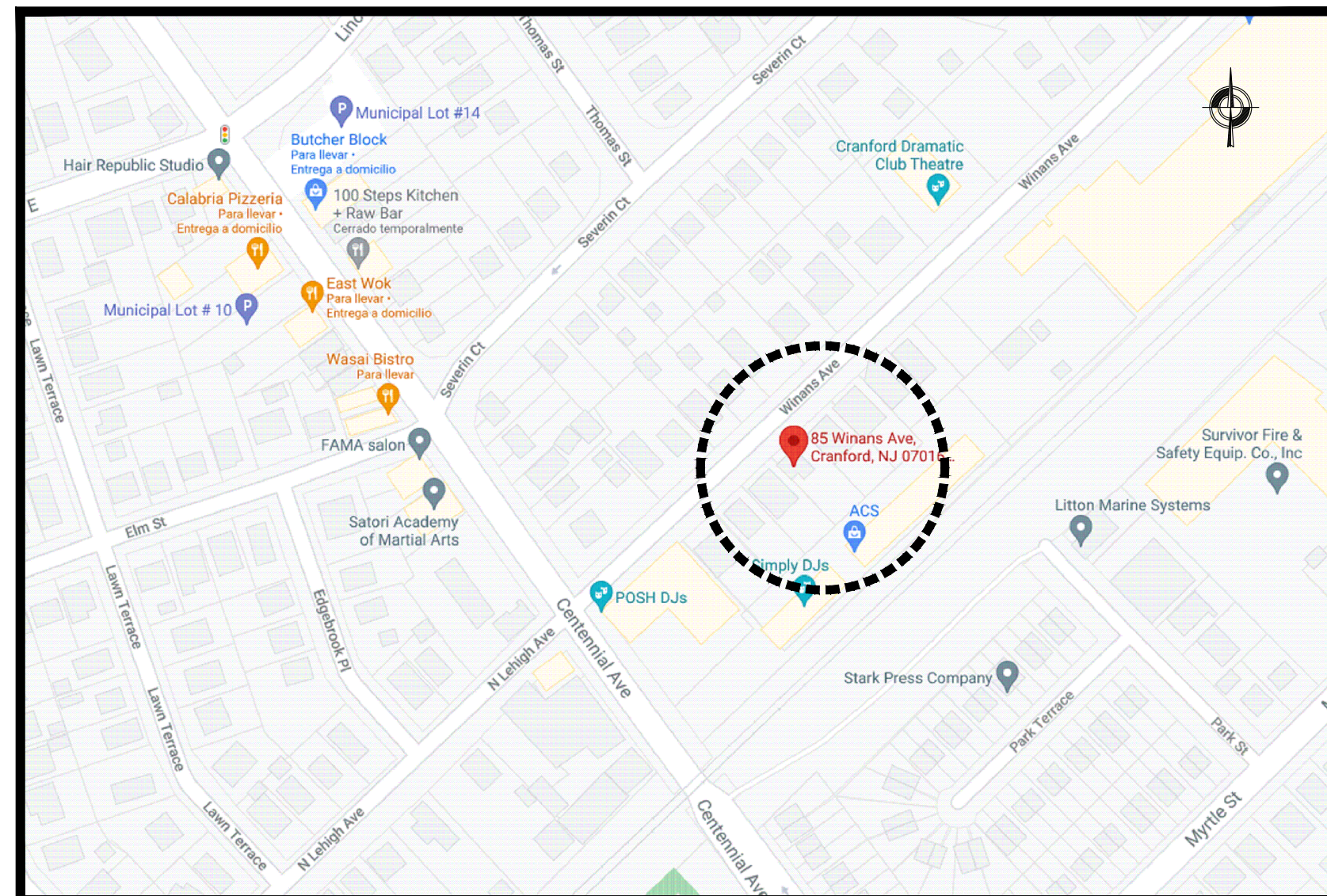


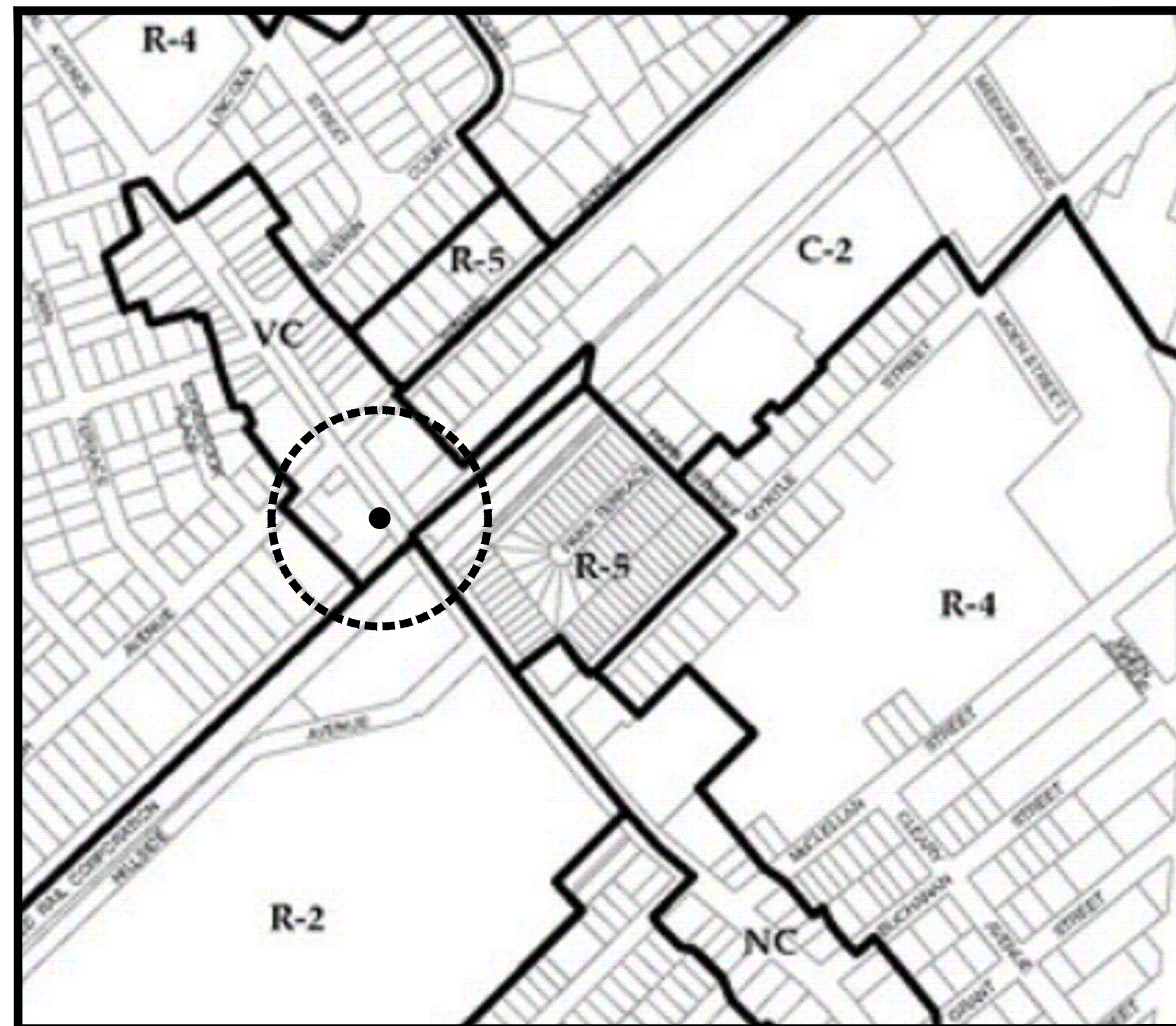
# 85 WINANS AVENUE CRANFORD, NJ

PROPOSED NEW TWO FAMILY DWELLING.

LOT: 7  
BLOCK: 527



KEY MAP



ZONING MAP C-2 ZONE



81-83 WINANS AVENUE



85 WINANS AVENUE



87-89 WINANS AVENUE

## C-2 ZONE

### TWO FAMILY

	REQUIRED	PROVIDED	NOTES
TWO FAMILY			OK
MIN. LOT AREA	10,000.0 S.F.	6,250.0 S.F.	EXISTING CONDITION
MIN. LOT WIDTH	75.0'	50.0'	EXISTING CONDITION
MIN. FRONT YARD	20.0'	20.0'	OK
MIN. SIDE YARD	10% BOTH 20%	10.4% (5.2') BOTH 20.8% (10.4')	OK
MIN. REAR YARD	25.0'	40.0'	OK
MAX. FLOOR AREA RATIO	0.60	0.99	NON CONFORMING
MAX. LOT COVERAGE BY BUILDING	40%	38.08%	OK
MAX. BUILDING HEIGHT	3 STORIES & 45.0'	2 STORIES & 33'-4"	OK
MAX. IMPERVIOUS COVERAGE	75%	57.8%	OK
PREVIOUS IMPERVIOUS COVERAGE	75%	53.7%	OK

#### N.J.U.C.C 2015

USE GROUP	R-5
CONSTRUCTION TYPE	5A
STORIES	2
HEIGHT OF STRUCTURE	33'-4"

LOT AREA	6,250.00 S.F.
LANDSCAPE	2,532.00 S.F.
BUILDING & GARAGE	2,380.00 S.F.
CIRCULATION	898.00 S.F.
PATIO	440.00 S.F.

