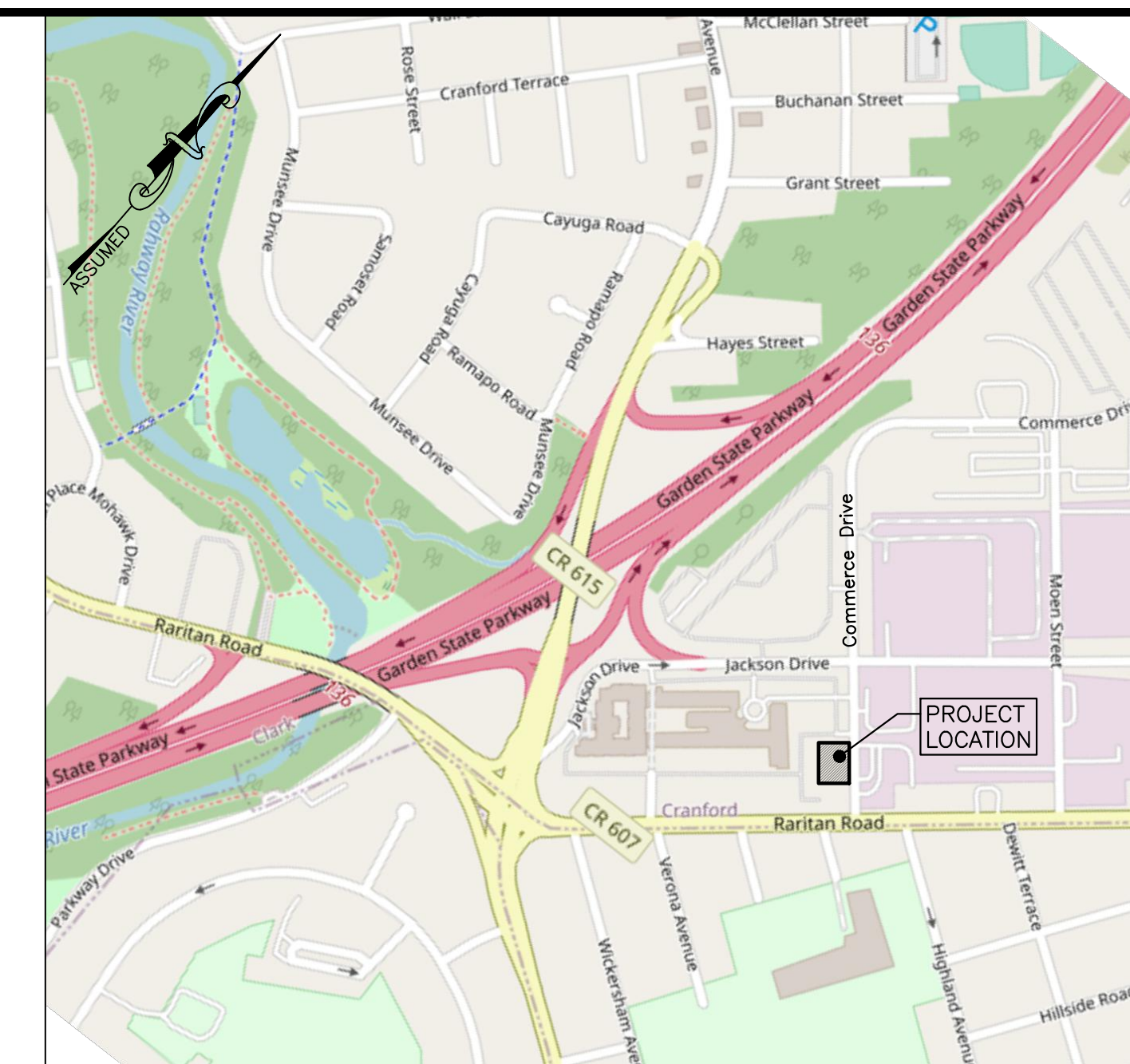


PRELIMINARY / FINAL SITE PLANS for PROPOSED MIKVAH CONVERSION

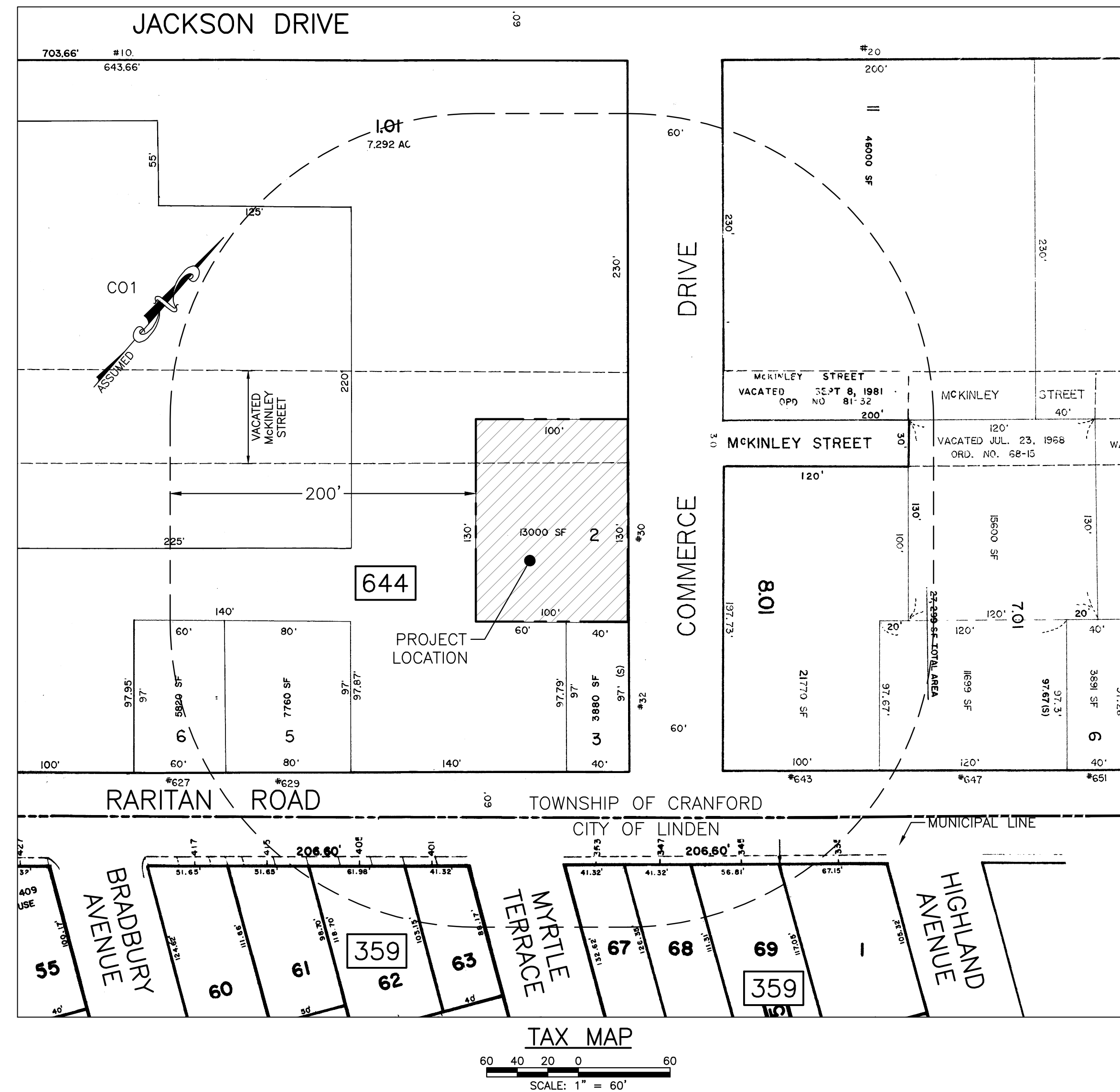
30 COMMERCE DRIVE BLOCK 644, LOT 2 TOWNSHIP OF CRANFORD UNION COUNTY, NEW JERSEY



PUBLIC UTILITIES COMPANY	CONTACT	ADDRESS
COMCAST CABLEVISION	C/O CORPORATION TRUST CO.	820 BEAR TAVERN ROAD WEST TRENTON, NJ 08628
NJ AMERICAN WATER	CORPORATE HEADQUARTERS	1 WATER STREET CAMDEN, NJ 08102
VERIZON	CORPORATE SECRETARY	1 VERIZON WAY BASKING RIDGE, NJ 07920
ELIZABETHTOWN GAS COMPANY	ENGINEERING DEPT	520 GREEN LANE UNION, NJ 07083
PSE&G	MANAGER-CORP PROPERTIES	80 PARK PLAZA, T6B NEWARK, NJ 07101
RAHWAY VALLEY SEWERAGE AUTH	CHIEF ENGINEER	1050 EAST HAZELWOOD AVE RAHWAY, NJ 07065

OWNERS WITHIN 200 FEET - CRANFORD TOWNSHIP			
BLOCK	LOT	LOCATION	OWNER
644	1.01-C01	PO BOX 71970 PHOENIX, AZ 85050	CRANFORD DEV % ALTUS GROUP
644	6	627 RARITAN ROAD CRANFORD, NJ 07016	NORBERTO DE LUCA
642	7.01	14 TYSLEY ST BERNARDSVILLE, NJ 07924	1005-09 FOREST AVE REALTY LLC
644	3	32 COMMERCE DR CRANFORD, NJ 07016	JOHN H & CRYSTAL J PONTICELLO
642	11	20 JACKSON DR CRANFORD, NJ 07016	LIBERTY MGMT SVC OF NJ LLC
644	5	629 RARITAN RD CRANFORD, NJ 07016	JANE KEATING
642	8.01	33 COMMERCE DR CRANFORD, NJ 07016	FIVE ACES RES LLC & JOLA RES LLC

OWNERS WITHIN 200 FEET - CITY OF LINDEN			
BLOCK	LOT	LOCATION	OWNER
359	1	335 RARITAN RD LINDEN, NJ 07036	WILLIAM J & CHARLOTTE ZAVIS
359	61	415 RARITAN RD LINDEN, NJ 07036	JAMES L ACEDIEU
359	62	405 RARITAN RD LINDEN, NJ 07036	JUAN C ROMERO
359	63	401 RARITAN RD LINDEN, NJ 07036	THOMAS IPPOLITO
359	67	37 RAMAPO RD CRANFORD, NJ 07016	ELOY ESTUARDO PALMA MUNOZ
359	68	347 RARITAN RD LINDEN, NJ 07036	JJ MC MAHON - JE & MW MC MAHON
359	69	345 RARITAN RD LINDEN, NJ 07036	DANIELLA GOLDSTEIN
EASEMENT		ONE ELIZABETHTOWN PLAZA, FL 3 UNION, NJ 07083	MICHAEL F STONAC MANAGER ENGINEERING DESIGN
EASEMENT		NJ-AMERICAN WATER CO, INC 1025 LAUREL OAK RD VOORHEES, NJ 08043	DONNA SHORT, GIS SUPERVISOR
EASEMENT		PSE&G 80 PARK PLAZA T6B NEWARK, NJ 07102	MANAGER-CORPORATION PROPERTIES
EASEMENT		ELIZABETHTOWN GAS COMPANY 520 GREEN LANE UNION, NJ 07083	GREG BALINT
EASEMENT		VERIZON 445 GEORGES RD NORTH BRUNSWICK, NJ 08902	C/O THOMAS GRABOWSKI
EASEMENT		COMCAST CABLE 800 RAHWAY AVE UNION, NJ 07083	
EASEMENT		SUN PIPE LINE COMPANY 1801 MARKET ST PHILADELPHIA, PA 19103-1699	RIGHT OF WAY DEPT-26TH FL
EASEMENT		SUNOCO PIPELINE LP 525 FRITZTOWN ROAD SINKING SPRINGS, PA 19608	RIGHT OF WAY DEPT MONTELLO COMPLEX
COUNTY ROAD		UNION COUNTY COURTHOUSE ELIZABETH, NJ 07207	



ZONING TABLE				
LOT 2, BLOCK 644, ZONE C-1 COMMERCIAL DISTRICT				
PROPOSED USE: MIKVAH (NON-CONFORMING)				
ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	COMPLIES
MIN. LOT AREA	150,000 SF	13,000 SF	NO CHANGE	NO (e)
MIN. LOT WIDTH	250 FT	130 FT	NO CHANGE	NO (e)
MIN. LOT DEPTH	N/A	100 FT	NO CHANGE	YES
MIN. FRONT YARD SETBACK	50 FT	25 FT	NO CHANGE	NO (e)
MIN. REAR YARD SETBACK	100 FT	33.70 FT	NO CHANGE	NO (e)
MIN. SIDE YARD SETBACK, ONE	50 FT	17.7 FT EAST 54.9 FT WEST	NO CHANGE	NO (e)
MIN. SIDE YARD SETBACK, BOTH	100 FT	72.6 FT	NO CHANGE	NO (e)
MIN. DISTANCE TO RESIDENTIAL ZONE	100 FT	1,250 FT* 150 FT (LINDEN)*	NO CHANGE	YES
MAX. BUILDING COVERAGE	35 %	16.17 %	NO CHANGE	YES
MAX. FLOOR AREA RATIO	3.0	0.15	NO CHANGE	YES
MAX. IMPERVIOUS COVERAGE	70 %	31.0 %	51.2 %	YES
MAX. BUILDING HEIGHT	4-STY/45 FT	1-STY/EXIST.	NO CHANGE	YES
VEHICLE PARKING	SEE SCHEDULE	2 SPACES	5 SPACES	TO BE DETERMINED
MINIMUM BICYCLE PARKING SPACES	3 SPACES	NO SPACES	NO SPACES	NO
LOADING SPACE	1 SPACE	NO SPACES	1 SPACE	YES
MIN. DISTANCE BETWEEN DRIVEWAYS	50 FT	N/A (NEW DWY.)	40 FT	NO
MAX. LIGHT LEVEL AT PROPERTY LINE	1.5 FC	N/A	2.7 FC	NO

(e) DENOTES PRE-EXISTING NON-CONFORMITY
* 1,250 FT TO THE R-4 ZONE IN CRANFORD. 150 FT TO A RES. ZONE IN THE CITY OF LINDEN.

