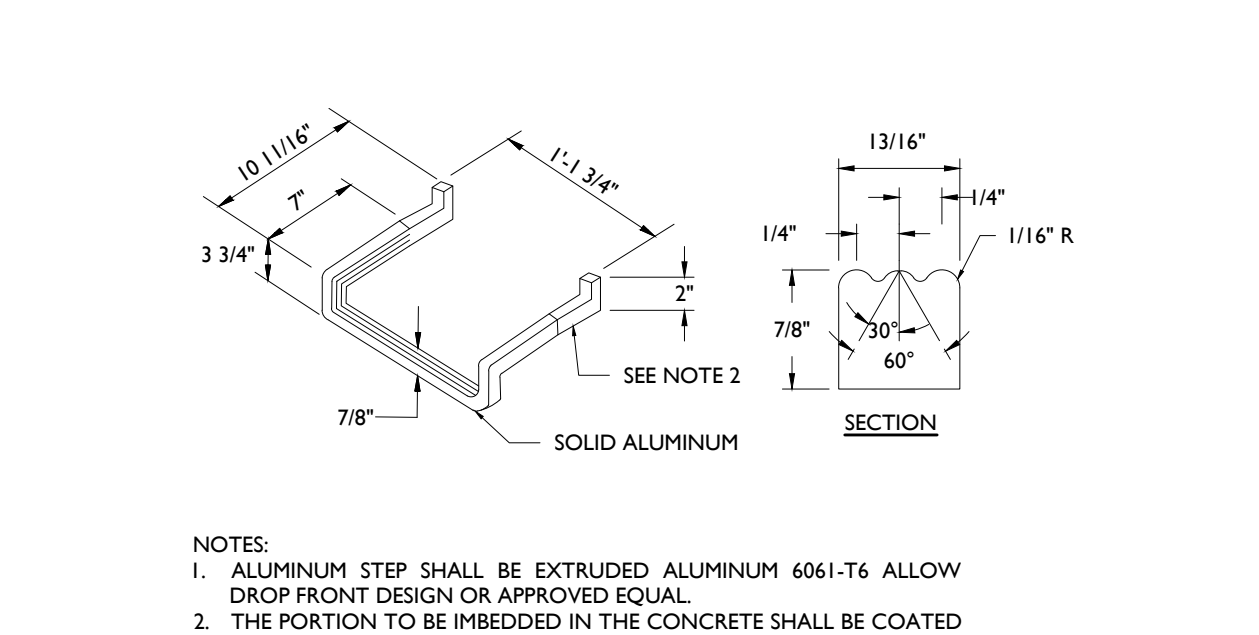
WATER LINE DEFLECTION DETAIL
NOT TO SCALE