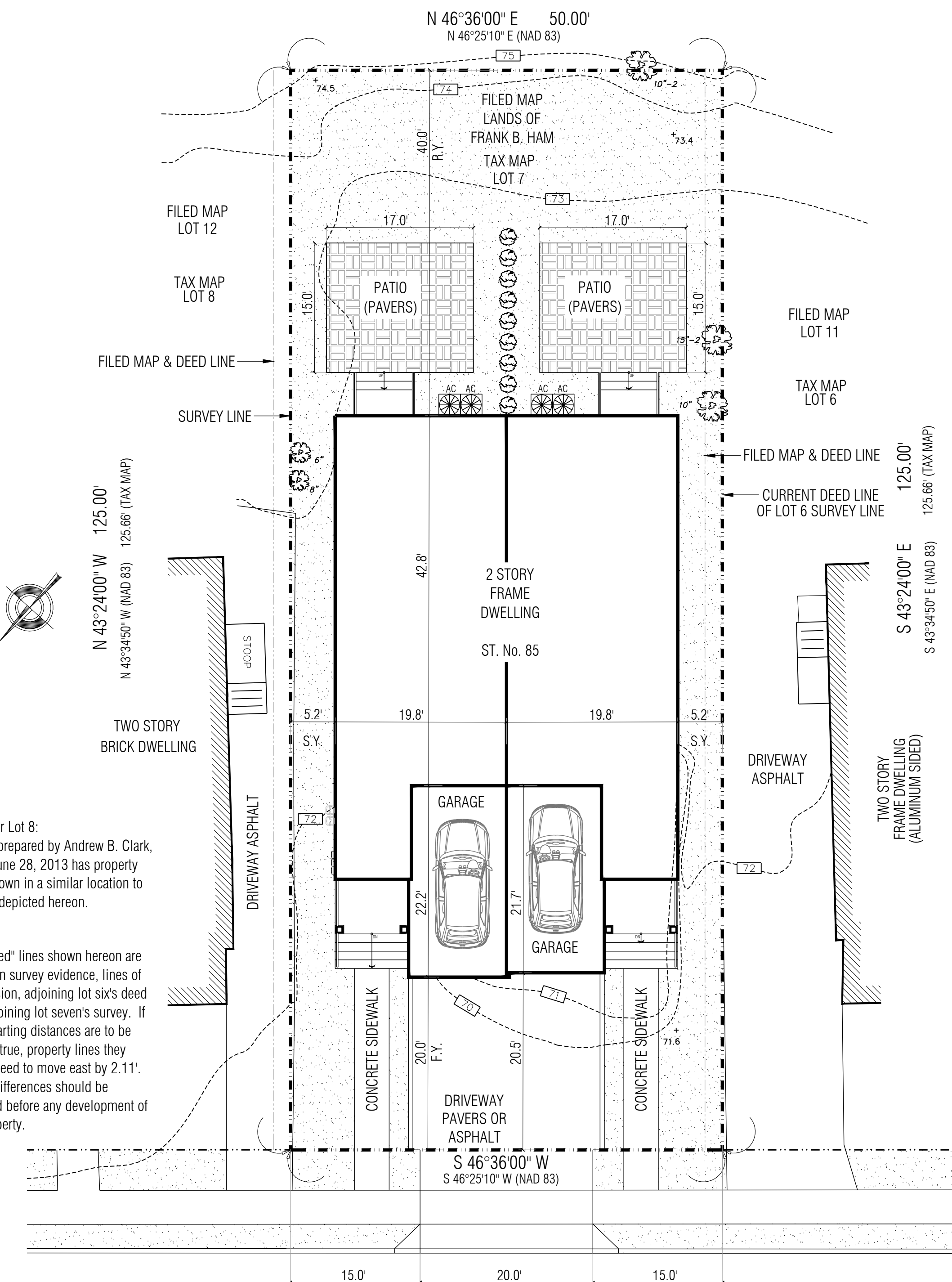
DESIGN LOADS	LIVE LOAD	DEAD LOAD	TOTAL
FIRST FLOOR	40	15	55
SECOND FLOOR	40	15	55
ROOF	30	15	45

#### FLOOD HAZARD DETERMINATION

- THIS PROPERTY IS LOCATED ON FLOOD HAZARD ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOOD PLAN.
- The flood map for the selected area is number 34013C0157F, effective on 06/04/2007

#### DRAWING INDEX:

SHEET N°	DESCRIPTION
T-100	BUILDING DATA / SITE PLAN
A-100	ARCHITECTURAL PLANS
A-110	ARCHITECTURAL PLANS
A-200	ARCHITECTURAL ELEVATIONS



NOTE for Lot 8:  
Survey prepared by Andrew B. Clark, dated June 28, 2013 has property lines shown in a similar location to what is depicted hereon.

NOTE:  
"Surveyed" lines shown hereon are based on survey evidence, lines of possession, adjoining lot six's deed and adjoining lot seven's survey. If deed starting distances are to be held as true, property lines they would need to move east by 2.11'. These differences should be resolved before any development of the property.

WINANS AVENUE  
(50' R.O.W.)

### SITE PLAN

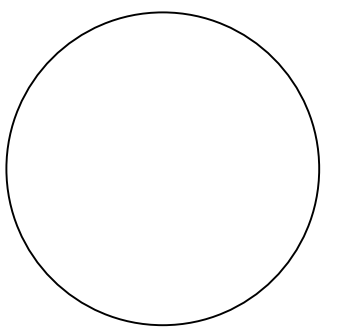
SCALE: 1" = 10'  
BLOCK: 527  
LOT: 7

BOUNDARY & TOPOGRAPHIC SURVEY		
OF 85 WINANS AVENUE LOT 7 IN BLOCK 527 ON TAX MAPS OF		
TOWNSHIP OF CRANFORD	UNION COUNTY	NEW JERSEY
PREPARED FOR <b>DANIEL &amp; MARIA PEREIRA</b>	JOB No. 55228	DATE: 5-24-2022
<b>PRONESTI</b>		
<b>SURVEYING, INC.</b> PROFESSIONAL LAND SURVEYORS		
870 POMPTON AVENUE, SUITE B1 CEDAR GROVE, NJ 07009 TEL: (973) 857-3319 • FAX: (973) 857-3608 www.PRONESTI.com		
MICHAEL PRONESTI, P.L.S. PROFESSIONAL LAND SURVEYOR NJ LIC. No. 37605		

REVISIONS:

877 BROAD STREET  
NEWARK, NJ 07102  
TEL: (973) 824-0022  
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ARTEK  
STUDIO, LLC.



Daniel A. Roma AIA  
Registered Architect  
NJ License No. 17915  
NY License No. 030082-1

COLD RIVER REALTY CORP  
85 WINANS AVE  
CRANFORD, NJ  
PROPOSED NEW TWO FAMILY DWELLING.

DATE: 01-13-2022

DRAWN BY: HM  
CHECKED BY: DAR

PROJECT	DRAWING
21035	1 OF 5 T-100

**DRAINAGE CALCULATIONS**

**Existing Conditions (VACANT LOT):**  
 Lot area: 6,250.0 s.f. = 0.14 acre  
 Grass: 6,250.0 s.f. = 0.14 acre  
 Total Impervious: 0.0 s.f. = 0.0 acre

**Q=CIA**  
 Note Tc = 10 min. ( minimum )  
 Where I ( Intensity ) is as per R.S.I.S. TABLE 7.2  
 Where C value is taken from TABLE 7.1 R.S.I.S.  
 A= 0.14 acre (Lot Area)

C=.99 (Impervious)  
 C=0.51 (Earth)  
 I= 5.9  
 Cw=0.0(0.99)+0.14(0.51)  
 0.14  
 Cw=0.51

**Q = Cw x I x A**  
**Q=0.51x5.9x0.14**  
**Q=0.42 c.f.**

**Proposed:**  
 Lot area: 6,250.0 s.f. = 0.14 acre  
 Grass: 2,532.00 s.f. = 0.058 acre  
 Building: 1,890.00 s.f. = 0.043 acre  
 Concrete sidewalk: 1,338.00 s.f. = 0.031 acre  
 Parking: 490.00 s.f. = 0.011 acre  
 Total Impervious: 3,718.00 s.f. = 0.085 acre

**Q=CIA**  
 Note Tc = 10 min. ( minimum )  
 Where I ( Intensity ) is as per R.S.I.S. TABLE 7.2  
 Where C value is taken from TABLE 7.2 R.S.I.S.  
 A= 0.14 acre (Lot Area)

C=.99 (Impervious)  
 C=0.51 (Grass)  
 I= 5.9  
 Cw=0.085(0.99)+0.058(0.51)  
 0.14  
 Cw=0.81