APPLICANT
34 LEO LLC
10 HILL STREET, SUITE 1L
NEWARK, NJ 07102

OWNER
JOEL ROSENBERG
627 AMHERST ROAD
LINDEN, NJ 07036

APPROVED BY THE TOWNSHIP OF CRANFORD
ZONING BOARD OF ADJUSTMENT AT A PUBLIC MEETING
HELD ON THE ___ DAY OF ___, 20__.

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

- INDEX OF DRAWINGS**
- CIVIL PLANS:
 C-1 COVER SHEET
 C-2 DEMOLITION PLAN
 C-3 SITE PLAN
 C-4 LIGHTING & LANDSCAPING PLAN
 C-5 GRADING, DRAINAGE & UTILITY PLAN
 C-6 SOIL EROSION & SEDIMENT CONTROL PLAN
 C-7 SOIL EROSION DETAILS
 C-8 CONSTRUCTION DETAILS
 C-9 CONSTRUCTION DETAILS
- ARCHITECTURAL PLANS:
 A-1 FRONT & LEFT SIDE ELEVATIONS, CODE & CONSTRUCTION DATA
 A-2 RIGHT & REAR SIDE ELEVATIONS
 A-3 PROPOSED FIRST FLOOR PLAN
 A-4 BASEMENT PLAN

PARKING SCHEDULE			
PARKING REQUIREMENTS FOR NON-RESIDENTIAL USE ORDINANCE SECTION 255-44			
USE:	REQUIRED PARKING SPACES:	REQUIRED:	PROPOSED:
OFFICE, OTHER	PER 255-44A(1) UNSCHEDULED USES, PARKING REQUIREMENT TO BE DETERMINED BY THE BOARD BASED ON ACCEPTED INDUSTRY STANDARDS	TO BE DETERMINED	5 SPACES (EXCLUDES GAGRAGE)

- GENERAL NOTES:**
- THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".
 - ANY DIFFERENCES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF CHISVETTE ENGINEERING, LLC.

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

PROJECT:
Proposed Mikvah Conversion

LOCATION:
Block 644, Lot 2
30 Commerce Drive
Township of Cranford, Union County, NJ

DRAWING TITLE: COVER SHEET	DRAWING NO.: C-1
PROJ. NO.: PN23107	DESIGNED BY: M.C.
DATE: 3/14/23	SHEET: 1 OF 9
FILE: CE23107-COVER	DRAWN BY: J.B.
SCALE: AS NOTED	

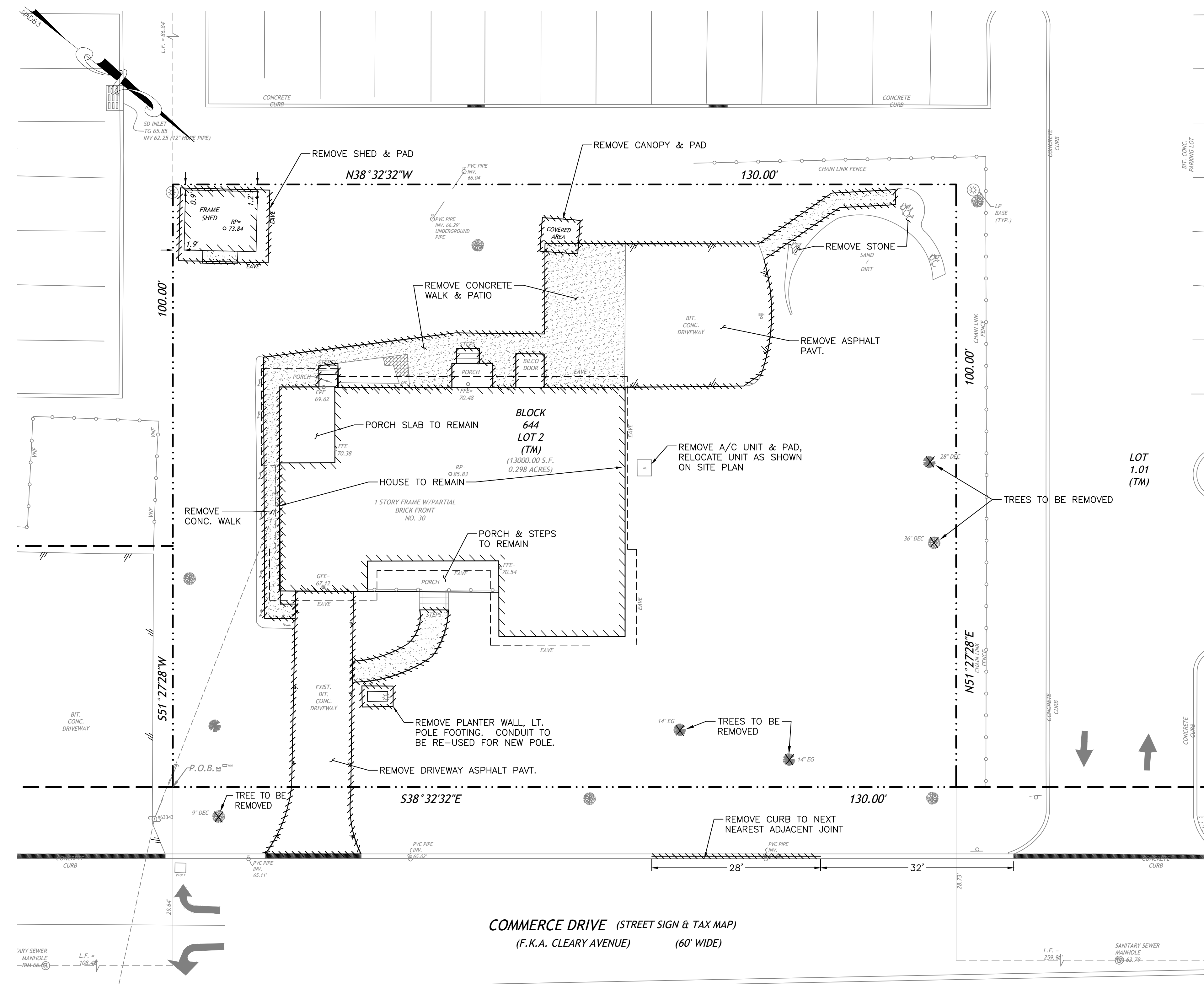
CHISVETTE ENGINEERING MARK CHISVETTE

320 LENOX AVENUE
POMPTON LAKES, NJ 07442
PHONE: 973-897-7968
FAX: 973-970-2010

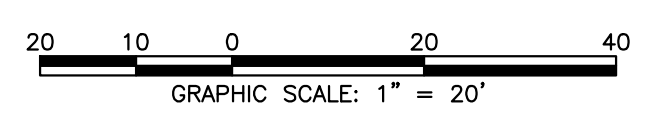
Mark Chisvette 10/04/23
PROFESSIONAL ENGINEER
NEW JERSEY LIC. #28164

NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600

C:\Users\MarkC\Dropbox\Work\PN23107\Work\CELC\Box\Drawings\CE23107-DEMO.dwg (C-2 DEMO) 10/04/2023



COMMERCE DRIVE (STREET SIGN & TAX MAP)
(F.K.A. CLEARY AVENUE) (60' WIDE)



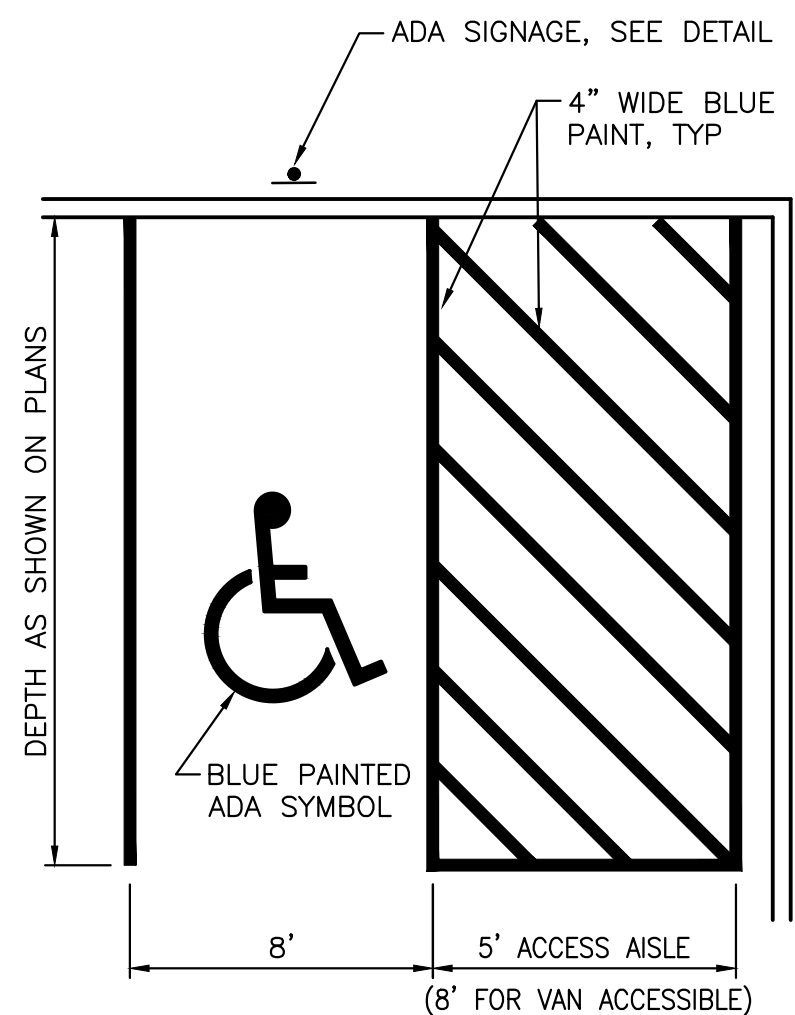
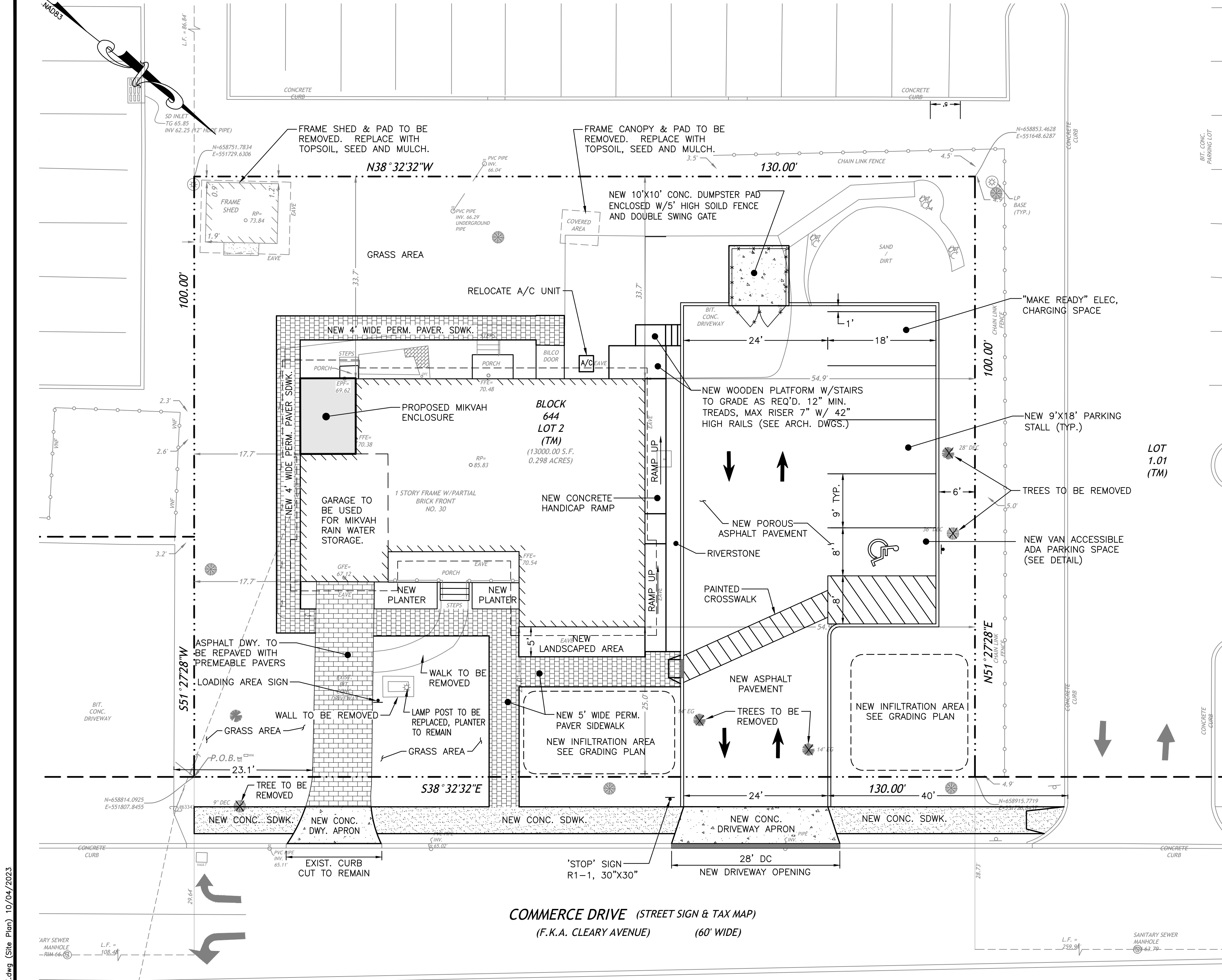
- NOTES:**
1. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".
 2. ANY DIFFERENCES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THESE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF CHISVETTE ENGINEERING.
 3. CONTRACTOR IS TOTALLY RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UTILITIES ON SITE AND ON THE ADJACENT SITE PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY SHUT-DOWNS OR INTERRUPTIONS WITH BUILDING TENANTS BEING SERVICED BY SUCH UTILITIES.
 4. THE CONTRACTOR SHALL EXERCISE CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING FACILITIES TO REMAIN INCLUDING: PAVEMENTS, UTILITIES, STRUCTURES, TREES, ETC. ANY FACILITIES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
 5. IF THERE IS ANY CONFUSION AS TO WHAT IS TO REMAIN AND WHAT IS TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WITH WORK.
 6. EXISTING PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AT THE LIMITS OF EXCAVATION PROVIDE A STRAIGHT CLEAN EDGE OF THE PAVEMENT TO REMAIN. CARE SHALL BE TAKEN DURING REMOVAL TO AVOID DAMAGE TO PAVEMENT TO REMAIN. CURB SHALL BE REMOVED TO THE NEXT NEAREST JOINT BEYOND THE LIMITS OF REMOVAL.
 7. WATER AND SEWER SERVICE LINES TO BE ABANDONED SHALL BE CUT, REMOVED AND CAPPED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
 8. SEE ARCHITECTURAL PLANS FOR MODIFICATIONS TO EXISTING BUILDING.