8



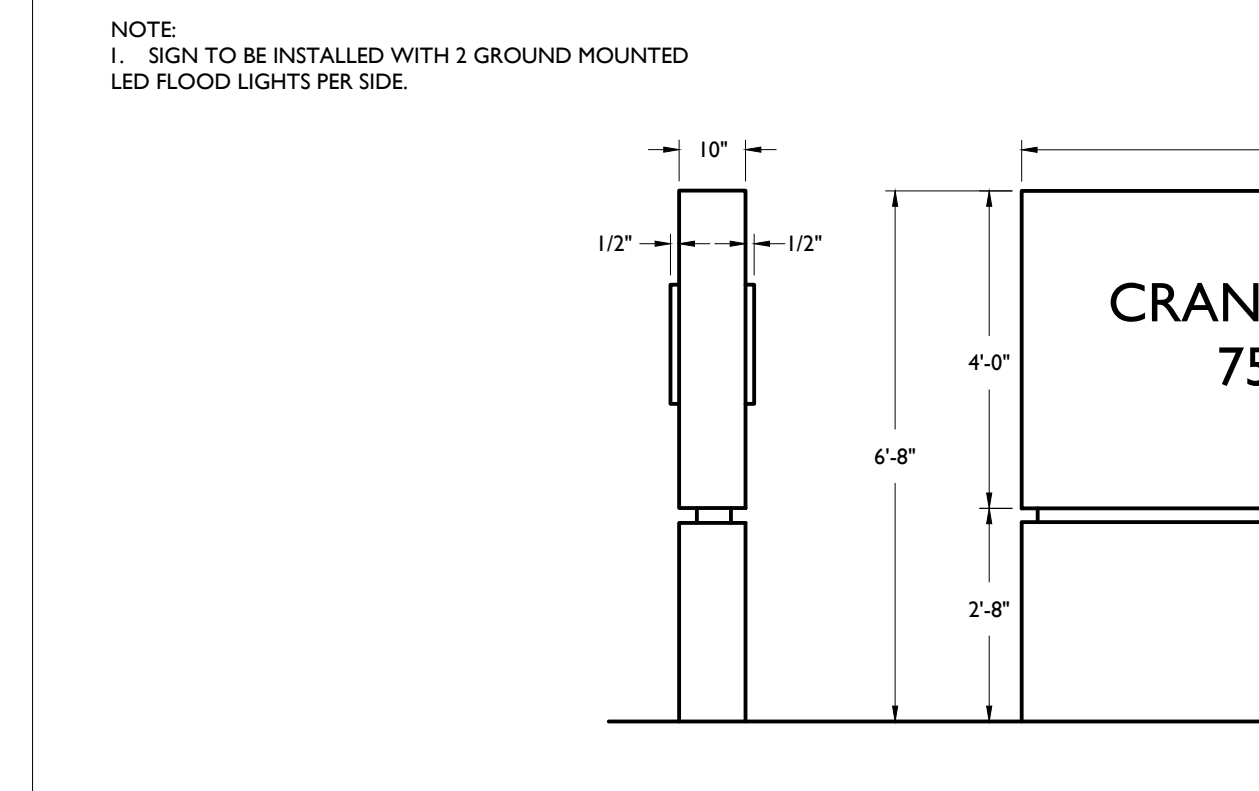
WET TAP
NOT TO SCALE

9



MANHOLE STEP
NOT TO SCALE

10



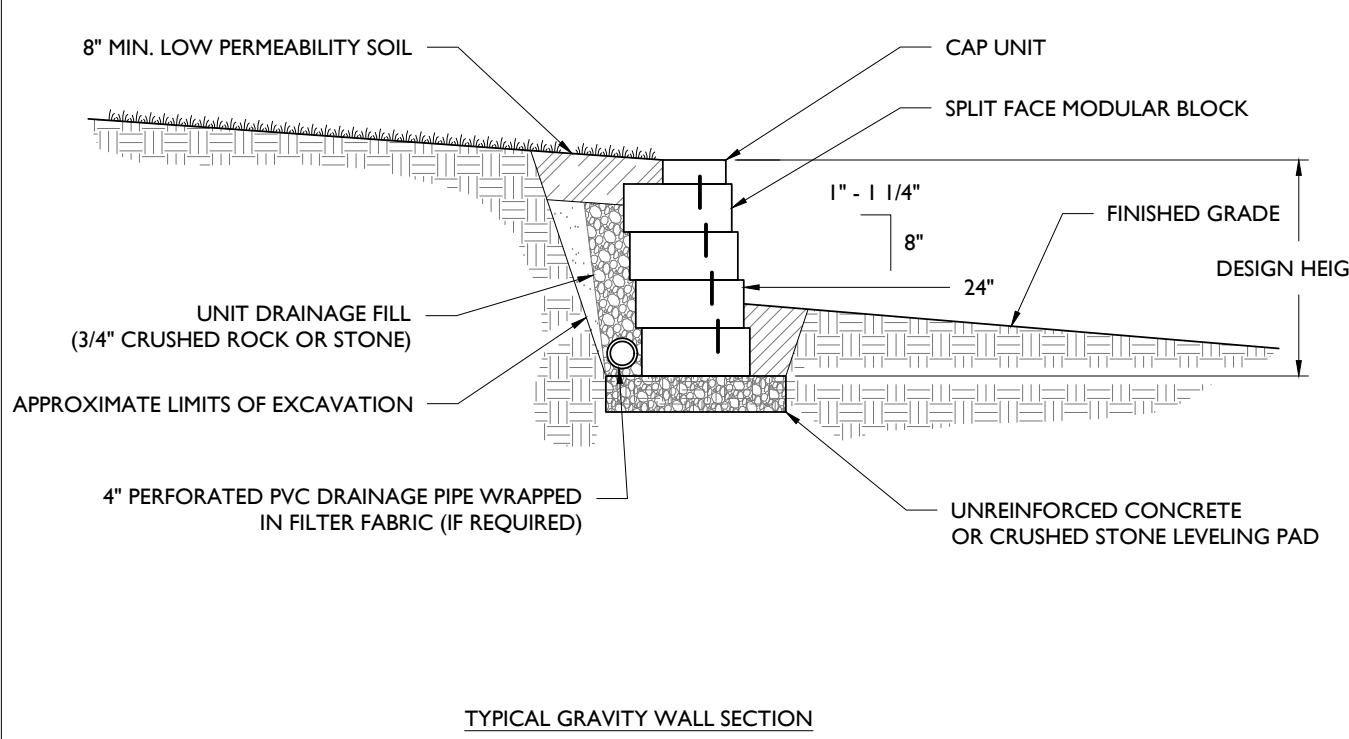
DOUBLE FACED ILLUMINATED ENTRANCE SIGN
NOT TO SCALE

11



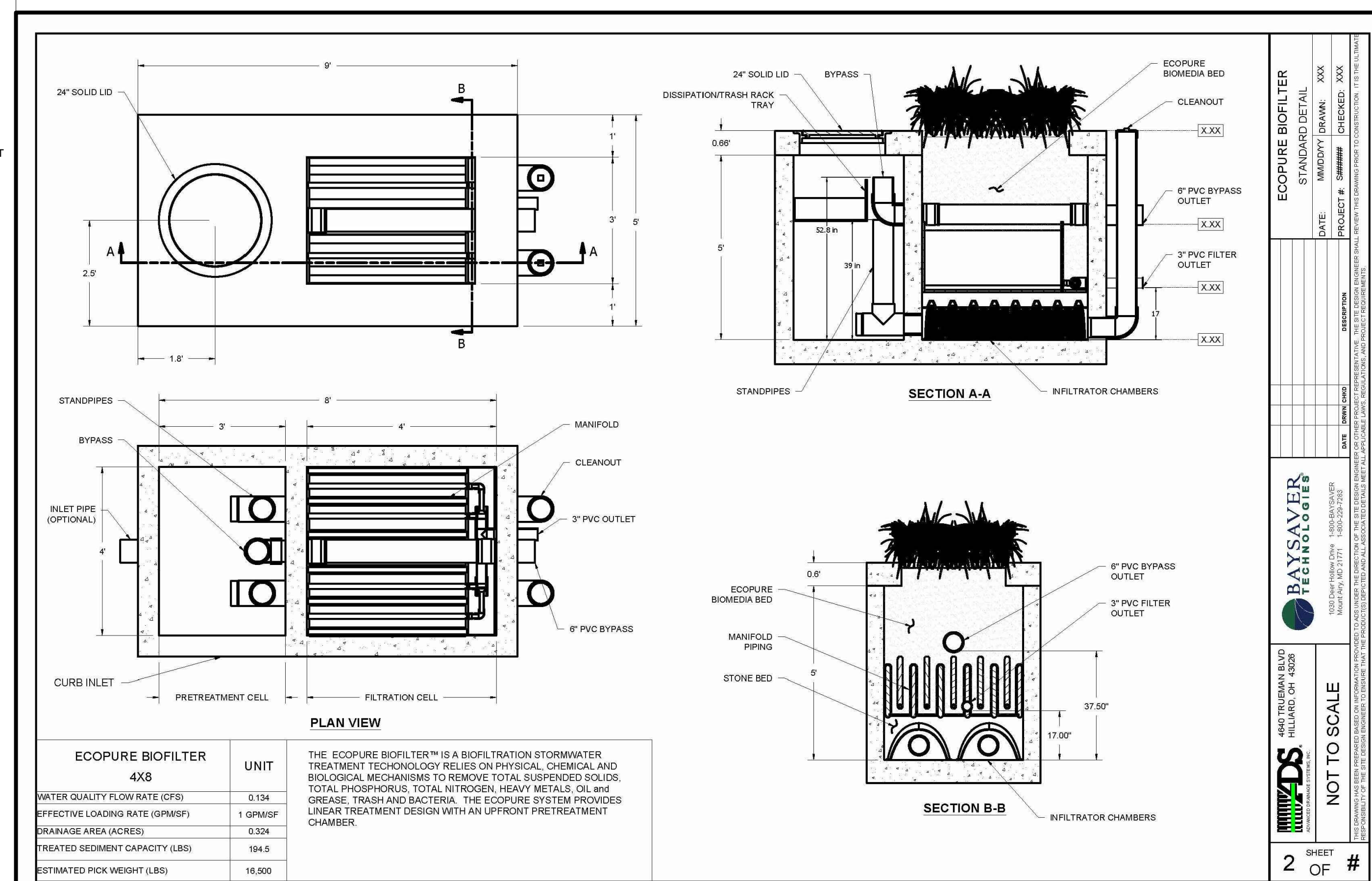
DOUBLE PORT CT4000 ELECTRIC CAR CHARGING STATION DETAIL
NOT TO SCALE

12



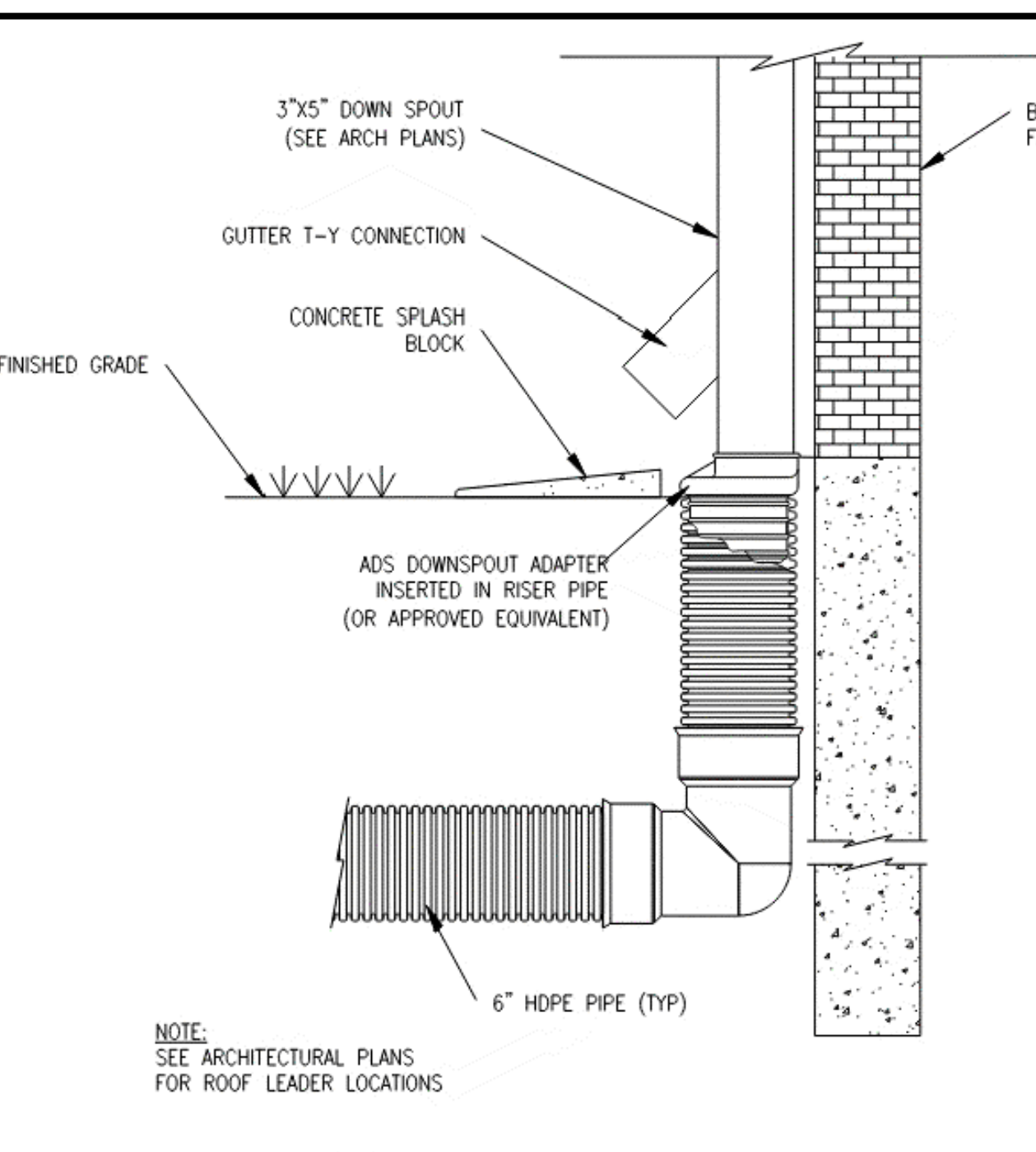
BLOCK WALL DETAIL
NOT TO SCALE

13



ECOPURE BIOFILTER TYPICAL DETAIL
NOT TO SCALE

14



ROOF DRAIN DOWN SPOUT CONNECTION
NOT TO SCALE

15

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500 PLAZA DRIVE
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SECAUCUS, N.J. 07096-1515

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NOTES :

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NO.	BY	DATE	ISSUE OR REVISION

PROJECT :
PROPOSED MIXED-USE REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

CONSTRUCTION DETAILS

DESIGNER:
ZACHARY E. CHAPLIN
012 PE # 53605

DATE : 08/01/2022
PROJECT NO. : T-16509
DRAWING BY : FT
CHK BY : ZC
DWC NO.:

C-18
CADD FILE NO. 18 OF 20

Rosetta® Product Specifications