**Q = Cw x I x A**  
**Q=0.81x5.9x0.14**  
**Q=0.67 c.f.**

**The runoff for the proposed site plan, is more than the existing site conditions.**

**Proposed Volume of Pit:**

**V= Q x Tc**  
 Note Tc = 10 min. ( minimum )  
 Where Q is cb. ft./second (convert to minutes 1 min= 60 sec)

V= (0.67 c.f. x 60 seconds) x 10 mins.  
**V= 402.0 c.f.**

**UTILITY NOTES:**

- DEVELOPER WILL COMPLY WITH ALL DIRECTIVES FROM THE DIVISION OF WATER/SEWER UTILITY WITH REGARDS TO BOTH THE WATER AND SEWER TAPS.
- ADDITIONALLY, IT SHALL BE THE DEVELOPERS RESPONSIBILITY TO DISCONNECT ANY EXISTING WATER SERVICE(S) AT THE MAIN.
- NO UTILITY METERS WILL BE LOCATED AT ANY STREET EXPOSURE OF THE BUILDING.
- EXISTING CATCH BASINS SHALL BE RETROFITTED WITH A NEW FRAME / GRATE / CURB PIECE AS PER CITY STANDARDS (SEE DETAIL).
- WATER LINES MUST BE AT LEAST EIGHTEEN (18) INCHES ABOVE ANY SEWER LINE.
- DOMESTIC AND FIRE SERVICES MUST HAVE A MINIMUM HORIZONTAL CLEARANCE DISTANCE OF EIGHTEEN (18) INCHES (AS APPLICABLE).
- TAPPING VALVES FOR FIRE SERVICE SHALL BE OPENING IN A CLOCKWISE DIRECTION AND HAVE A PRESSURE OF 200PSI.
- STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED REGULARLY BY OWNER.
- MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FOR WATER AND SEWER NEED TO BE MAINTAINED, AS WELL AS COVER REQUIREMENTS FOR ALL PROPOSED SEWER UTILITIES.
- COVER REQUIREMENTS FOR ALL PROPOSED SEWER UTILITIES: 3.5' COVER FOR NON-VEHICULAR TRAFFIC. 6.0' FOR VEHICULAR TRAFFIC AREAS.

**SEEPAGE PIT VOLUME**

$$V_1 = (\pi \times R_1^2) \times H_1 = 3.14 \times 9.0^2 \times 6.3 = 176.6$$

**GRAVEL BASE VOLUME**

$$V_2 = (\pi \times R_2^2) \times H_2 = 3.14 \times 16.0^2 \times 1.0 = 50.2$$

**GRAVEL + SEEPAGE PIT VOLUME**

$$V_3 = (\pi \times R_2^2) \times H_3 = 3.14 \times 16.0^2 \times 6.3 = 314.0$$

**TOTAL GROSS GRAVEL VOLUME**

$$V_{st} = V_3 - V_1 + V_2 = 314.0 - 176.6 + 50.2 = 187.6$$

$$\text{BY } 40\% \quad \frac{187.6}{0.4} = 469.0$$

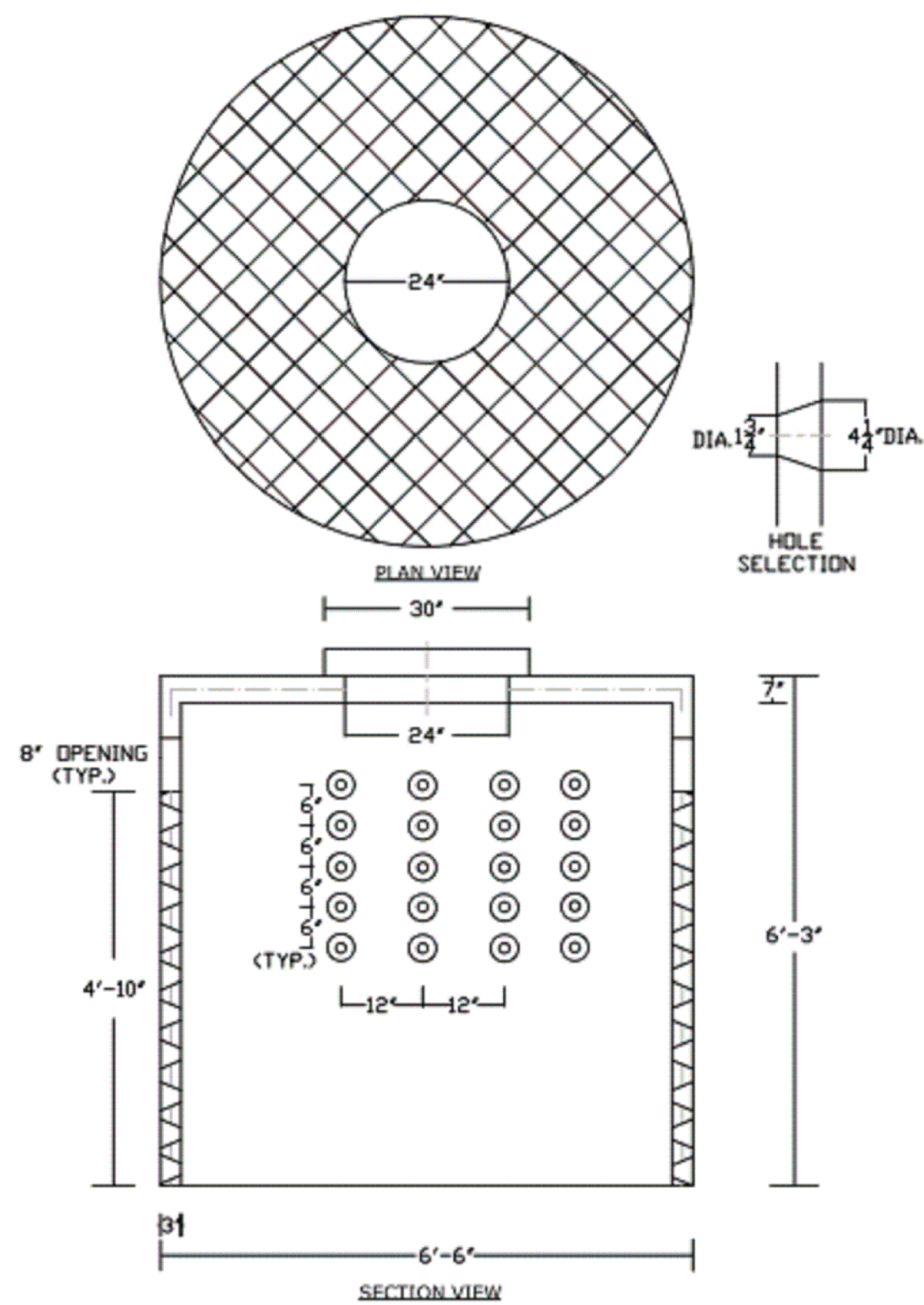
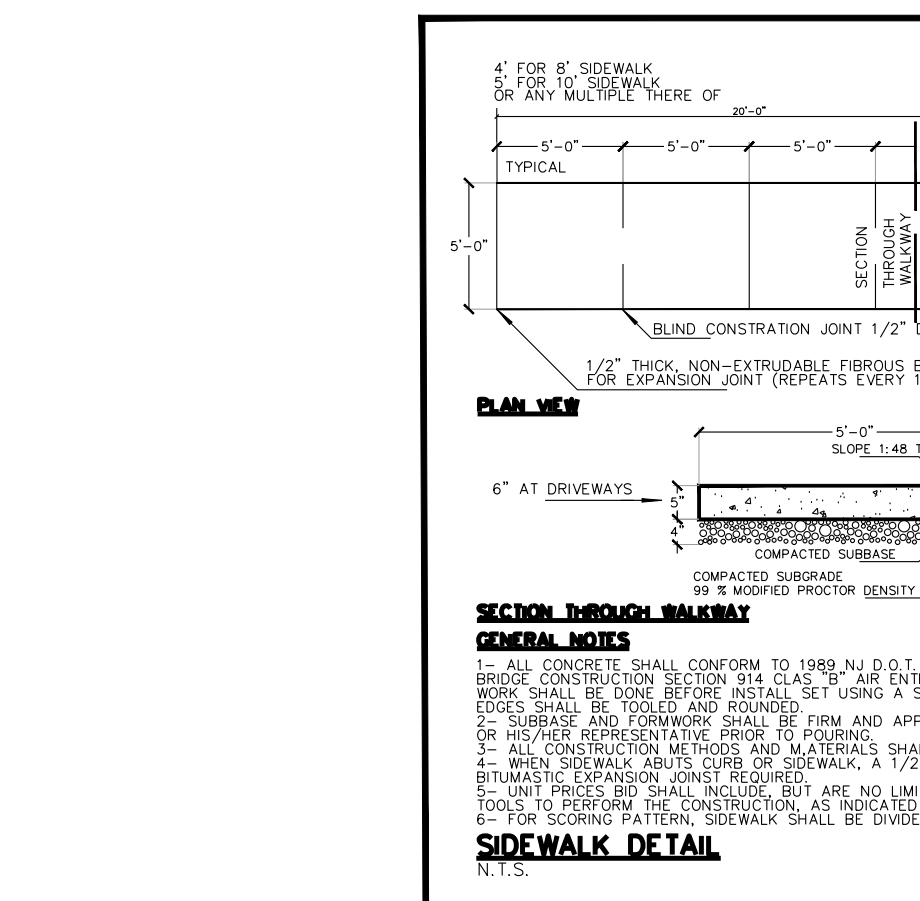
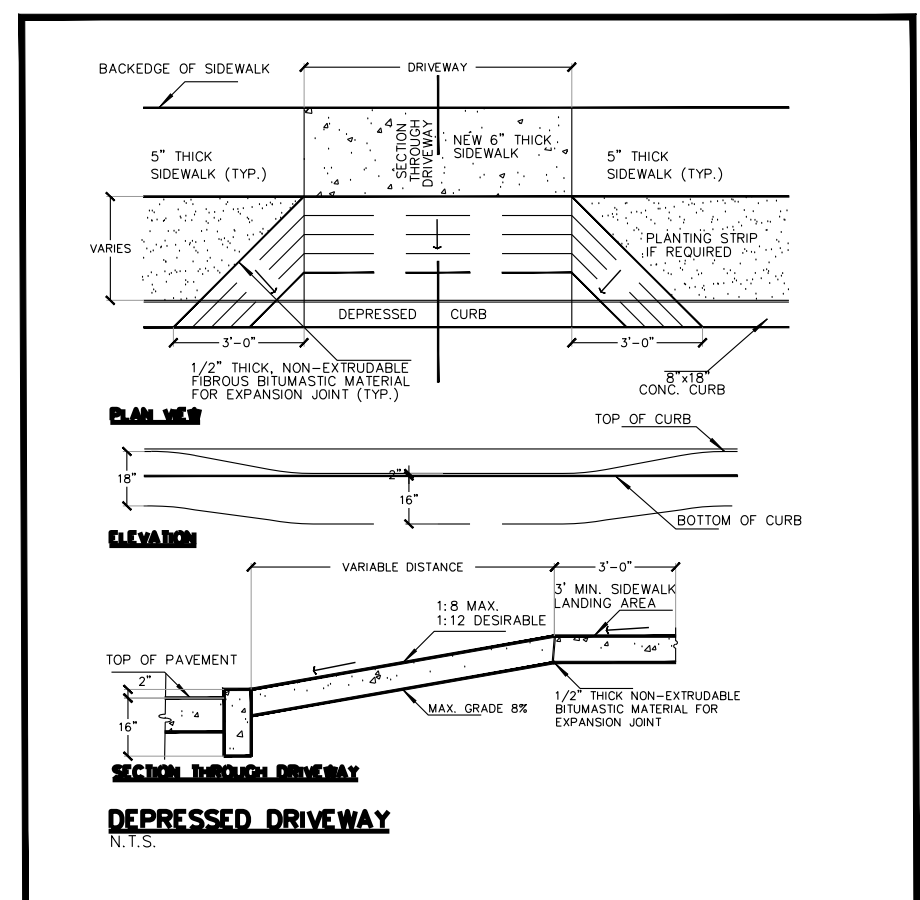
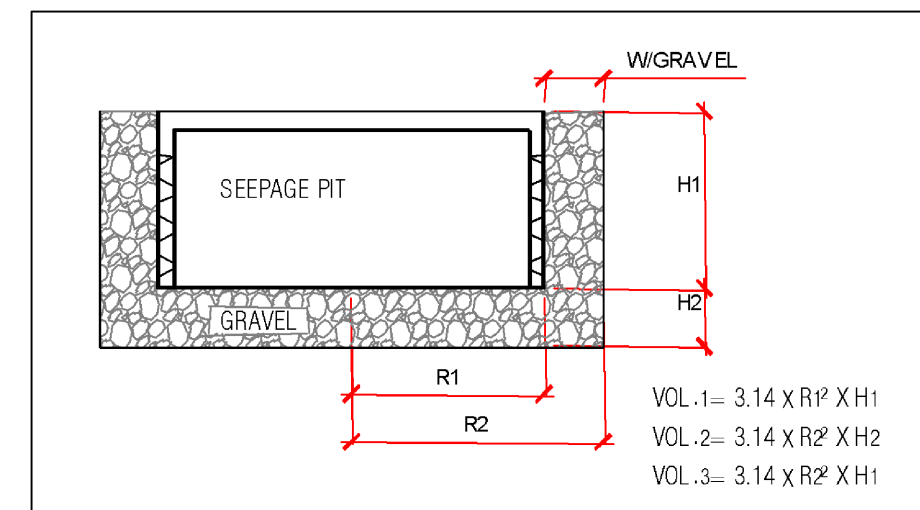
**TOTAL VOLUME REQUIRED**