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

PROJECT: Proposed Mikvah Conversion			
LOCATION: Block 644, Lot 2 30 Commerce Drive Township of Cranford, Union County, NJ			
DRAWING TITLE: DEMOLITION PLAN		DRAWING NO.: C-2	
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23	SHEET: 2 OF 9
FILE: CE15122-DEMO	DRAWN BY: J.B.	SCALE: AS SHOWN	

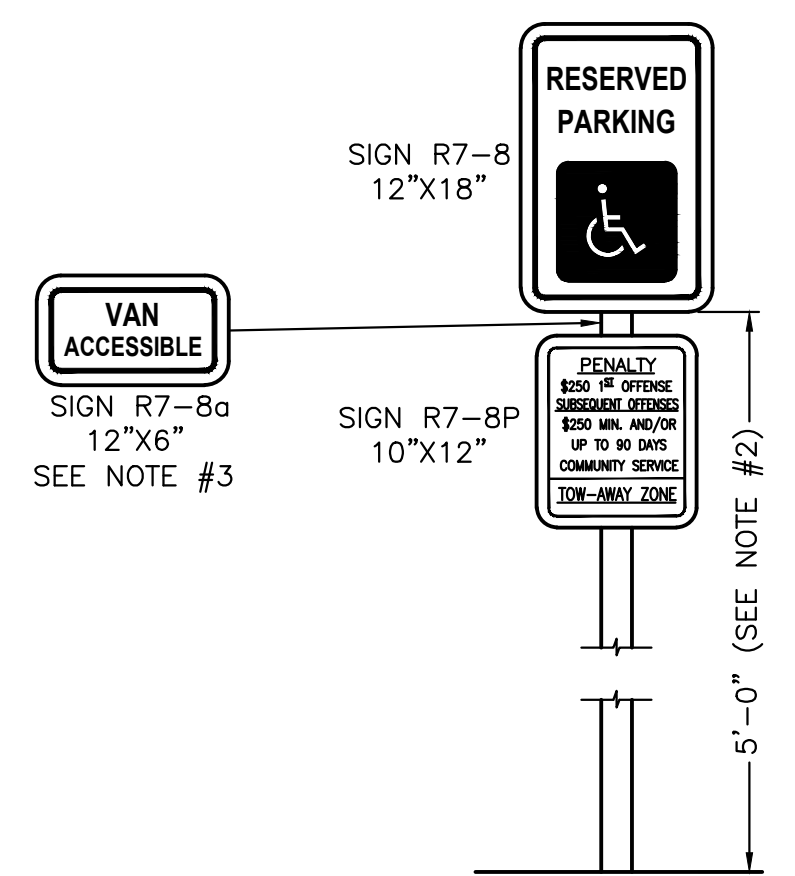
CHISVETTE ENGINEERING MARK CHISVETTE
 320 LENOX AVENUE
 POMPTON LAKES, NJ 07442
 PHONE: 973-897-7968
 FAX: 973-970-2010
 PROFESSIONAL ENGINEER
 NEW JERSEY LIC. #28164
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600

Mark Chisvette 10/04/23



- NOTES:
- 1) PROVIDE ADA SIGNAGE PER DETAIL
 - 2) PROVIDE VAN ACCESSIBLE SPACES WHERE SHOWN ON PLANS
 - 3) ACCESS AISLE MAY BE RIGHT OR LEFT OF PARKING SPACE

ACCESSIBLE PARKING SPACE DETAIL
NOT TO SCALE

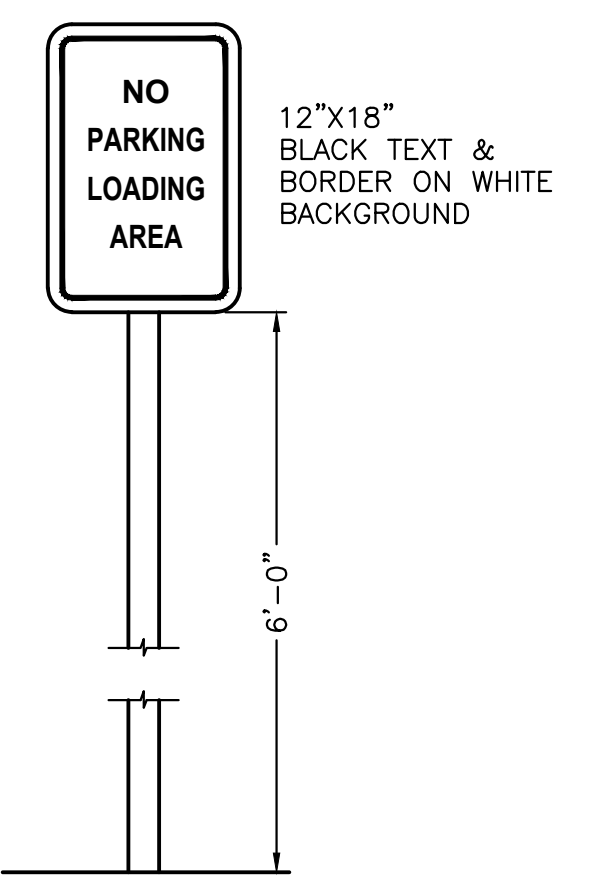


- NOTES:
1. SIGNS R7-8 & R7-8a SHALL BE PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGN R7-8P SHALL BE BLACK ON WHITE PER NEW JERSEY UNIFORM CONSTRUCTION CODE.
 2. BOTTOM EDGE OF R7-8 SIGN SHALL BE MOUNTED APPROXIMATELY 60 INCHES ABOVE PARKING LOT OR SIDEWALK SURFACE WHEN THE SIGN IS PARALLEL TO THE SIDEWALK AND APPROXIMATELY 72 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN PERPENDICULAR TO THE SIDEWALK.
 3. PROVIDE SIGN R7-8a AT VAN ACCESSIBLE SPACES MOUNTED BETWEEN SIGNS R7-8 AND R7-8P.

ADA SIGNAGE
NOT TO SCALE

GENERAL NOTES

1. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".
2. PROJECT SITE IS KNOWN AND DESIGNATED AS BLOCK 644, LOTS 2, AS SHOWN ON THE CURRENT TAX MAP OF THE TOWNSHIP OF CRANFORD, UNION COUNTY, NEW JERSEY, CONTAINING 13,000 SQUARE FEET (0.298 ACRES).
3. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HERE IS BASED ON A SURVEY ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 30 COMMERCE DRIVE, LOT 2 BLOCK 644, SITUATED IN THE TOWNSHIP OF CRANFORD, UNION COUNTY, NEW JERSEY", PREPARED BY CLEARPOINT SERVICES, LLC, DATED 3/06/23.
4. SEE ARCHITECTURAL PLANS FOR FLOOR PLANS, DETAILED BUILDING AND FOUNDATION DIMENSIONS AND BUILDING ELEVATIONS.
5. THE CONTRACTOR SHALL NOTIFY THE JERSEY CITY DIVISION OF ENGINEERING IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.
6. ALL REGULATORY SIGNAGE SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS" (MUTCD), LATEST EDITION.



LOADING AREA SIGN DETAIL
NOT TO SCALE

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

PROJECT: **Proposed Mikvah Conversion**

LOCATION: **Block 644, Lot 2
30 Commerce Drive
Township of Cranford, Union County, NJ**

DRAWING TITLE: SITE PLAN		DRAWING NO.: C-03	
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23	SHEET: 3 OF 9
FILE: CE23107-SITE	DRAWN BY: J.B.	SCALE: AS NOTED	

CHISVETTE ENGINEERING MARK CHISVETTE

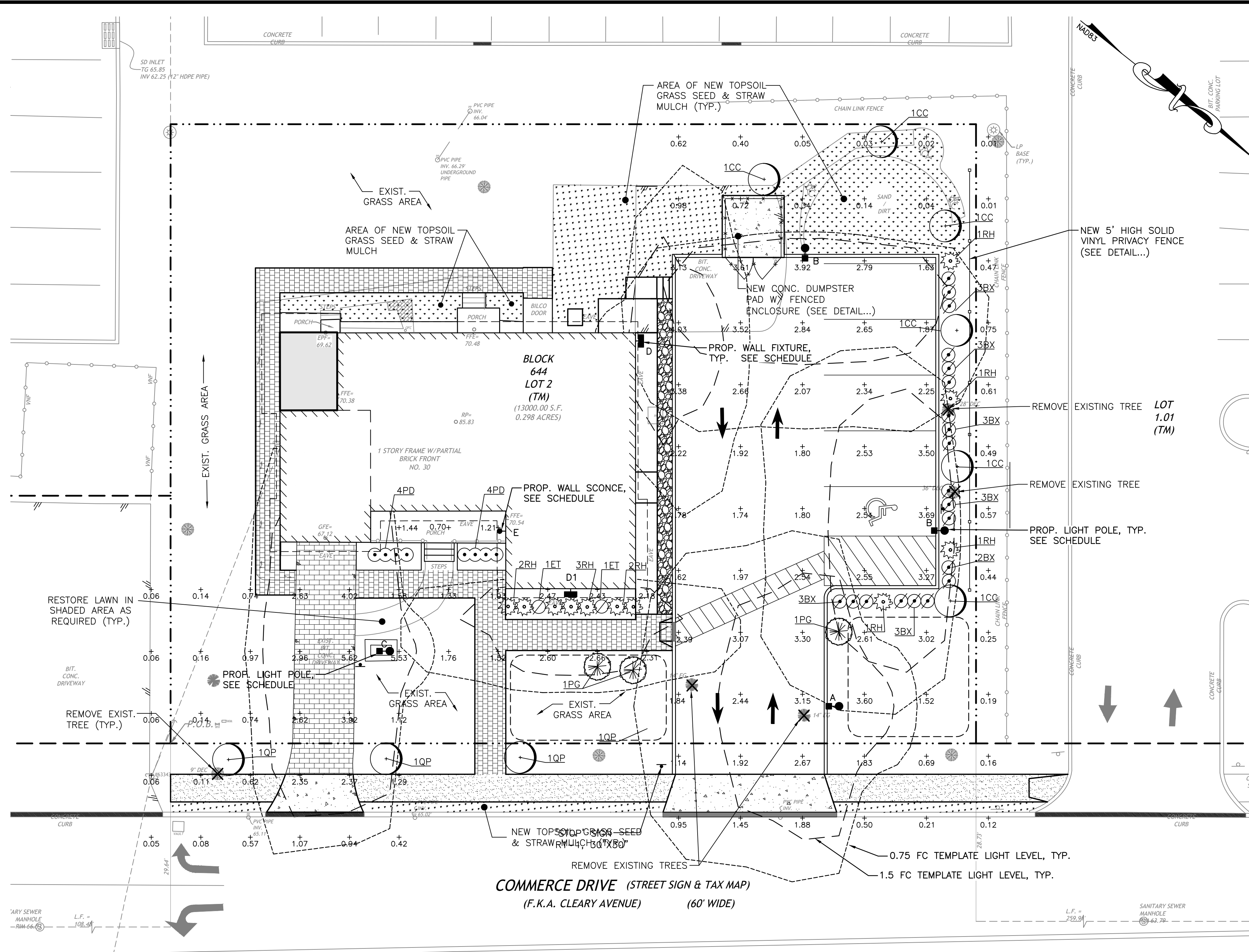
320 LENOX AVENUE
POMPTON LAKES, NJ 07442
PHONE: 973-897-7968
FAX: 973-970-2010

Mark Chisvette 10/04/23
PROFESSIONAL ENGINEER
NEW JERSEY LIC. #28164

NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600

©CHISVETTE ENGINEERING, LLC W:\PN23107\WK - 30 Commerce Dr mikvah\Drawings\CE23107-SITE.dwg (Site Plan) 10/04/2023

C:\Users\MarkC\Dropbox\Drawings\CE23107-LAND<G.dwg (C-4, LIG-LS) 10/04/2023



LIGHTING NOTES:

1. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".
2. TOP OF LIGHT POLE FOUNDATION SHALL BE FLUSH WITH ADJACENT SIDEWALK.
3. FOUNDATION EXCAVATION SHALL BE IN UNDISTURBED SOIL OR FILL PROPERLY COMPACTED PER GEOTECHNICAL RECOMMENDATIONS.
4. ELECTRICAL INSTALLATION AND CONNECTIONS SHALL COMPLY WITH ALL APPLICABLE ELECTRIC CODES.

PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS, AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNS) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION FOR THE QUALITY AND INSTALLATION OF THAT PLANT.
2. IMMEDIATELY NOTIFY THE ENGINEER IF ANY OBSTRUCTIONS OR CONFLICTS WITH OTHER CONSTRUCTION ITEMS ARE ENCOUNTERED.
3. GROUND COVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
4. THE CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR ONE YEAR FROM THE TIME OF PLANTING OR AS OTHERWISE INDICATED IN THE SPECIFICATIONS.
5. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN DURING THE FIRST GROWING SEASON. THE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
6. ALL LANDSCAPED AREAS SHALL BE PROPERLY MAINTAINED. THE PROVISIONS OF JERSEY CITY ORDINANCE SECTION 345-75 SHALL APPLY. ALL STREET TREES SHALL BE GUARANTEED OR ONE YEAR FROM THE TIME OF PLANTING. DURING THE GUARANTEE PERIOD TIME, THE DEVELOPER OR OWNER IS RESPONSIBLE FOR REGULAR MAINTENANCE OF THE TREE, INCLUDING WEED REMOVAL, REPLACING MISSING SOIL OR MULCH AND MINOR PRUNING. DURING THE GUARANTEE PERIOD, TREES SHALL BE WATERED AT LEAST EVERY TWO WEEKS FROM MAY THROUGH OCTOBER. IF A TREE DIES DURING THE GUARANTEE PERIOD, IT SHALL BE REPLACED IN THE NEXT PLANTING SEASON.

TREE REPLACEMENT REQUIREMENTS

DESCRIPTION	REMOVED TREE SIZE	TO BE REMOVED	REPLACEMENT RATIOS	REPLACEMENT REQUIRED
STREET TREE REMOVAL	6" - <12"	1	3	3
PROPOSED STREET TREES				3
SITE TREE REMOVAL	12" - <18"	2	4	8
	24" - <36"	1	7	7
	36"	1	12	12
	TOTAL	4		27
PROPOSED SITE TREES				9*

* A DONATION WILL BE MADE FOR THE EQUIVALENT OF 18 ADDITIONAL TREES



LEGEND & PLANTING SCHEDULE

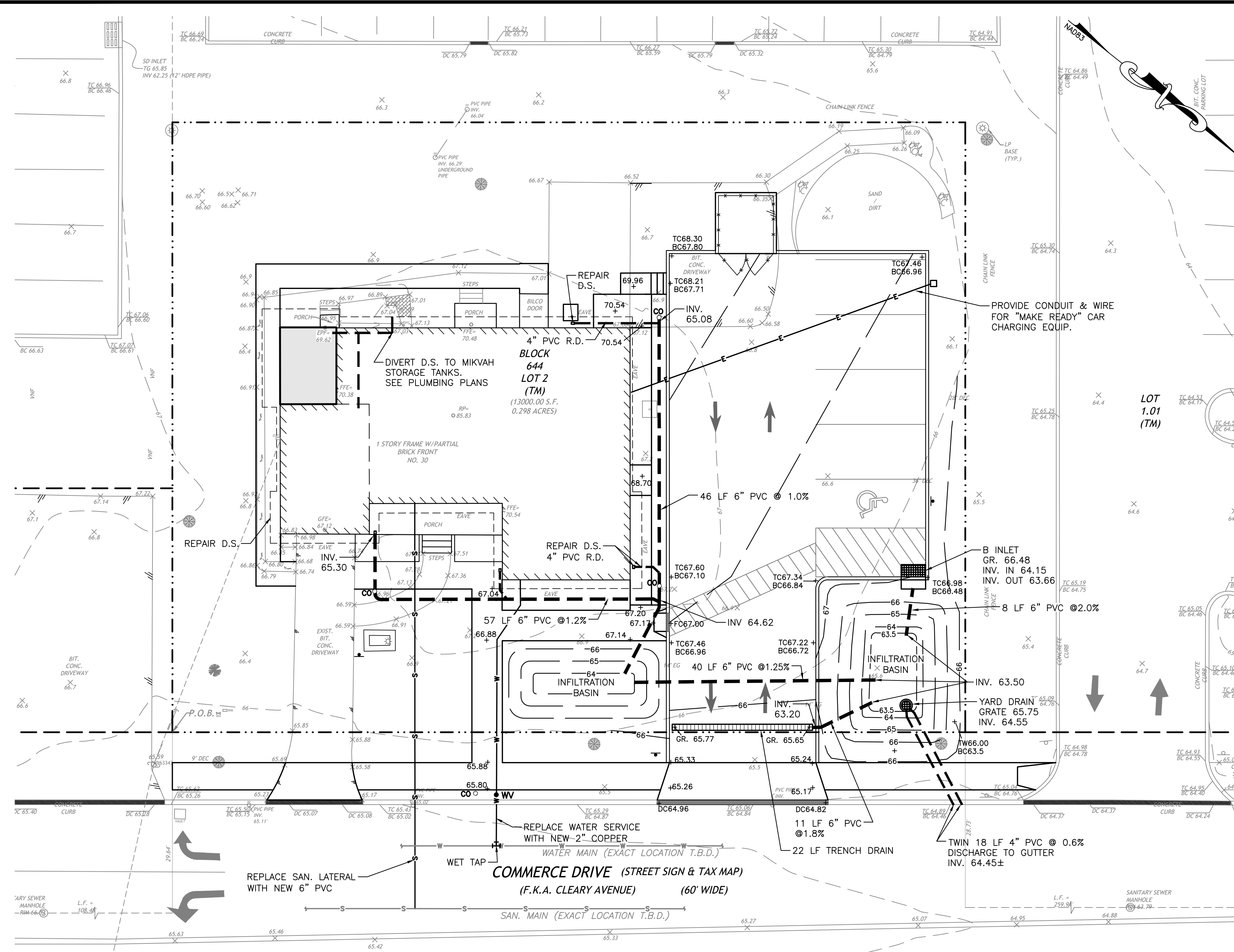
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	MATURE HT.	ROOT TYPE	SPACING	REMARKS
QP	3	QUERCUS PALUSTRIS	PIN OAK	3" CAL. 10'-12' HT.	40'-50'	B&B	SEE PLAN	
CC	6	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" CAL. 10'-12' HT.	20'-30'	B&B	SEE PLAN	
PG	3	PICEA GLAUCA	WHITE SPRUCE	3" CAL. 10'-12' HT.	30'-40'	B&B	SEE PLAN	
BX	20	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	2 GAL. CAN	4'-5' HT.	CONTAINER	2 O.C.	
RH	11	RHODODENDRON 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	2 GAL. CAN	3'-5' HT.	CONTAINER	SEE PLAN	
ET	2	ERBERIS THUNBERGII 'ROSE GLOW'	ROSE GLOW BARBERRY	2 GAL. CAN	4'-5' HT.	CONTAINER	SEE PLAN	
PD	8	PENSTEMON DAVIDSONII	DAVIDSON BEARDTONGUE	1 QT. CAN	10" HT.	CONTAINER	2' O.C.	

LUMINAIRE SCHEDULE

SYMBOL	TYPE	QTY.	ARRANGEMENT	MANUFACTURER	PRODUCT CODE	MTG. HT.	LUM. WATTS	LUM. LUMENS	LLF
●-■	A	1	SINGLE	COOPER/McGRAW EDISON	GALLEON II 44W 3500K LED, TYPE 4FT GALN-SA1B-735-U-T4FT ON 4" DIA. STEEL POLE	14 FT	44	5,640	0.90
●-■	B	2	SINGLE	COOPER/McGRAW EDISON	GALLEON II 44W 3500K LED, SL4 W/HSS GALN-SA1B-735-U-SL4-HSS ON 4" DIA. STEEL POLE	14 FT	44	4,628	0.90
●-■	C	1	SINGLE	COOPER/McGRAW EDISON	GALLEON II 44W 3500K LED, SL3 GALN-SA1B-735-U-SL3 ON 4" DIA. STEEL POLE	11 FT	44	5,698	0.90
■	D	1	SINGLE	COOPER/McGRAW EDISON	IMPACT CYLINDER, 20W 3500K LED, TYPE 2, WALL MOUNT ISC-AF-735-U-T2	12 FT	20	2,802	0.90
■	D1	1	SINGLE	COOPER/McGRAW EDISON	IMPACT CYLINDER, 20W 3500K LED, TYPE 2, WALL MOUNT ISC-SA1A-735-U-T2	10 FT	20	2,802	0.90
●	E	1	SINGLE	COOPER/HALO	FE SERIES WALL SCONCE 10W 3000K LED FE10A35GLMB	8 FT	10	982	0.90

2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS
REV.	DATE	DESCRIPTION
PROJECT: Proposed Mikvah Conversion		
LOCATION: Block 644, Lot 2 30 Commerce Drive Township of Cranford, Union County, NJ		
DRAWING TITLE: LIGHTING & LANDSCAPING PLAN		DRAWING NO.: C-04
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23
FILE: CE23107-LAND<G	DRAWN BY: J.B.	SCALE: AS NOTED
CHISVETTE ENGINEERING 320 LENOX AVENUE POMPTON LAKES, NJ 07442 PHONE: 973-897-7968 FAX: 973-970-2010		MARK CHISVETTE 10/04/23 PROFESSIONAL ENGINEER NEW JERSEY LIC. #28164
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600		

CHISVETTE ENGINEERING, LLC C:\Users\MarkC\Dropbox\Box\CellC\Work\PN23107\DWG - 30 Commerce Dr. mikvah\Drawings\CE23107-GDU.dwg (C-5 GDU) 10/04/2023



- GRADING & UTILITY NOTES**
- THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S SIGNATURE AND RAISED SEAL AND THE WORDS "ISSUED FOR CONSTRUCTION".
 - BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HERE IS BASED ON A SURVEY ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 30 COMMERCE DRIVE, LOT 2 BLOCK 644, SITUATED IN THE TOWNSHIP OF CRANFORD, UNION COUNTY, NEW JERSEY", PREPARED BY CLEARPONT SERVICES, LLC, DATED 3/06/23.
 - LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES SHOWN ON THE PLANS ARE APPROXIMATE. THE ACCURACY AND COMPLETENESS OF LOCATIONS OF UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK IS NOT GUARANTEED BY CHISVETTE ENGINEERING. THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL LOCATIONS AND ELEVATIONS OF THESE UTILITIES AT THE ONSET OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OR ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT.
 - THE CONTRACTOR SHALL CALL NEW JERSEY ONE CALL AT 811 OR 800-272-1000 AT LEAST THREE FULL BUSINESS DAYS (NOT COUNTING WEEKENDS OR HOLIDAYS) PRIOR BEGINNING WORK.
 - ALL ELEVATIONS SHOWN ARE BASED ON AN THE NAVD88 DATUM.
 - ALL WALKWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% UNLESS OTHERWISE NOTED.
 - POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
 - EXACT LOCATIONS AND SIZES OF ALL UTILITY CONNECTIONS SHALL BE CONFIRMED BY THE PROJECT ARCHITECT OR M.E.P. ENGINEER PRIOR TO APPLICATION FOR BUILDING PERMITS.
 - STORM AND SANITARY SEWER PIPE SHALL BE MATERIAL INDICATED:
 - RCP PIPE SHALL BE CLASS III, WALL "B" PER ASTM C76 OR C507, UNLESS OTHERWISE INDICATED.
 - HDPE PIPE SHALL BE SMOOTH INTERIOR, DOUBLE WALL PIPE MEETING ASTM F2306 AND AASHTO M294, TYPE "S". PIPE JOINTS SHALL BE SILT-TIGHT IN ACCORDANCE WITH ASTM D3212.
 - PVC PIPE SHALL BE GASKETED PIPE, SDR35 MEETING ASTM D3034 OR PS46 MEETING ASTM F679, UNLESS OTHERWISE NOTED.
 - DUCTILE IRON FOR STORM AND SANITARY USE SHALL MEET THE REQUIREMENTS OF ASTM A716 OR ASTM A746.
 - ROOF DRAIN PIPE SHALL PVC PIPE AND SHALL BE LAID AT 1.0% MIN. SLOPE UNLESS OTHERWISE INDICATED.
 - SEWERS CONVEYING SANITARY FLOW SHALL BE SEPARATED FROM WATER LINES BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE.
 - WATER SERVICE PIPE SHALL BE ROLLED SOFT CLASS K COPPER PIPE APPROVED FOR 350 PSI.