Kodah™ Wall

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Kodah Wall Unit 4-pc system - on one pallet		21 sf	18	2400 lbs
extra large	42 x 10½ x 6		6	
large	30 x 10½ x 6		3	
medium	21 x 10½ x 6		6	
small	12 x 10½ x 6		3	
Kodah Corner Unit	21 x 10½ x 6	31½ sf	24	2400 lbs

Outcropping™ Wall

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Pallet A	N/A	18 sf	4	4000 lbs
Pallet B	N/A	18 sf	6	4000 lbs
Pallet C	N/A	18 sf	4	4000 lbs
Corner Pallet	N/A	18 sf	4	4000 lbs

Belvedere™ Wall

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Belvedere Wall Unit 6-piece system - all on one pallet, 12x each size		27 sf	72	2475 lbs
6" large	6 x 9 x 18			
6" medium	6 x 9 x 12			
6" small	6 x 9 x 6			
3" large	3 x 9 x 18			
3" medium	3 x 9 x 12			
3" small	3 x 9 x 6			
Belvedere Corner Unit 2-piece system, both on one pallet, 16x each size		24 sf	32	1520 lbs
6" unit	6 x 9 x 15			
3" unit	3 x 9 x 15			

Belvedere™ Coping

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Belvedere Coping Unit 5 different units on one pallet	2½ x 10½ (various lengths)	66 lf	72	1550 lbs

Belvedere™ Caps

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Column Cap	2½ x 27 x 27	EA	6	954 lbs
Formal Cap	3 x 30 x 30	EA	6	1434 lbs

Dimensional Wall

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Straight Unit	4 x 8 x 12	25 sf	75	2100 lbs
Wedge Unit	4 x 8 x 12-7½	33 sf	100	2000 lbs

Dimensional Coping/Cap

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
Short, Long, and Finished End units - one pallet		63 lf	36	1950 lbs
Short Coping	2½ x 12½ x 18			
Long Coping	2½ x 12½ x 24			
Finished End Coping	2½ x 12½ x 19			
Column Cap	2½ x 24 x 24	EA	6	954 lbs

Dimensional Flagstone

Product/Unit	Dimensions (in)	u/m pallet	pcs/pallet	wt./pallet
All six shapes - one pallet 8 layers/pallet 1 layer = 1 pattern 12½ sf/layer 6 shapes/layer	N/A	98 sf	48	2350 lbs

Belvedere™ Wall

The Rosetta® Belvedere collection is an ideal choice for two-sided seating walls, retaining walls, columns, and more. Featuring multiple unit sizes along with an industry-leading 64 unique stone textures, the Belvedere collection provides an incredibly natural look.