165.7 cu.ft.

**TOTAL VOLUME PROVIDED BY SYSTEM**

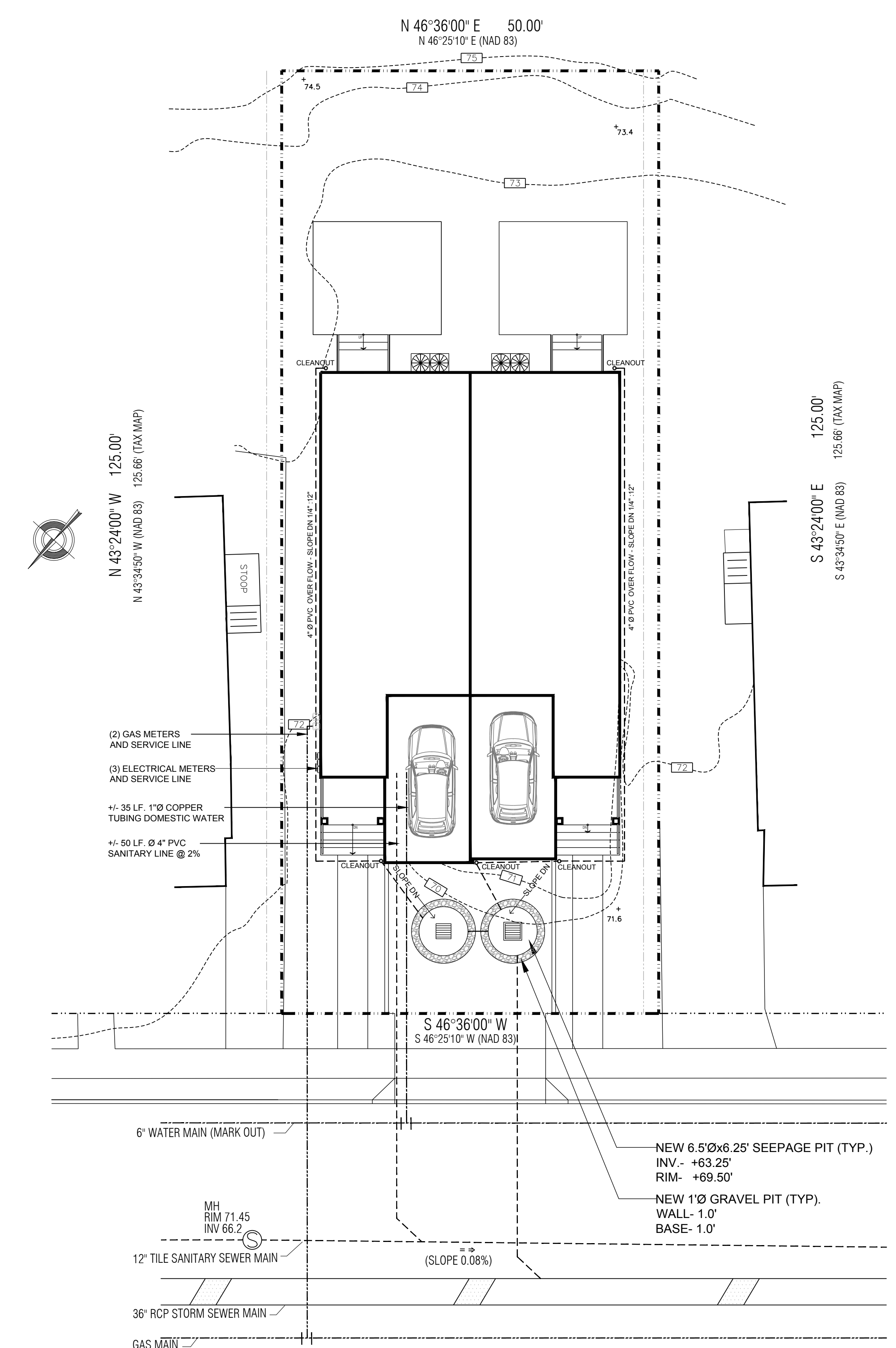
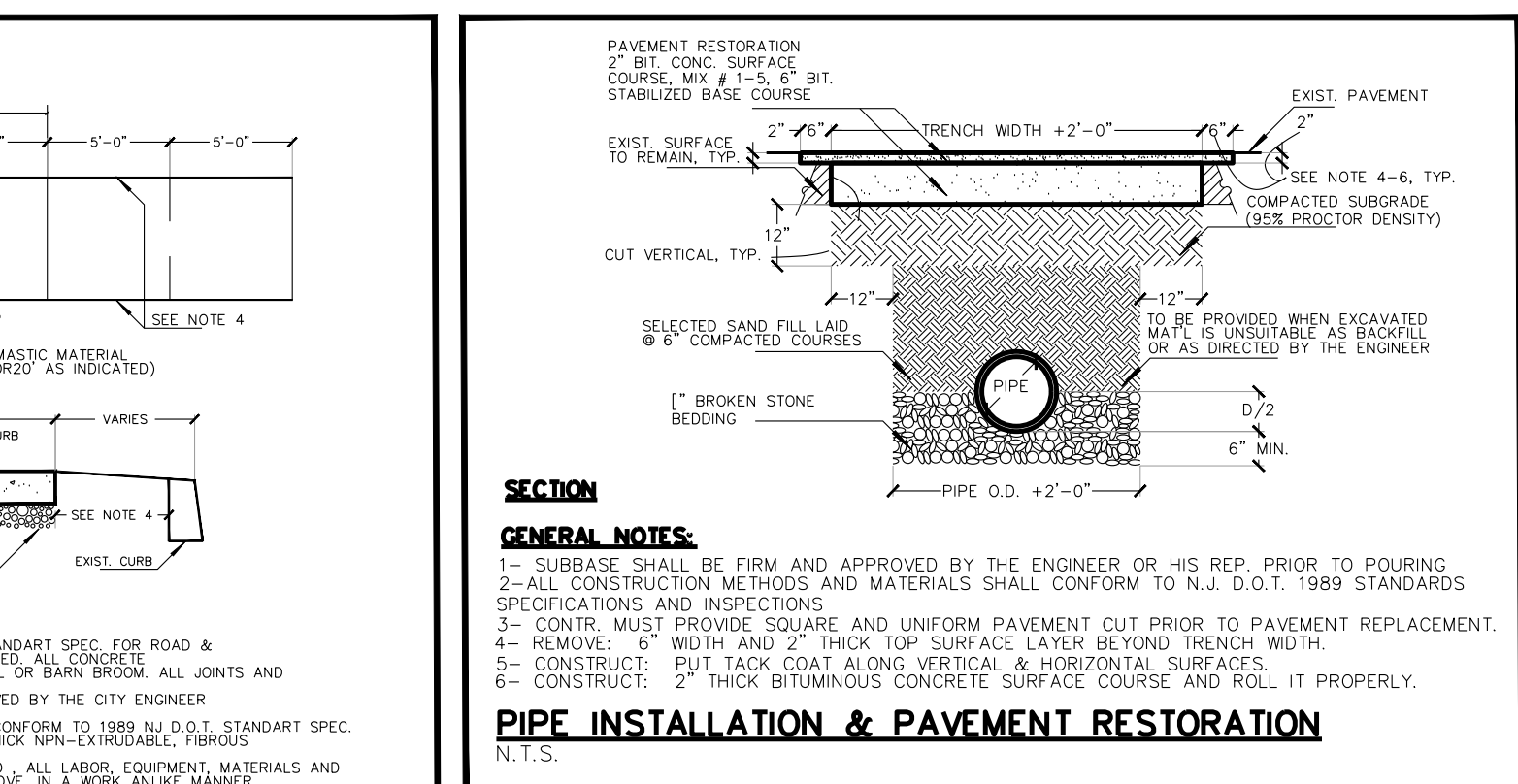
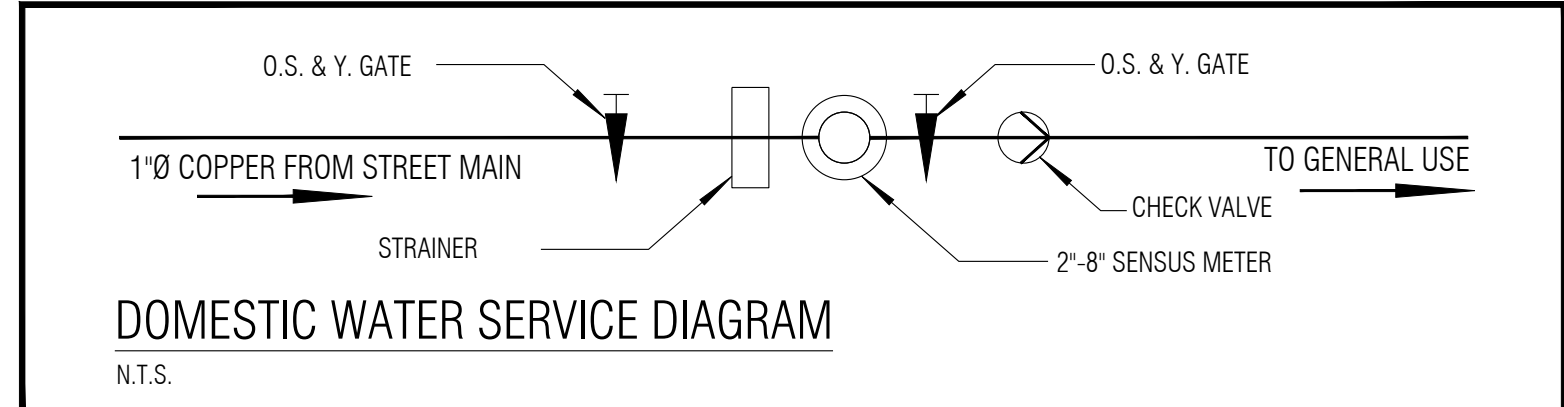
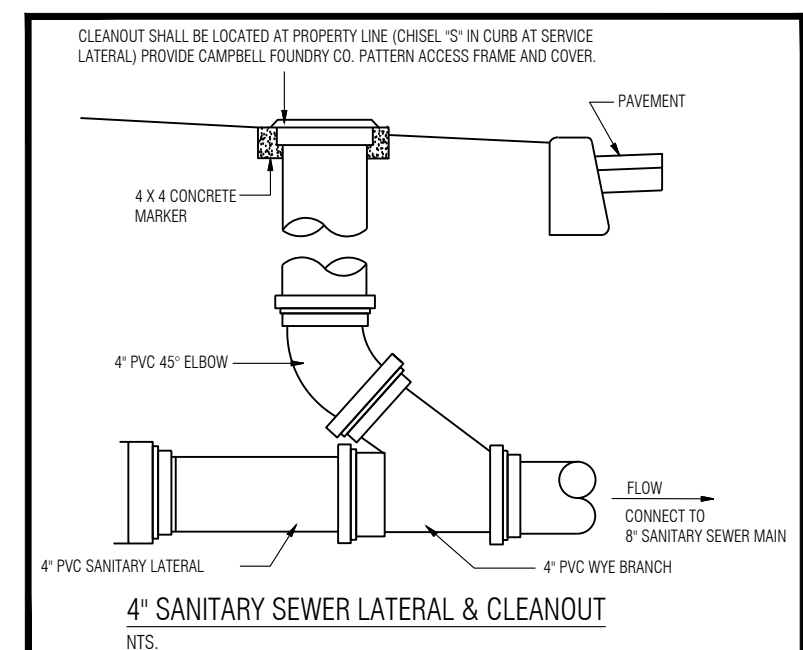
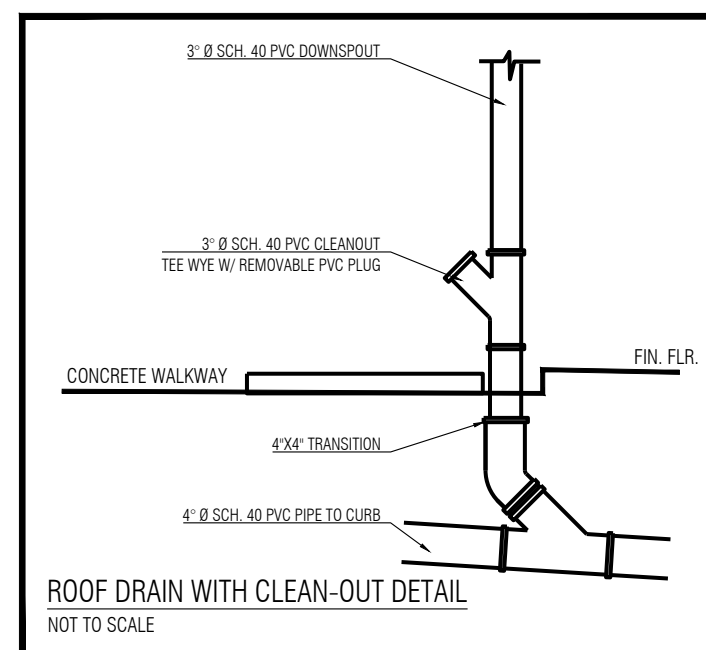
SEEPAGE PIT BY PEERLESS	=	130
TOTAL GRAVEL AROUND PIT	=	75.0
<b>TOTAL VOLUME PROVIDED</b>	=	<b>205.0</b> cu.ft.