LEGEND

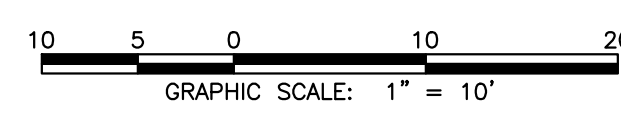
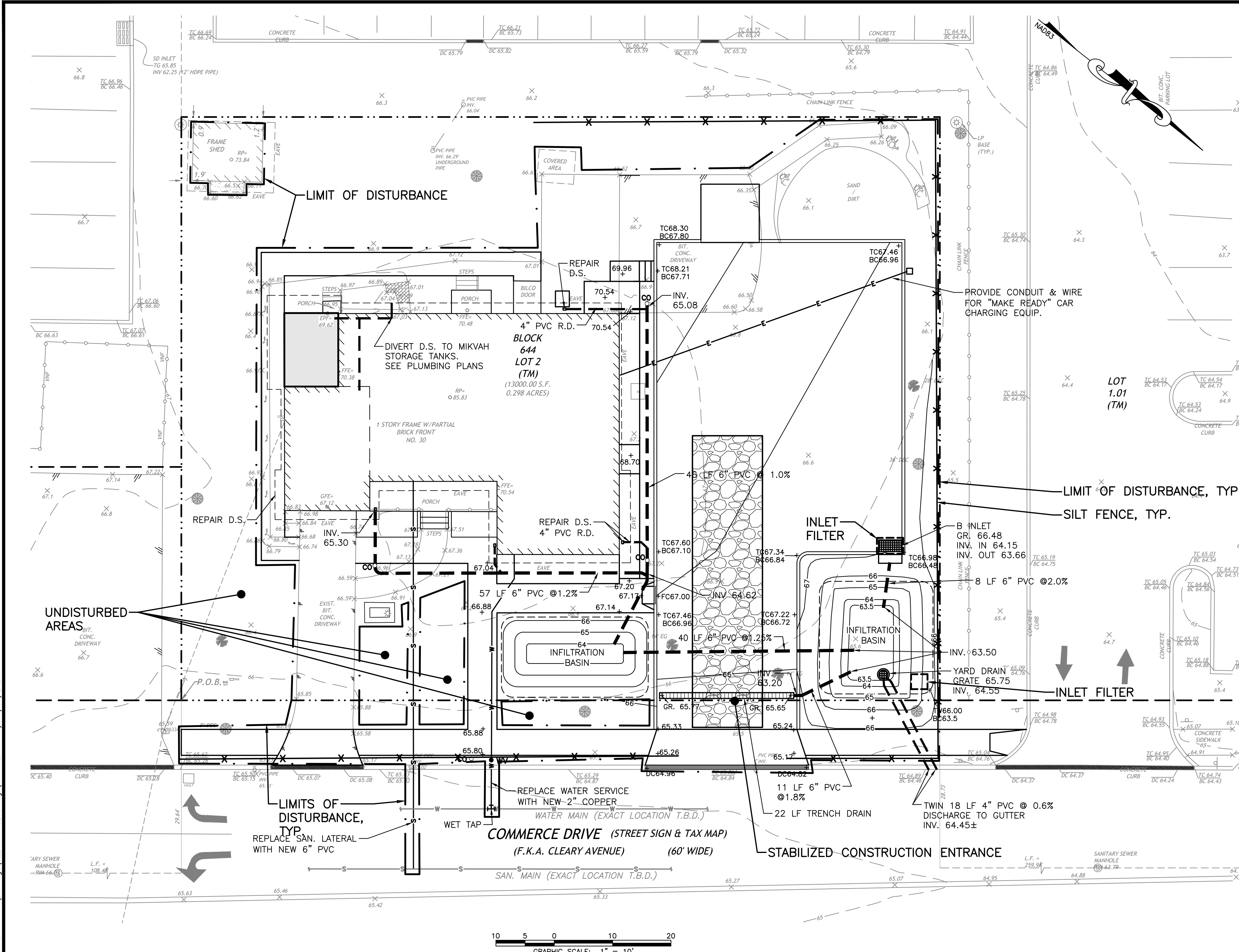
ITEM	EXISTING	PROPOSED
SPOT ELEVATIONS	x 16.55	+ 16.55
TOP OF CURB ELEV.	x TC16.55	+ TC16.55
BOTTOM OF CURB ELEV.	x BC16.55	+ BC16.55
DEPRESSED CURB ELEV.	x DC16.55	+ DC16.55
FLUSH CURB ELEV.	x FC16.55	+ FC16.55
GUTTER DOWNSPOUT	o D.S.	o D.S.
CONTOURS	--- 16 ---	--- 16 ---
MANHOLES	○	●
INLETS	□ CURB INLET	■ CURB INLET
STORM PIPE	==== SAN. =====	==== S =====
RESET CASTING	○	◐
SAN. PIPE	==== SAN. =====	==== S =====
UTILITY LINES	W= WATER E= ELEC. G= GAS T= TEL. OH=OVERHEAD	W= WATER E= ELEC. G= GAS T= TEL. OH=OVERHEAD
VALVES	o W o G	o W o G
CLEANOUTS	o.c.o.	o.c.o.
UTILITY POLES	□	□
CURB	--- DC ---	--- DC ---
PROPERTY LINE	--- DROP CURB ---	--- DROP CURB ---

2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS
REV.	DATE	DESCRIPTION
PROJECT: Proposed Mikvah Conversion		
LOCATION: Block 644, Lot 2 30 Commerce Drive Township of Cranford, Union County, NJ		
DRAWING TITLE: GRADING, DRAINAGE & UTILITY PLAN	DRAWING NO.: C-05	
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23
FILE: CE23107-GDU	DRAWN BY: J.B.	SCALE: AS NOTED
CHISVETTE ENGINEERING 320 LENOX AVENUE POMPTON LAKES, NJ 07442 PHONE: 973-897-7968 FAX: 973-970-2010		MARK CHISVETTE 10/04/23 PROFESSIONAL ENGINEER NEW JERSEY LIC. #28164
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600		

SOMERSET-UNION SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH/7 EDITION LAST REVISED JANUARY 2014.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1).
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS TO BE SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
- IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
- HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

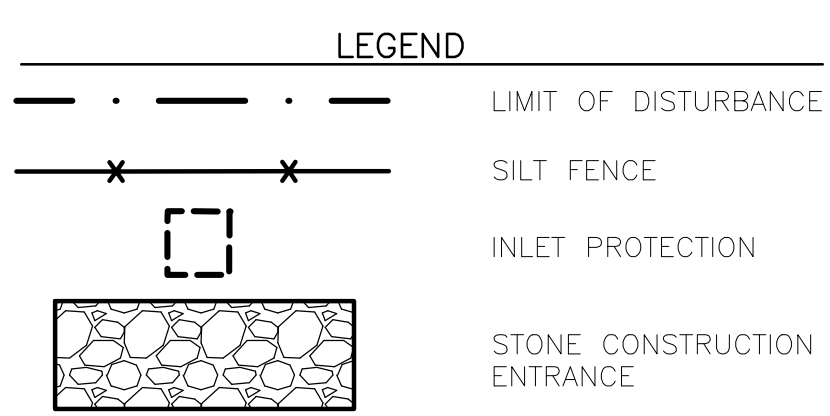
REV. 8/24/20



DISTURBED AREA:
9,000 SF = 0.21 AC.

SOIL COMPACTION REMEDIATION:
THIS PROJECT DOES NOT REQUIRE SOIL COMPACTION REMEDIATION PER SECTION 19 OF THE N.J. SOIL EROSION & SEDIMENT CONTROL STANDARDS DUE TO THE FOLLOWING:
1. THE PROJECT IS SITUATED IN AN URBAN REDEVELOPMENT AREA, AS THE SITE IS IN THE METROPOLITAN PLANNING AREA (PA-1) AND WAS PREVIOUSLY DEVELOPED.

- CONSTRUCTION SEQUENCE:**
- INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES - 2 DAYS
 - REMOVE SHED, CLEAR SITE AND REMOVE DEBRIS - 2 WEEKS
 - PERFORM ROUGH GRADING & STABILIZE INFILTRATION AREAS - 1 WEEK
 - CONSTRUCT NEW UTILITY CONNECTIONS - 2 WEEKS
 - CONSTRUCT CURB & PAVEMENT - 4 WEEKS
 - CONSTRUCT MIKVAH AREA - 4 WEEKS
 - CONSTRUCT SIDEWALKS & RAMPS - 2 WEEKS
 - INSTALL PLANTINGS & STABILIZE TOPSOIL AREAS - 1 WEEK
 - REMOVE SOIL CONTROL DEVICES - 1 DAY
- DURATION OF PROJECT: 4 MONTHS**



- GENERAL NOTES**
- THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

PROJECT:
Proposed Mikvah Conversion

LOCATION:
Block 644, Lot 2
30 Commerce Drive
Township of Cranford, Union County, NJ

DRAWING TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN	DRAWING NO.: C-06
PROJ. NO.: PN23107	DESIGNED BY: M.C.
DATE: 3/14/23	SHEET: 6 OF 9
FILE: CE23107-SESC	DRAWN BY: J.B.
SCALE: AS NOTED	

CHISVETTE ENGINEERING MARK CHISVETTE

320 LENOX AVENUE
POMPTON LAKES, NJ 07442
PHONE: 973-897-7968
FAX: 973-970-2010

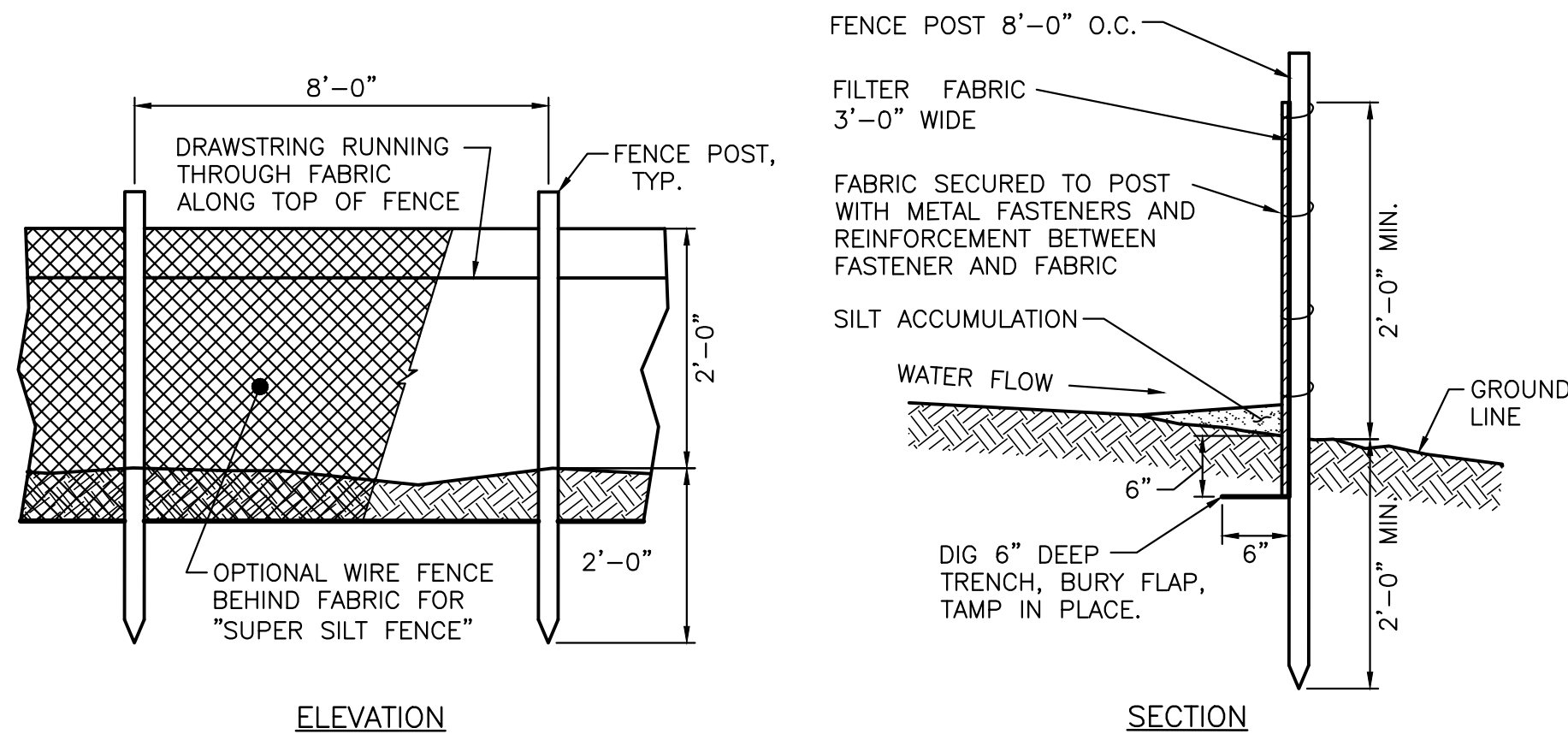
Mark Chisvette 10/04/23
PROFESSIONAL ENGINEER
NEW JERSEY LIC. #28164

NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600

©CHISVETTE ENGINEERING, LLC C:\Users\MarkC\Dropbox\Work\PN23107\WK - 30 Commerce Dr. mikvah\Drawings\CE23107-SESC.dwg (C-6 SESC Plan) 10/04/2023

REQUIREMENTS FOR SILT FENCE:

- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND (FIG. 25-2). POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1.5 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. FASTEN TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

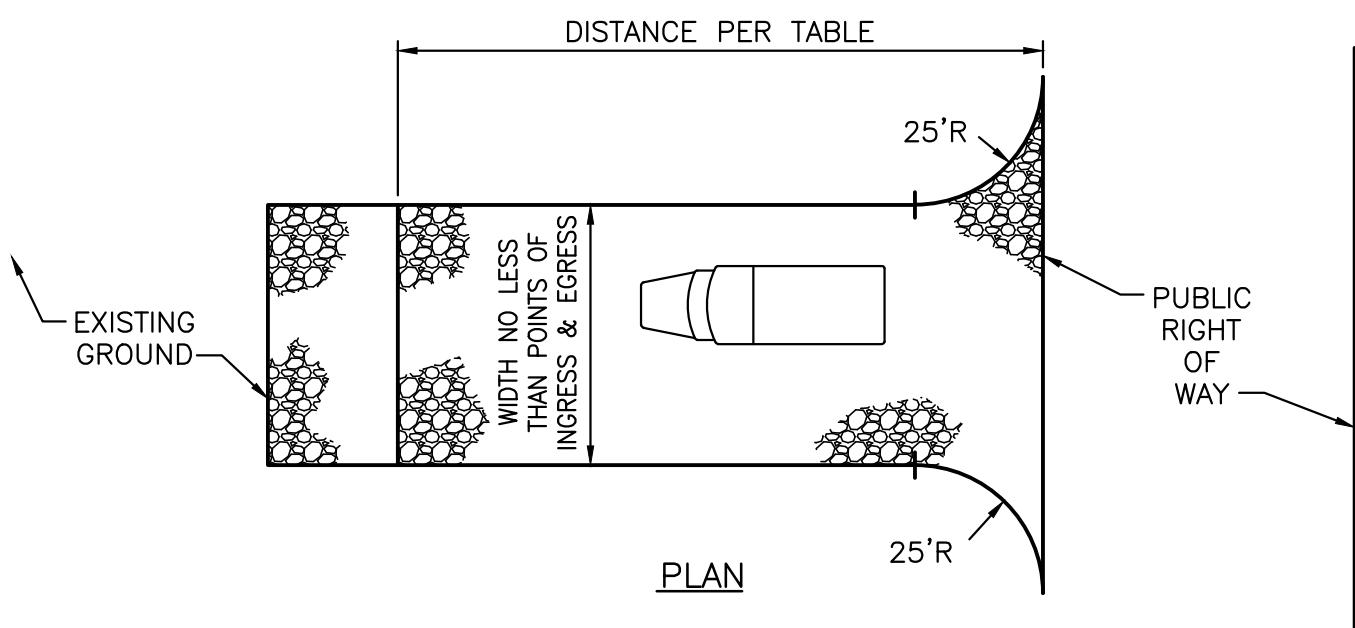
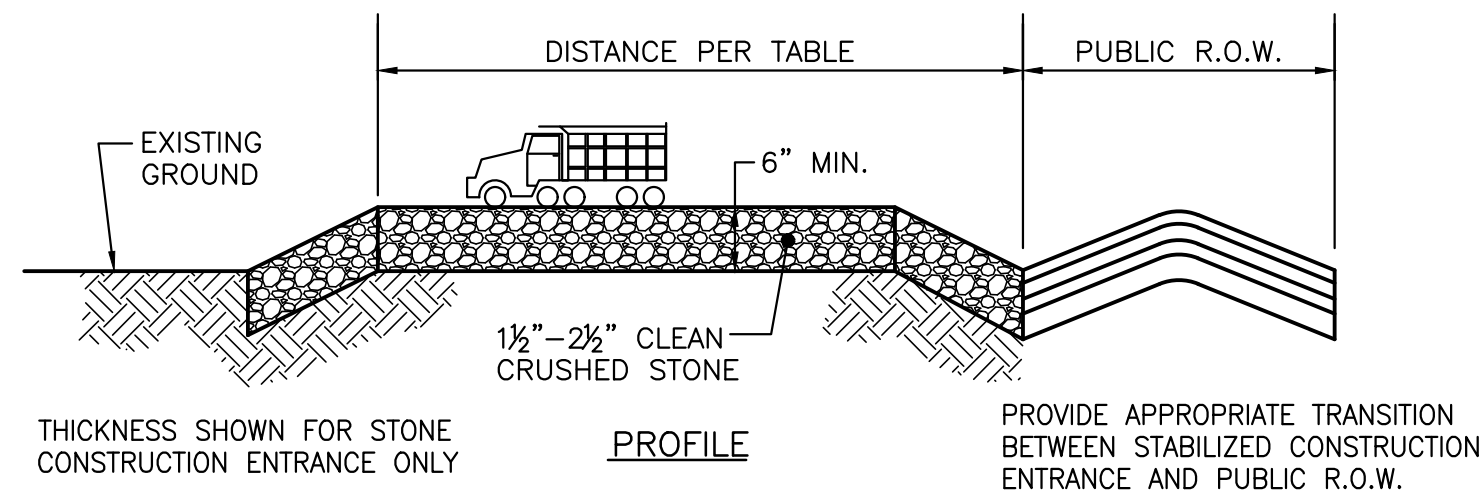


ELEVATION

SECTION

SILT FENCE DETAIL

NOT TO SCALE

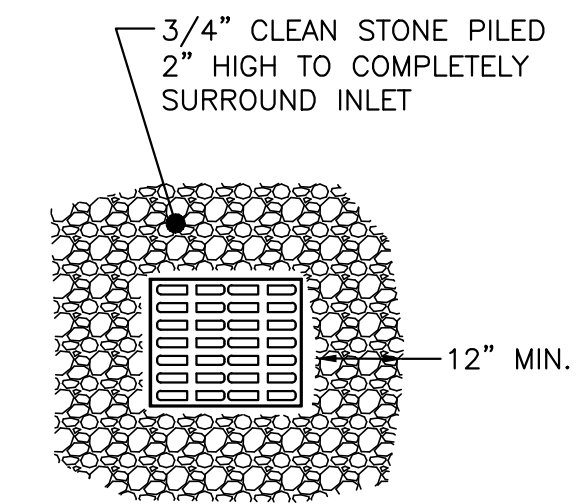


PERCENT SLOPE OF ROADWAY	PERCENT SLOPE OF ROADWAY	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED HOT-MIXED ASPHALT BASE COURSE, MIX 1-2"	

*AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

- PLACE TRAFFIC CONES AT EACH CORNER WHEN IN AREA SUBJECT TO TRAFFIC.
- INSPECT INLET FREQUENTLY. REPAIR STONE BERM PROMPTLY IF DISRUPTED. REPLACE WITH CLEAN GRAVEL IF CLOGGED.

YARD INLET PROTECTION DETAIL

NOT TO SCALE

PERMANENT SEEDING NOTES

- APPLY A UNIFORM APPLICATION OF TOPSOIL TO A DEPTH OF 5 INCHES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED.
- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE APPLIED AT A RATE OF 500 POUNDS PER ACRE (11 POUNDS PER 1,000 SQUARE FEET) OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3-5 WEEKS AFTER SEEDING. APPLY LIMESTONE AT THE RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) UNLESS SOIL TESTING INDICATES OTHERWISE.
- WORK LIME AND FERTILIZER INTO THE TOPSOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTHED HARROW, OR OTHER SUITABLE EQUIPMENTS. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- APPLY SEED UNIFORMLY AT THE RATE SPECIFIED BELOW. UNLESS HYDROSEEDING, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

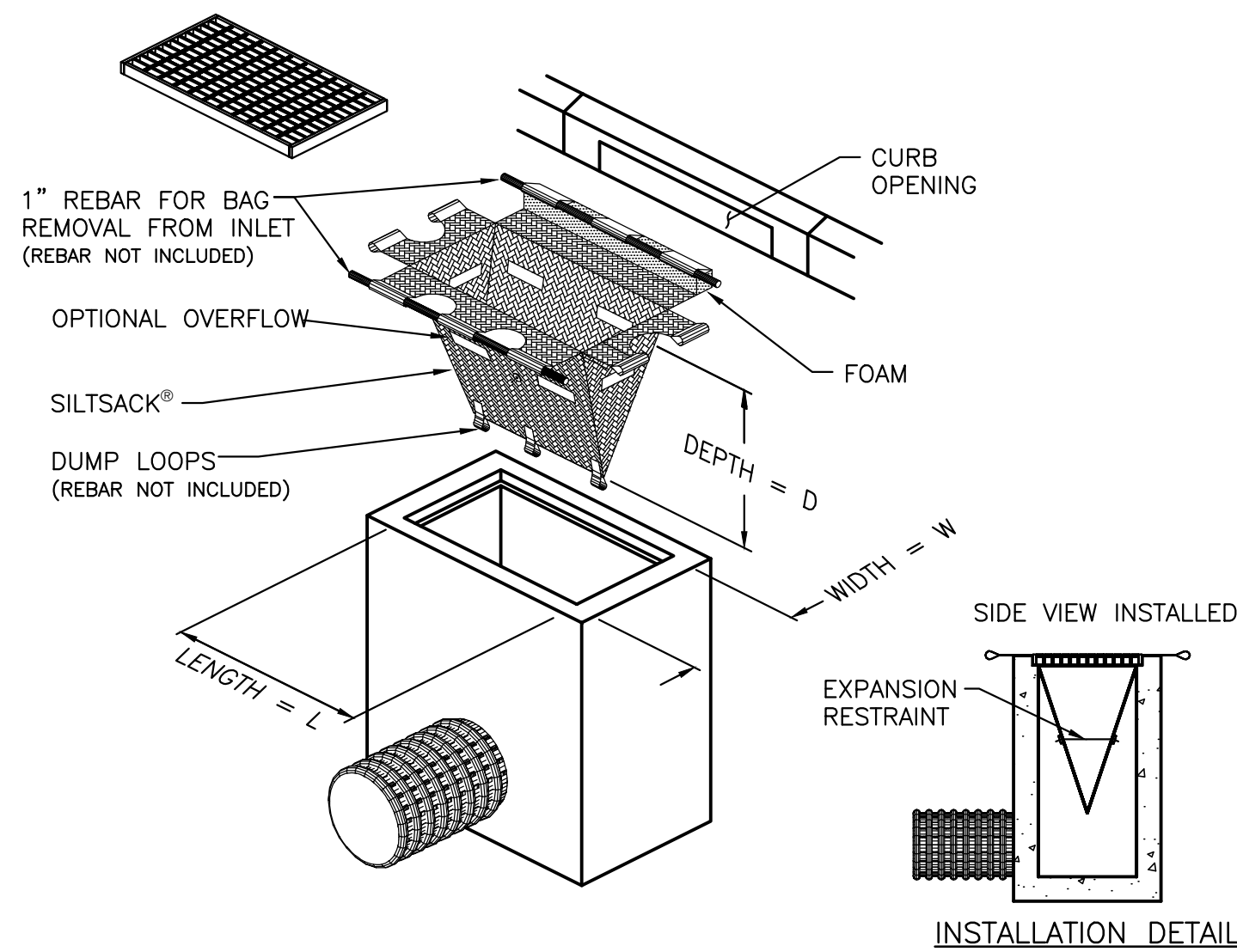
SEED MIXTURE	PLANTING RATE	
	LBS PER ACRE	LBS PER 1,000 SF
HARD FESCUE	130	3
CHEWINGS FESCUE	45	1
STRONG CREEPING RED FESCUE	45	1
PERENNIAL RYEGRASS	10	0.25

*OPTIMAL SEEDING DATES: 2/1-4/30 AND 8/15-10/30

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH SHALL CONSIST OF UNROTTED SMALL GRAIN STRAW, NOT HAY, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET) EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER, THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT BY EITHER PEG AND TWINE, MULCH NETTINGS, OR LIQUID MULCH-BINDERS.

DUST CONTROL NOTES

- DUST SHALL BE CONTINUALLY CONTROLLED BY WATERING AND/OR APPLICATION OF CALCIUM CHLORIDE.
- WATERING SHALL CONSIST OF SPRINKLING THE SURFACE UNTIL WET.
- CALCIUM CHLORIDE SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. DO NOT USE ON STEEP SLOPES.