Units



BELVEDERE WALL UNITS
6-piece system, all on one pallet:
27 sf/pallet | 2,475 lbs/pallet (72 pcs/pallet)

- Distinctive natural stone texture
- Different texture on both front and back = more flexibility
- Attractive freestanding and retaining walls
- Dimensional = fast installation and no waste
- Build gravity walls up to 3½ feet
- Use grid for walls up to 6 feet



BELVEDERE CORNER UNITS
One pallet = one 24" x 24" x 36"H column
2-piece system, both on one pallet:
24 sf/pallet | 1,520 lbs/pallet (32 pcs/pallet)

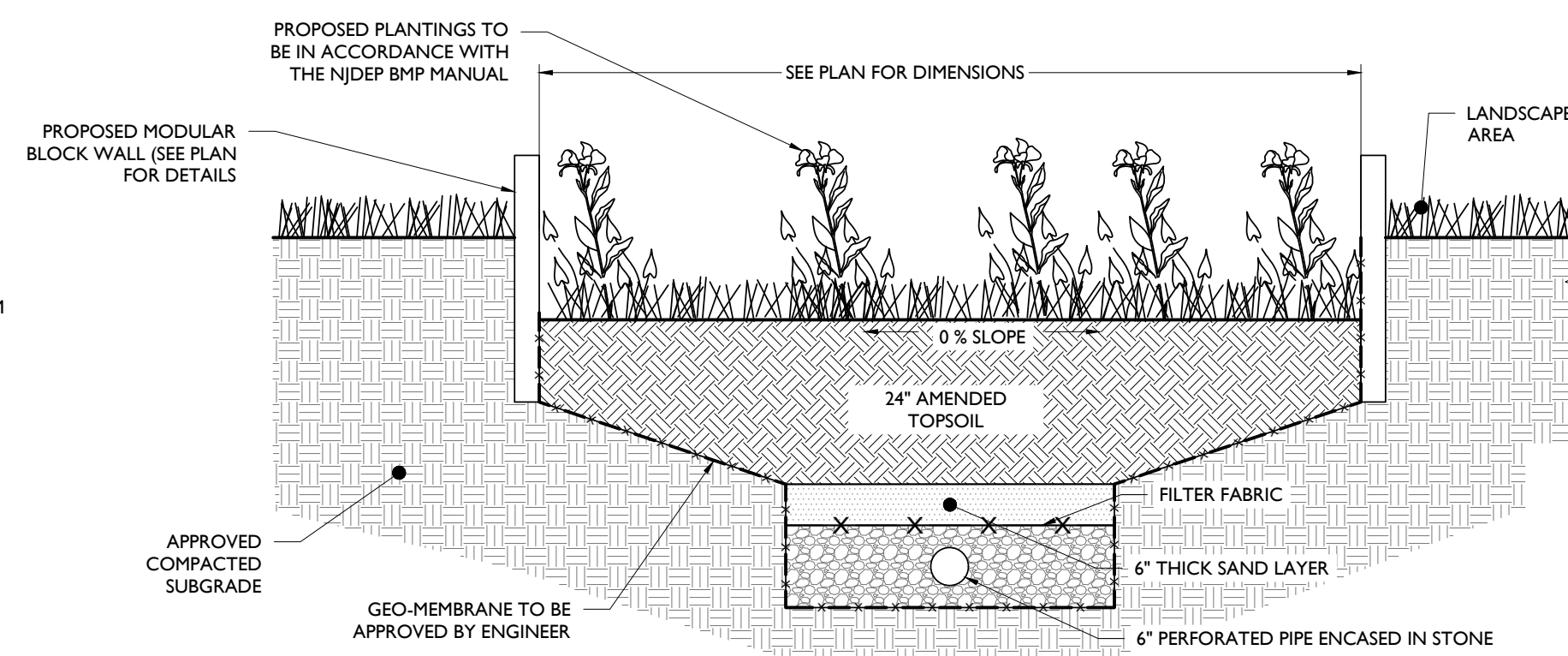
Colors



ROSETTA STONE BLOCK WALL DETAIL

NOT TO SCALE

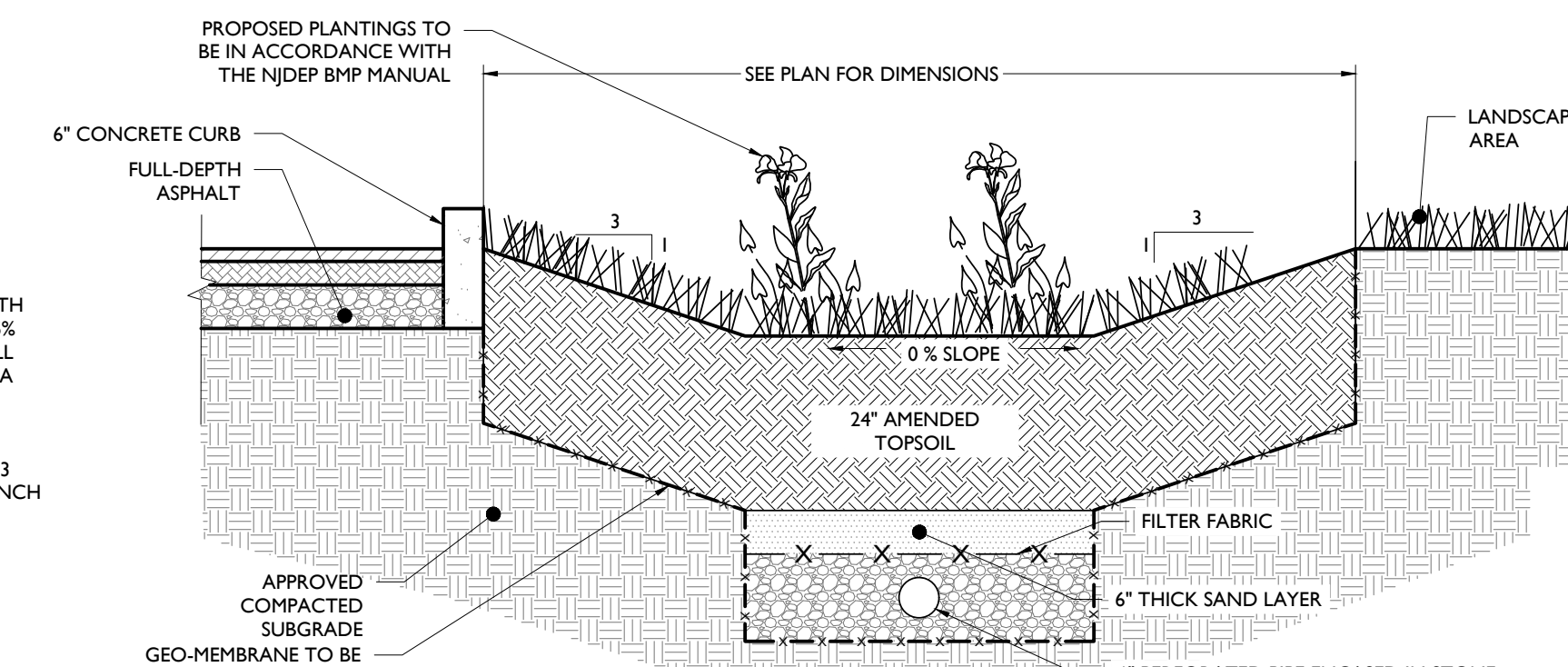
- NOTES:
1. BIORETENTION AREA CONSTRUCTION MUST NOT COMPACT SOILS BELOWSOIL BED BOTTOM.
 2. THE PLANTING SOIL BED SHALL CONSIST OF THE FOLLOWING MIX: 85%-95% SANDS WITH <25% OF THE SANDS CLASSIFIED AS FINE OR VERY FINE, <15% SILT AND CLAY WITH 25-5% CLAY CONTENT. THE MIX SHALL BE AMENDED WITH 5-7% ORGANICS. pH LEVELS SHALL RANGE FROM 5.5 TO 6.5. THE SOIL MIX MUST BE CERTIFIED BY EITHER THE VENDOR OR A LICENSED PROFESSIONAL ENGINEER DURING ONSITE MIXING.
 3. THE PLANTING SOIL BED SHALL BE PLACED IN 6" LIFTS.
 4. REFER TO THE LANDSCAPING PLANS FOR BIORETENTION AREA PLANTINGS.
 5. GRAVEL LAYER SHALL CONTAIN A SUFFICIENT THICKNESS TO PROVIDE A MINIMUM OF 3 INCHES OF GRAVEL ABOVE AND BELOW THE PIPES. IT SHOULD CONSIST OF 0.5 TO 1.5 INCH CLEAN BROKEN STONE OR PEA GRAVEL.