**TOTAL AREA REQUIRED = 402.0 CU. FT.**  
 205.0 x 2 = 410.0 CU. FT.  
 410.0 > 402.0 = OK



**NOTES:**  
 - RESIDENTIAL TRAFFIC ONLY  
 - CONCRETE 4,500PSI @ 28 DAYS  
 - REINFORCING: DETAILS FURNISHED UPON REQUEST  
 - CAPACITY: 1000 GALLONS/ 130 CUBIC FEET  
 - WEIGHT: 7000LBS ±  
 - SCALE: 1/2"=1'-0"

973.838.3060p - www.peerlessconcrete.com - 973.838.3385f  
 Butler, NJ



**UTILITY & DRAINAGE PLAN**

SCALE: 1"=10'  
 BLOCK: 527  
 LOT: 7

**BOUNDARY & TOPOGRAPHIC SURVEY**  
 OF  
 85 WINANS AVENUE  
 LOT 7 IN BLOCK 527 ON TAX MAPS OF  
 TOWNSHIP OF CRANFORD UNION COUNTY NEW JERSEY

PREPARED FOR: DANIEL & MARIA PEREIRA  
 JOB No. 55228 DATE: 5-24-2022

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REVISIONS:

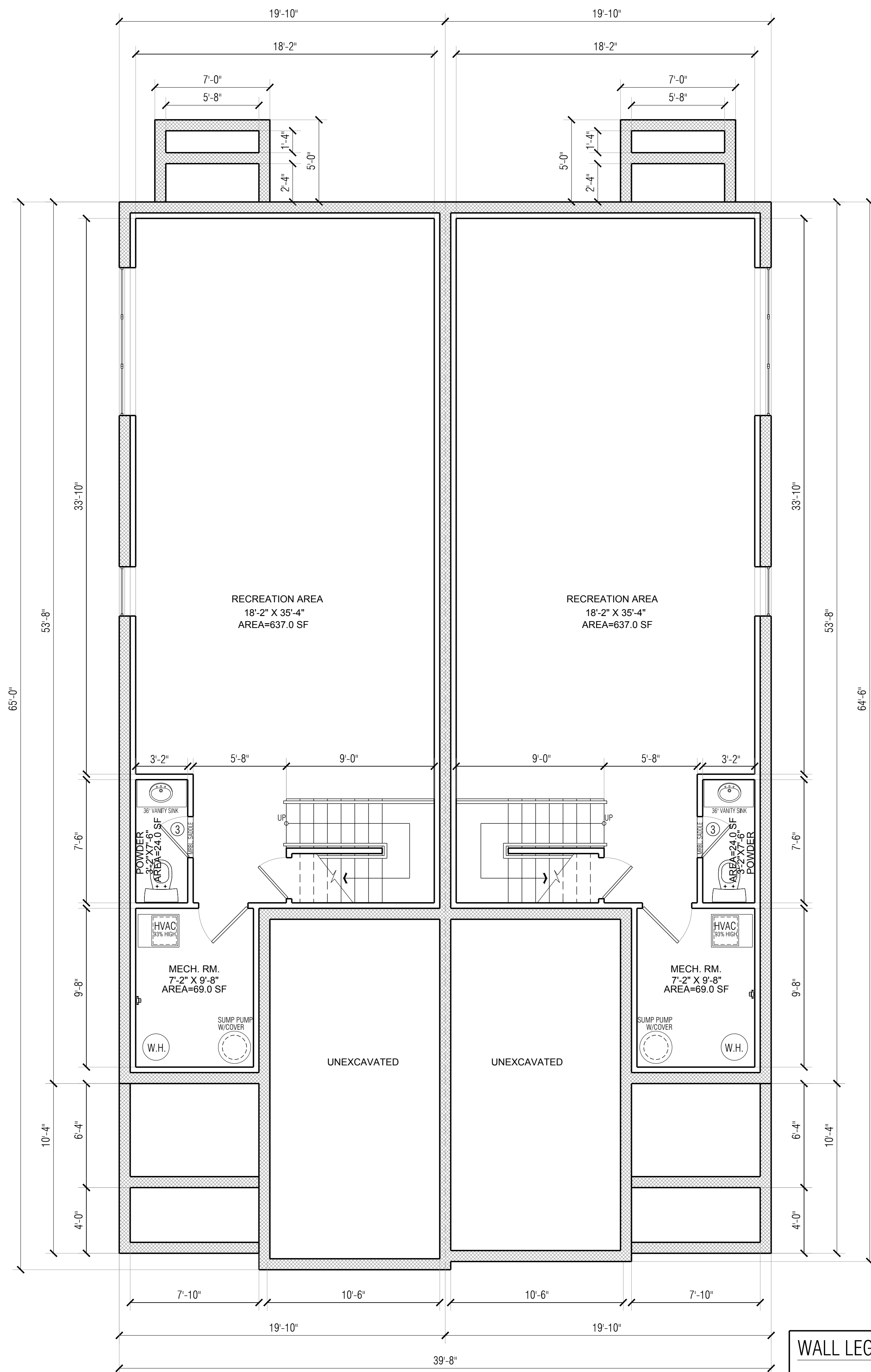
ARTEK STUDIO, LLC.  
 877 BROAD STREET  
 NEWARK, NJ 07102  
 TEL: (973) 824-0022  
 FAX: (973) 824-7447

Daniel A. Roma AIA  
 Registered Architect  
 NJ License No. 17915  
 NY License No. 030082-1

COLD RIVER REALTY CORP  
 85 WINANS AVE  
 CRANFORD, NJ  
 PROPOSED NEW TWO FAMILY DWELLING.

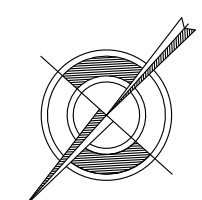
DATE: 01-13-2022  
 DRAWN BY: HM  
 CHECKED BY: DAR

PROJECT: 21035  
 DRAWING: 2 OF 5  
 T-100



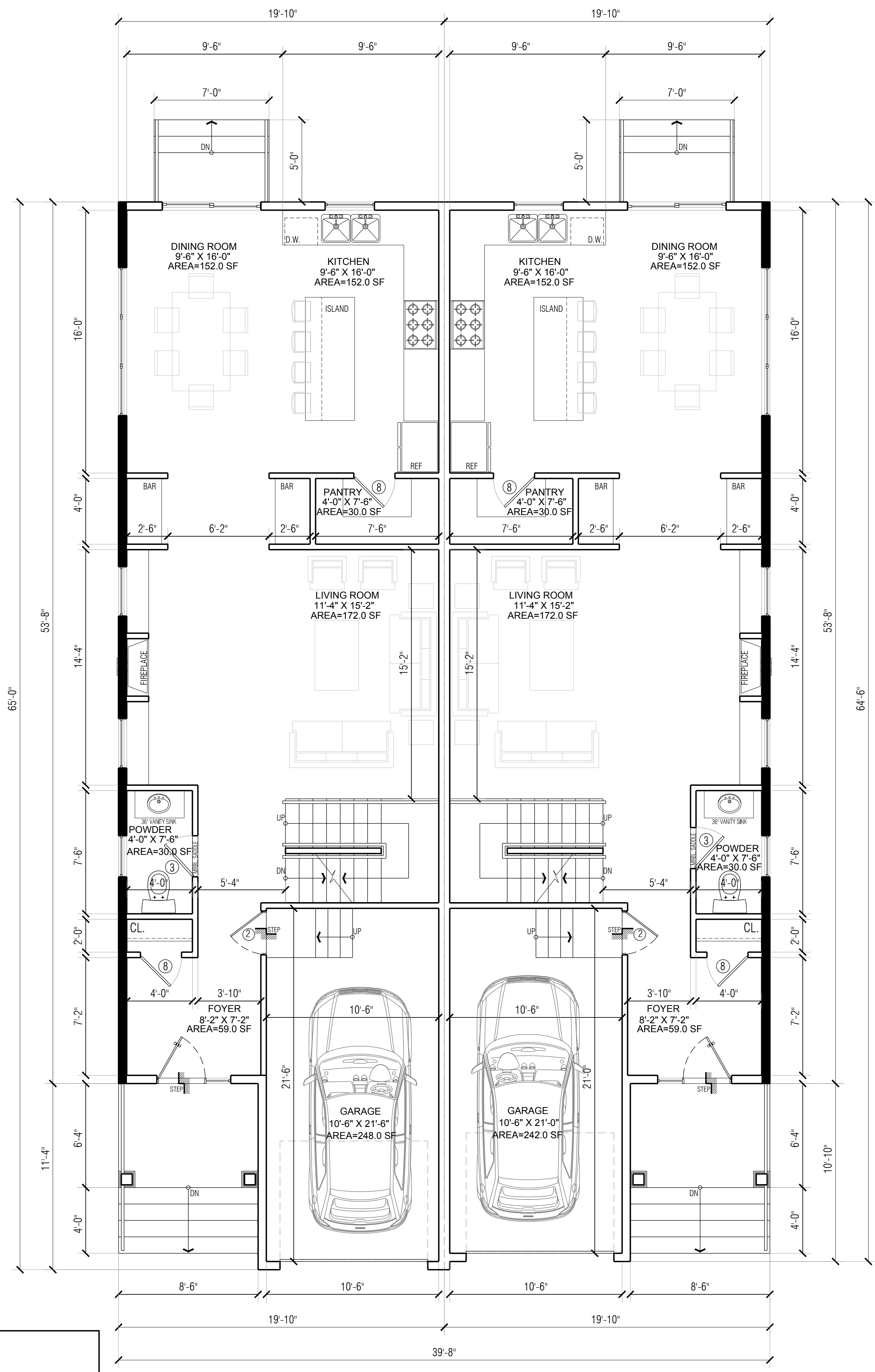
**BASEMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
GROSS AREA : 1,915.00 SQ. FT.