INLET PROTECTION DETAIL (SILTSACK)

NOT TO SCALE

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

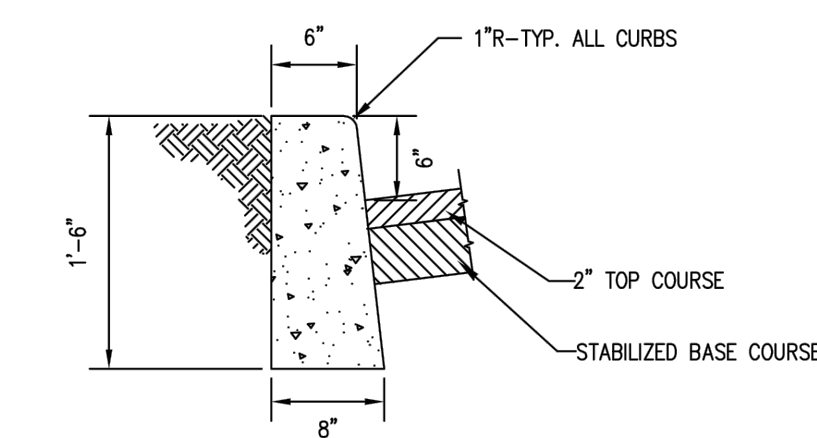
PROJECT: Proposed Mikvah Conversion			
LOCATION: Block 644, Lot 2 30 Commerce Drive Township of Cranford, Union County, NJ			
DRAWING TITLE: SOIL EROSION & SEDIMENT CONTROL DETAILS		DRAWING NO.: C-07	
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23	SHEET: 7 OF 9
FILE: CE23107-SESC	DRAWN BY: J.B.	SCALE: AS NOTED	

CHISVETTE ENGINEERING MARK CHISVETTE
 320 LENOX AVENUE
 POMPTON LAKES, NJ 07442
 PHONE: 973-897-7968
 FAX: 973-970-2010
 PROFESSIONAL ENGINEER
 NEW JERSEY LIC. #28164
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600

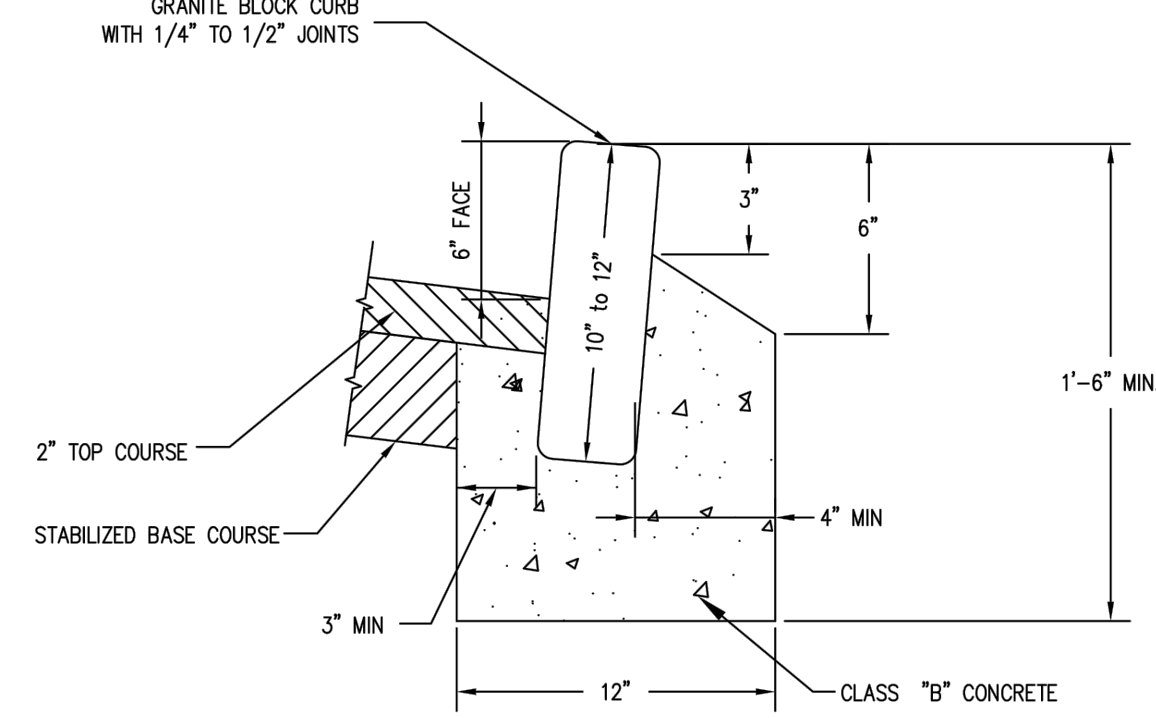
GENERAL NOTES

- THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".

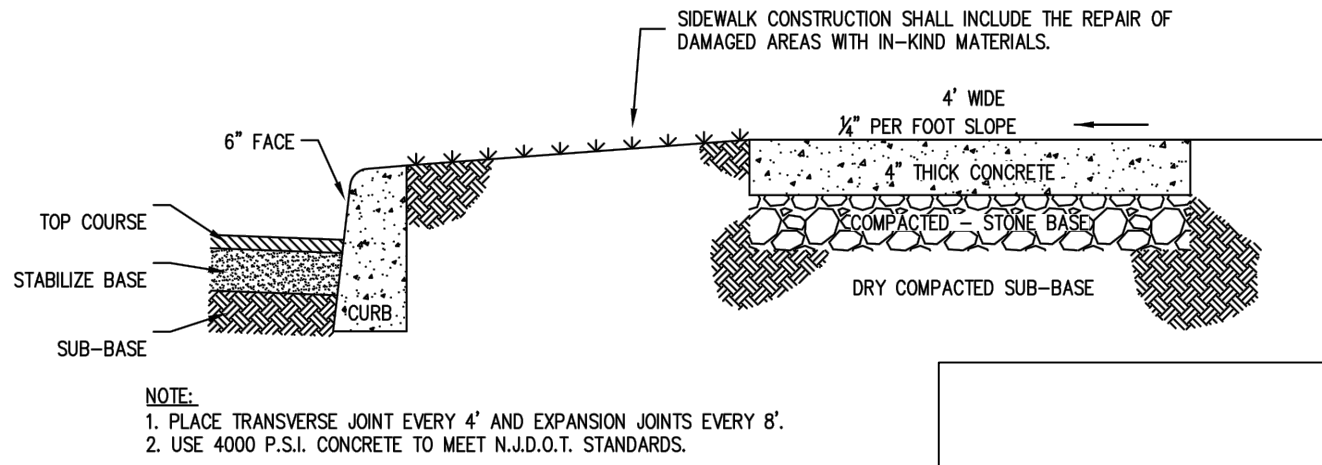
T.N.D.O.T. STANDARDS.
 ED ON CURB.
 IBER EXPANSION JOINTS.
 RVALS. PROVIDE TRANSVERSE



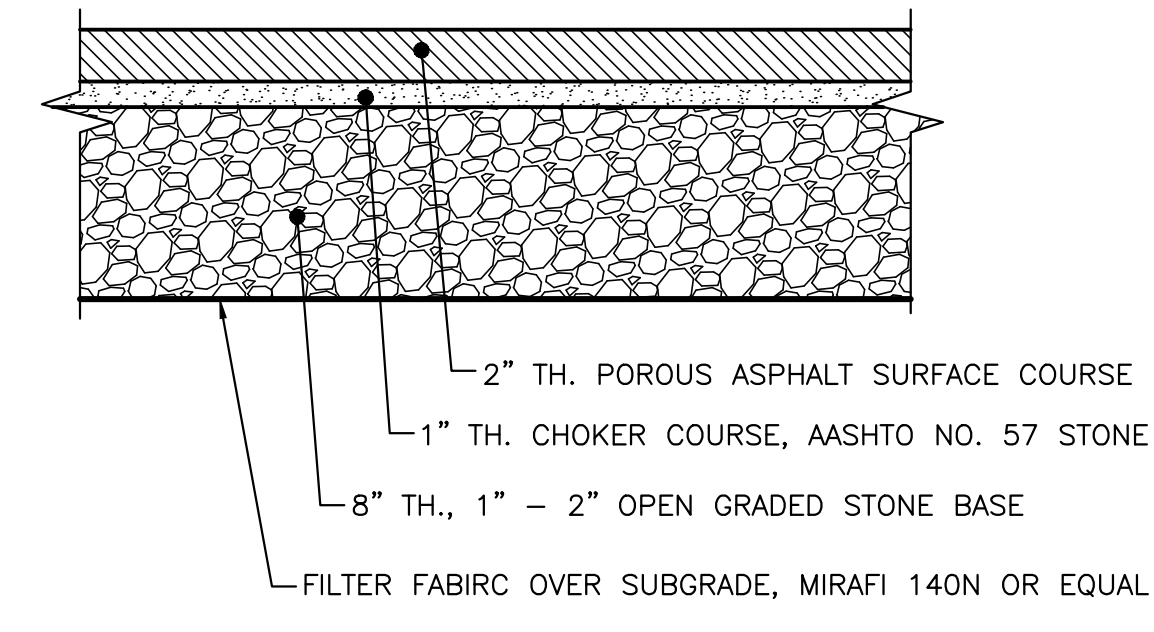
CONCRETE CURB DETAIL
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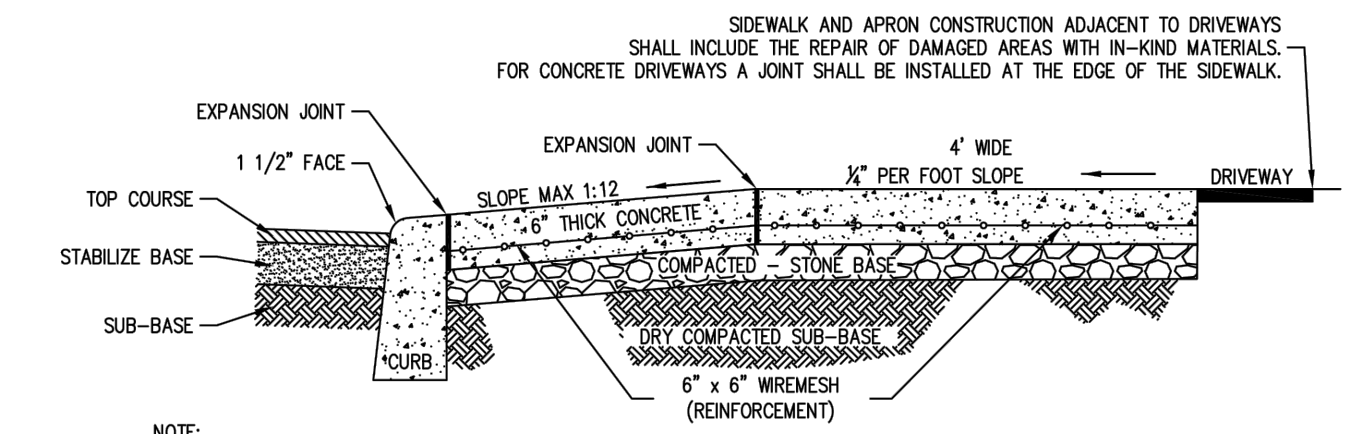
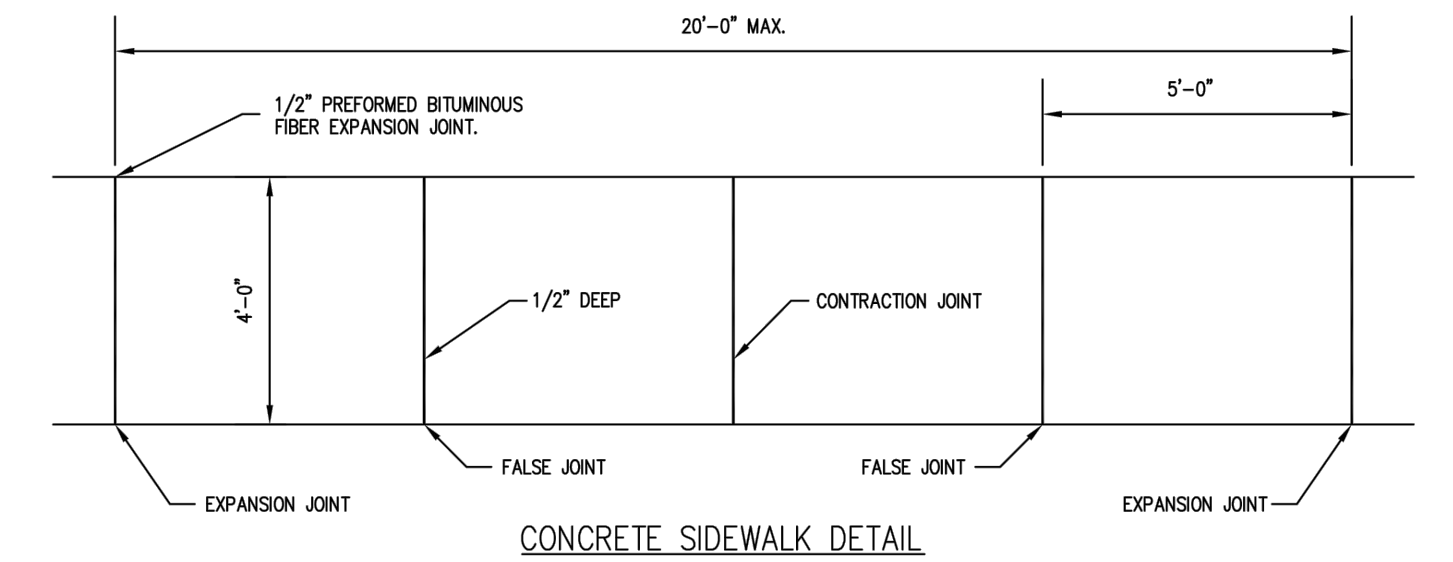
GRANITE BLOCK CURB DETAIL
 NOT TO SCALE