WALLED BIORETENTION BASIN DETAIL

NOT TO SCALE

- NOTES:
1. RAINGARDEN AREA CONSTRUCTION MUST NOT COMPACT SOILS BELOWSOIL BED BOTTOM.
 2. THE PLANTING SOIL BED SHALL CONSIST OF THE FOLLOWING MIX: 85%-95% SANDS WITH <25% OF THE SANDS CLASSIFIED AS FINE OR VERY FINE, <15% SILT AND CLAY WITH 25-5% CLAY CONTENT. THE MIX SHALL BE AMENDED WITH 5-7% ORGANICS. pH LEVELS SHALL RANGE FROM 5.5 TO 6.5. THE SOIL MIX MUST BE CERTIFIED BY EITHER THE VENDOR OR A LICENSED PROFESSIONAL ENGINEER DURING ONSITE MIXING.
 3. THE PLANTING SOIL BED SHALL BE PLACED IN 6" LIFTS.
 4. REFER TO THE LANDSCAPING PLANS FOR RAINGARDEN PLANTINGS.
 5. GRAVEL LAYER SHALL CONTAIN A SUFFICIENT THICKNESS TO PROVIDE A MINIMUM OF 3 INCHES OF GRAVEL ABOVE AND BELOW THE PIPES. IT SHOULD CONSIST OF 0.5 TO 1.5 INCH CLEAN BROKEN STONE OR PEA GRAVEL.



BIORETENTION BASIN DETAIL

NOT TO SCALE

HARTZ
MOUNTAIN
INDUSTRIES
500 PLAZA DRIVE
P.O. BOX 1515
SECAUCUS, N.J. 07096-1515



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584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

NOTES :

NO.	BY	DATE	ISSUE OR REVISION
03	FT	10/03/22	REVISED PER MUNICIPAL COMMENTS
02	FT	08/01/22	ISSUED FOR BID
01	FT	05/23/22	ISSUED FOR TOWN COUNCIL SUBMISSION

REVISION :

PROJECT :
**PROPOSED MIXED-USE
REDEVELOPMENT**
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

CONSTRUCTION DETAILS

DESIGNER:
ZACHARY E. CHAPLIN
02 PE # 53605

DATE : 08/01/2022

PROJECT NO. : T-16509

DRAWING BY : FT

CHK BY : ZC

DWG NO. : **C-19**

CADD FILE NO. : 19 OF 20

SAMPLE PLOT A: TREE INVENTORY		
PLOT	SPECIES	TREE DIAMETER
A	PINE	12"
A	PINE	12"
A	PINE	12"
A	PINE	12"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	BLUE SPRUCE	8"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	PINE	12"
A	DOGWOOD	6"
A	DOGWOOD	6"
A	IRONWOOD	6"
A	IRONWOOD	6"
A	IRONWOOD	6"

PLOT A: BUFFER AREA ALONG WALNUT AVENUE FRONTAGE

TOTAL TRACT AREA
1,341,643 SF (30.79 AC)

TOTAL WOODED AREA ALONG WALNUT AVENUE
109,377 SF (2.51 AC)

TOTAL WOODED AREA TO BE REMOVED
82,737 SF (1.90 AC)

WOODED ACRE SAMPLE PLOT
WOODED AREA SAMPLE: 11,900 SF (0.27 AC)
MULTIPLICATION FACTOR: 1.90 AC / 0.27 AC = 7.03

TREES EQUAL TO OR GREATER THAN 6" BUT LESS THAN 12"
TOTAL TREES WITH DBH EQUAL TO OR GREATER THAN 6" AND LESS THAN 12" WITHIN WOODED ACRE SAMPLE PLOTS: 7 TREES

ESTIMATED TOTAL TREES WITH A DBH EQUAL TO OR GREATER THAN 6" AND LESS THAN 12" ON SITE: $6 \times 7.03 = 42$ TREES

TREES EQUAL TO OR GREATER THAN 12" BUT LESS THAN 18"
TOTAL TREES WITH DBH EQUAL TO OR GREATER THAN 12" AND LESS THAN 18" WITHIN WOODED ACRE SAMPLE PLOTS: 10 TREES

ESTIMATED TOTAL TREES WITH A DBH EQUAL TO OR GREATER THAN 12" AND LESS THAN 18" ON SITE: $10 \times 7.03 = 70$ TREES

ESTIMATE OF TOTAL TREES TO BE REMOVED ON SITE: $42 + 70 = 112$ TREES

TREE REPLACEMENT CALCULATIONS

DBH REQUIRED	ESTIMATED TOTAL TREES REMOVED FOR REPLACEMENT	REQUIRED PER TREE	TOTAL
BETWEEN 6" - 12"	42	3	126
BETWEEN 12" - 18"	70	4	280
TOTAL:	112		406