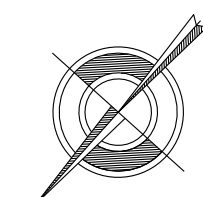
**WALL LEGEND:**

- NEW FRAME WALL
- NEW 1 HR FIRE RATED WALL
- NEW BRICK WALL
- NEW BLOCK WALL



**FIRST FLOOR PLAN**

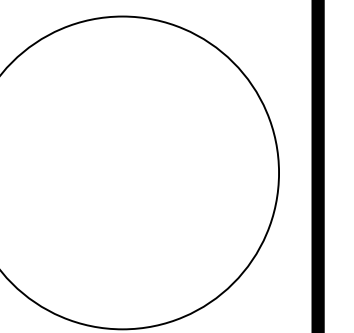
SCALE: 1/4" = 1'-0"  
GROSS AREA : 1,890.00 SQ. FT.  
GARAGE AREA : 467.00 SQ. FT.



**REVISIONS:**

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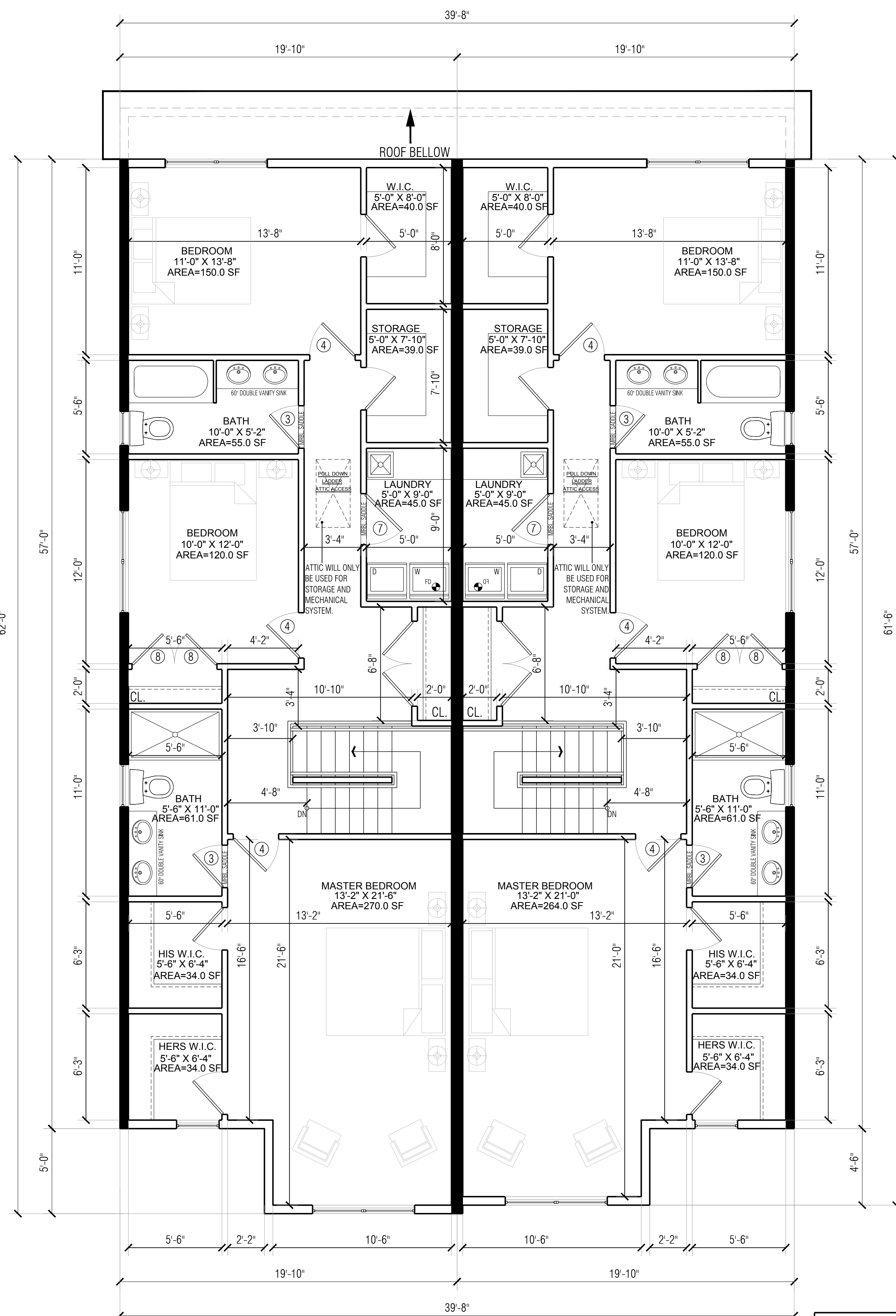
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NY License No. 160662-1

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85 WINANS AVE  
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DATE : 01-13-2022

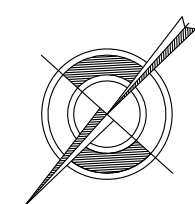
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CHECKED BY : DAR

PROJECT	DRAWING
21035	3 OF 5 A-100



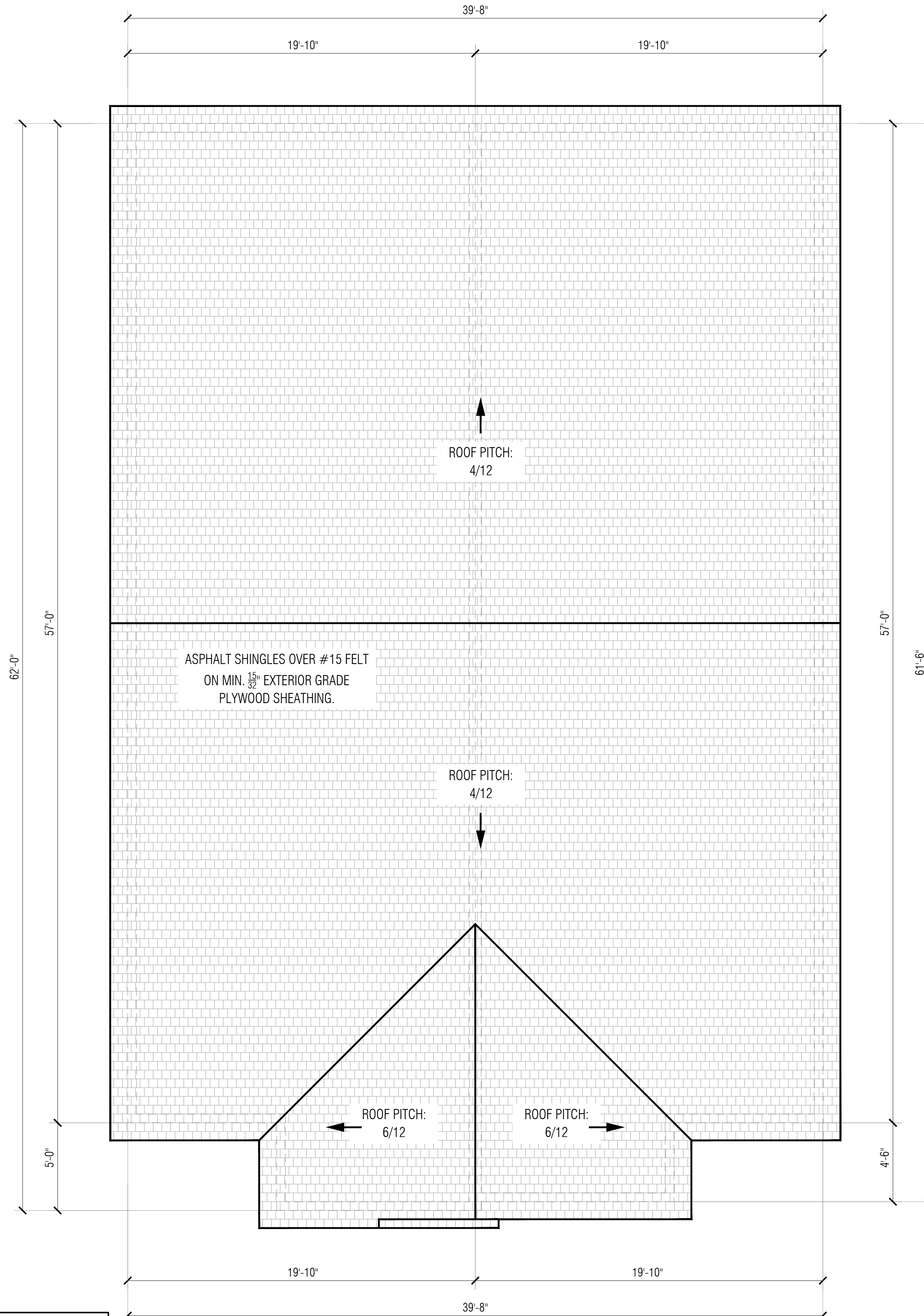
**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
GROSS AREA : 2,369.00 SQ. FT.