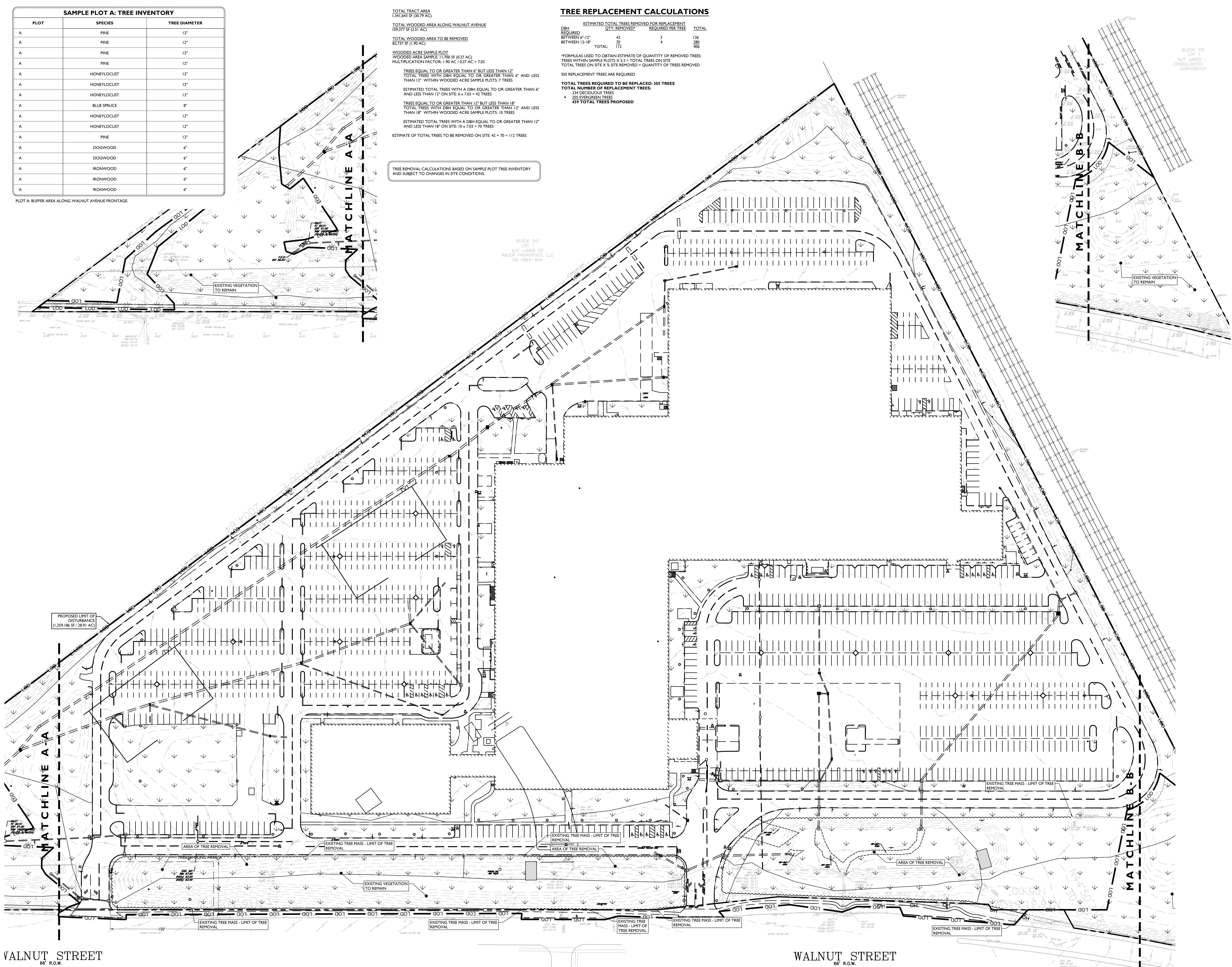
*FORMULAS USED TO OBTAIN ESTIMATE OF QUANTITY OF REMOVED TREES:
TREES WITHIN SAMPLE PLOTS X 5.3 = TOTAL TREES ON SITE
TOTAL TREES ON SITE X % SITE REMOVED = QUANTITY OF TREES REMOVED

305 REPLACEMENT TREES ARE REQUIRED

TOTAL TREES REQUIRED TO BE REPLACED: 305 TREES
TOTAL NUMBER OF REPLACEMENT TREES:
234 DECIDUOUS TREES
70 EVERGREEN TREES
= 304 TOTAL TREES PROPOSED

TREE REMOVAL CALCULATIONS BASED ON SAMPLE PLOT TREE INVENTORY AND SUBJECT TO CHANGES IN SITE CONDITIONS

BLOCK 541
LOT 1
N/E LANDS OF
RACER PROPERTIES, LLC
DB: 5866-8844



BLOCK 706
LOT 1
N/E LANDS OF
CONSOLIDATED
CORPORATION

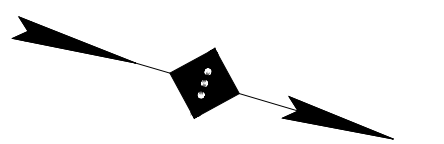
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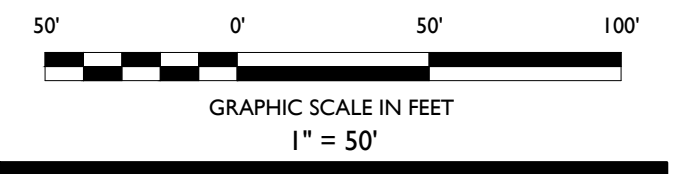
584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY



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750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :
TREE REPLACEMENT PLAN

DATE : 08/01/2022
PROJECT NO. : T-16509
DRAWING BY : FT
CHK BY : ZC
DWG NO. :
CADD FILE NO. : 20 OF 20

C-20

VALNUT STREET
66' R.O.W.

WALNUT STREET
66' R.O.W.