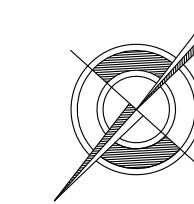
**WALL LEGEND:**

	NEW FRAME WALL
	NEW 1 HR FIRE RATED WALL
	NEW BRICK WALL
	NEW BLOCK WALL



**ROOF PLAN**

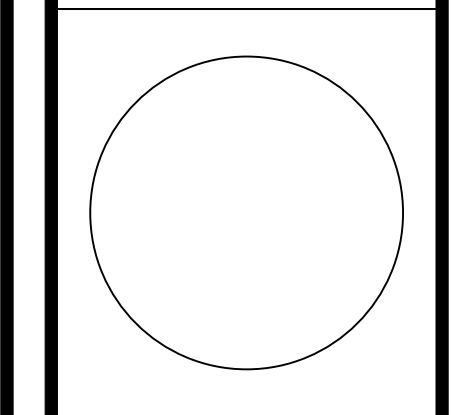
SCALE: 1/4" = 1'-0"



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NY License No. 16006E-1

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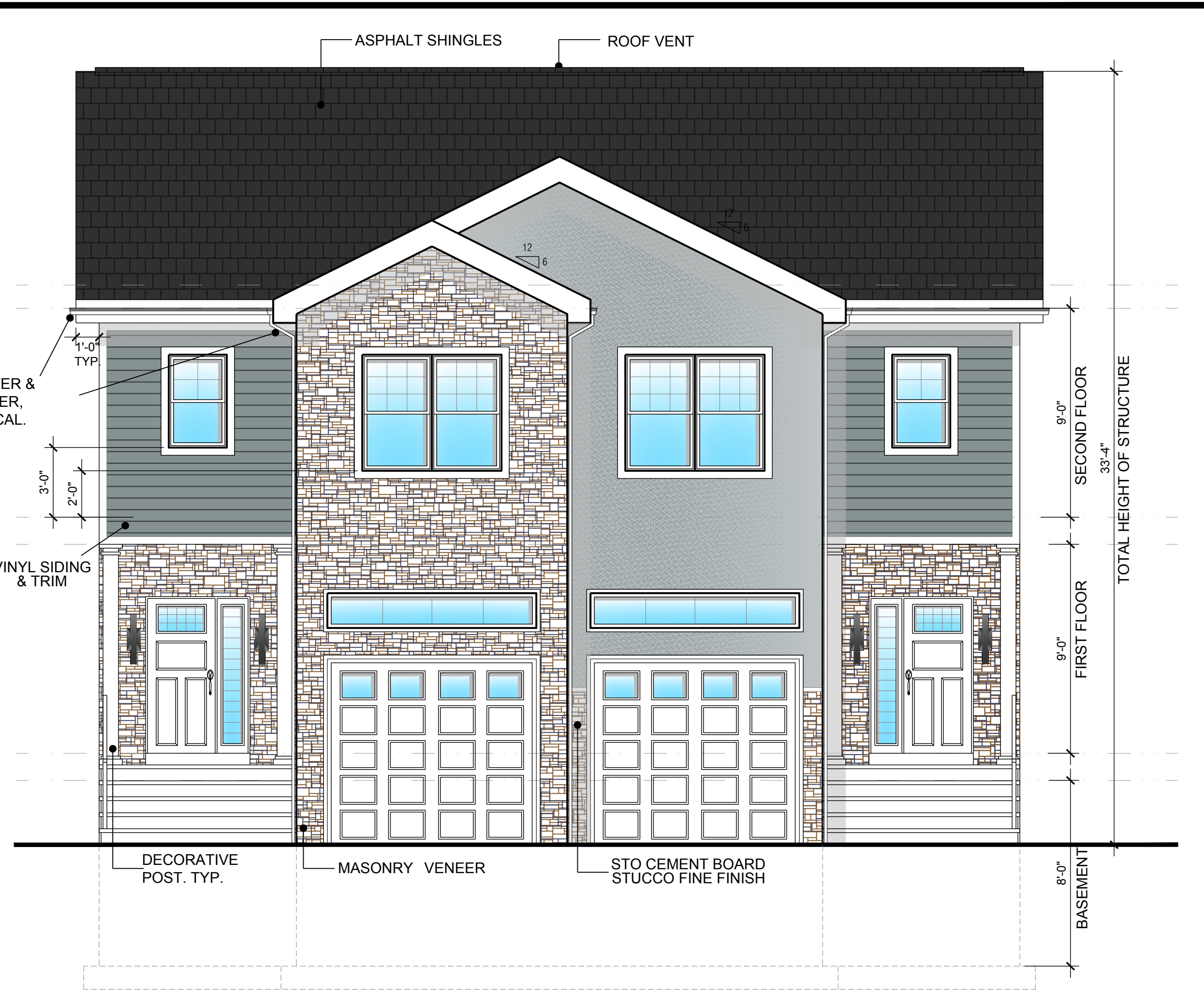
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CHECKED BY : DAR

PROJECT	DRAWING
21035	4 OF 5 A-110



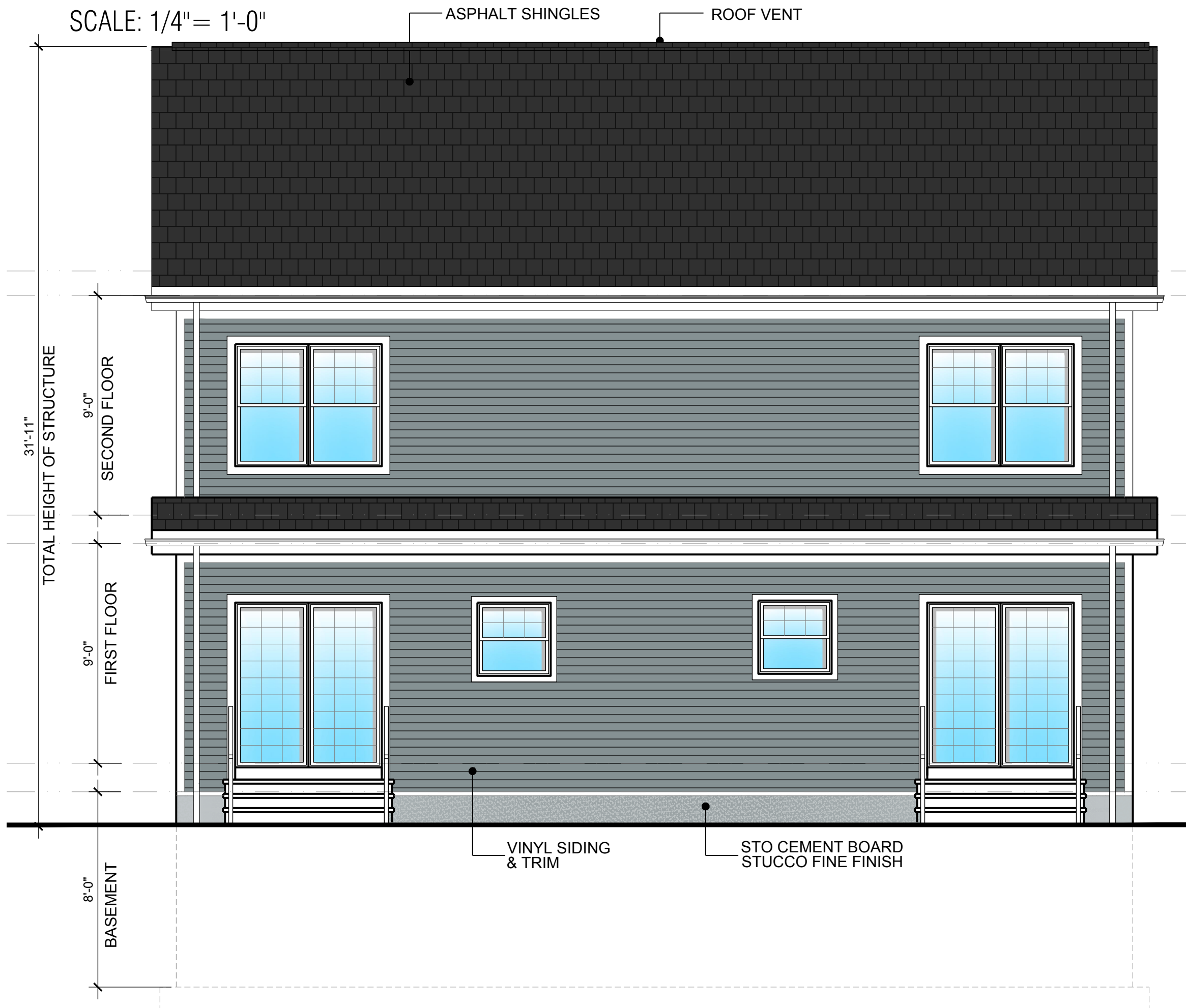
EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



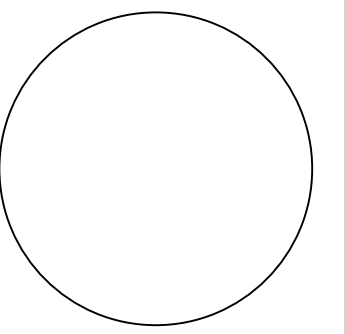
WEST ELEVATION

SCALE: 1/4" = 1'-0"

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DRAWING: 5 OF 5

A-200