CONCRETE SIDEWALK DETAIL
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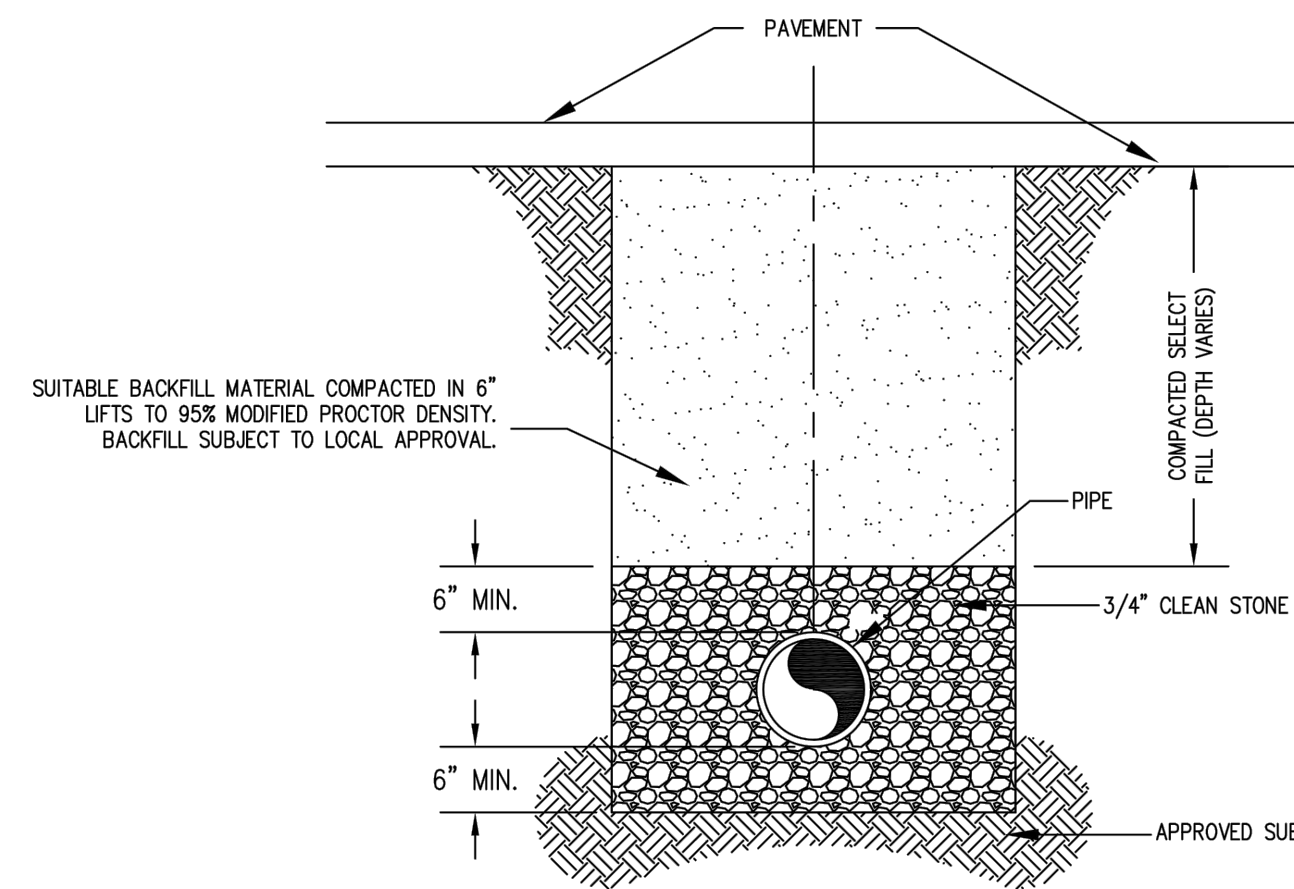


POROUS ASPHALT PAVEMENT DETAIL
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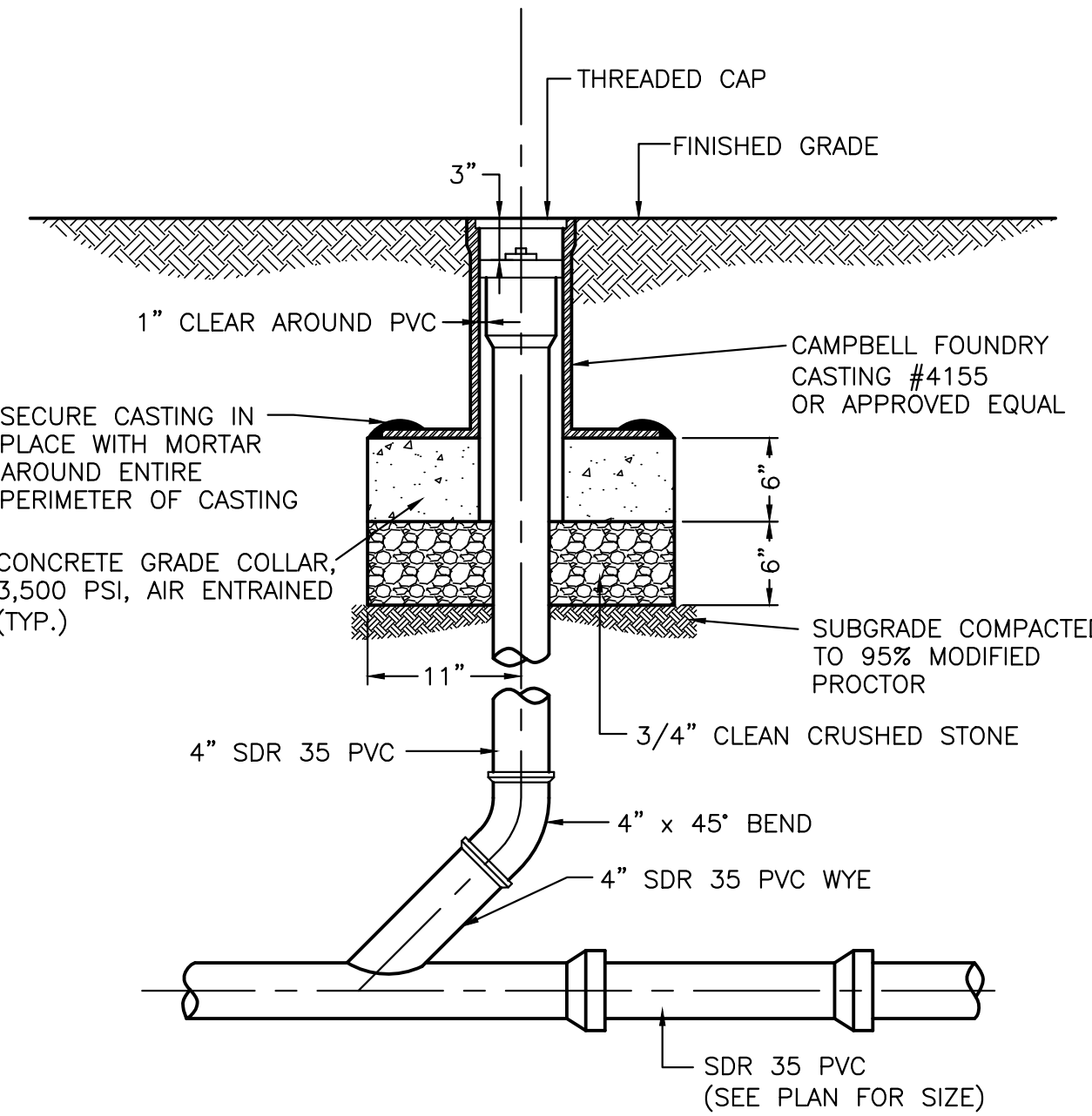
CONCRETE DRIVEWAY APRON DETAIL
 NOT TO SCALE

- GENERAL NOTES:
1. ALL CONSTRUCTION SHALL MEET STANDARD DOT SPECIFICATIONS, THE LATEST EDITIONS.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
 3. TRENCHES IN UNIMPROVED AREAS TO BE BACKFILLED WITH SUITABLE MATERIAL UNLESS OTHERWISE ORDERED BY THE ENGINEER.

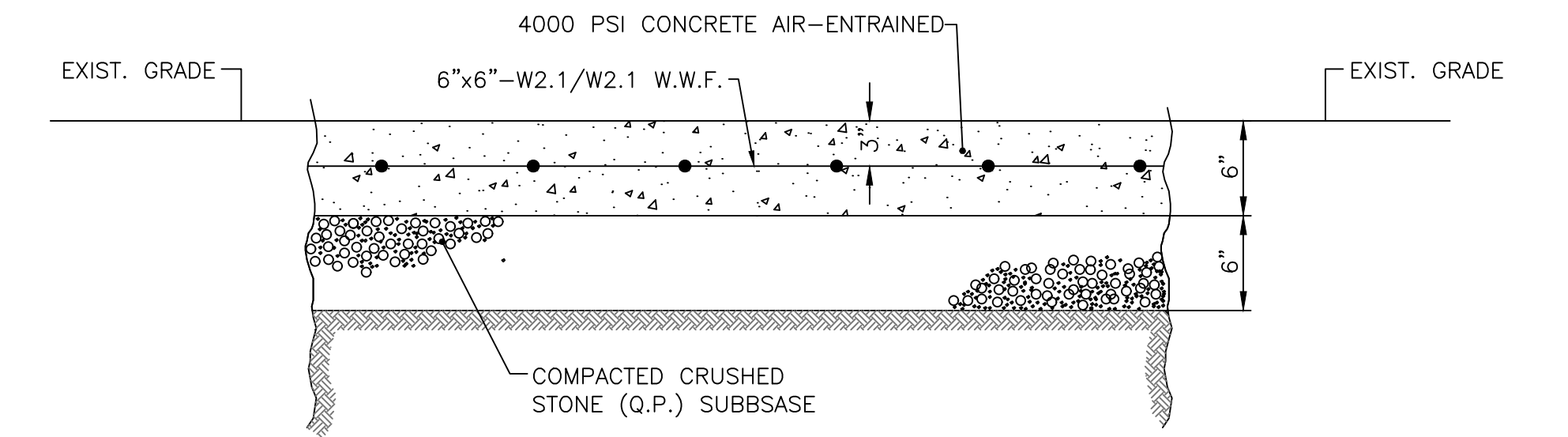


PIPE TRENCH DETAIL
 NOT TO SCALE

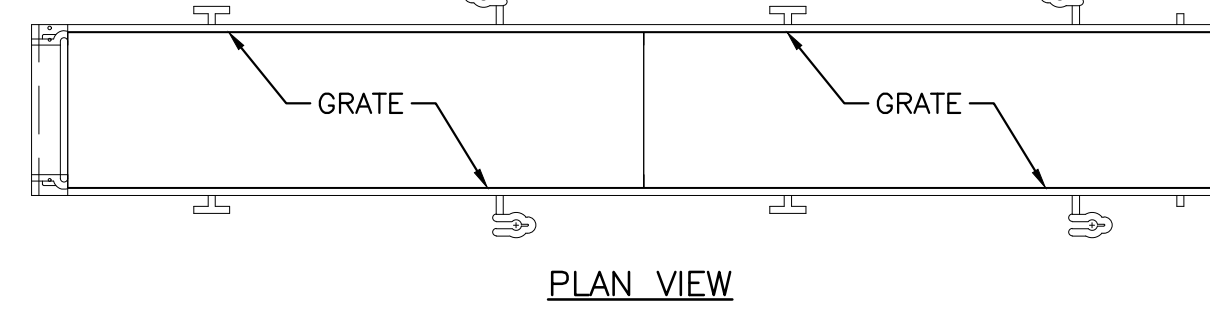
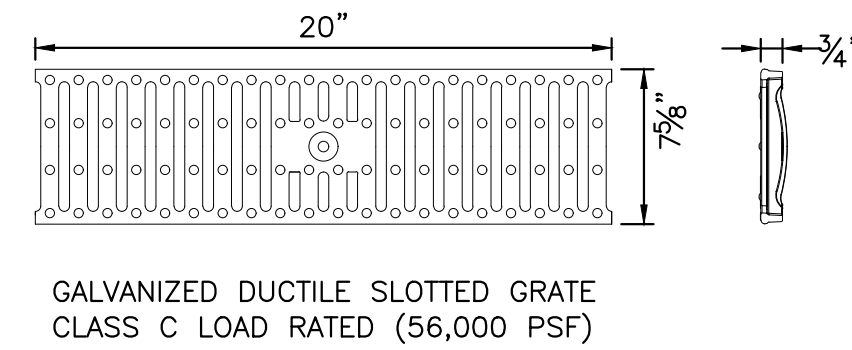
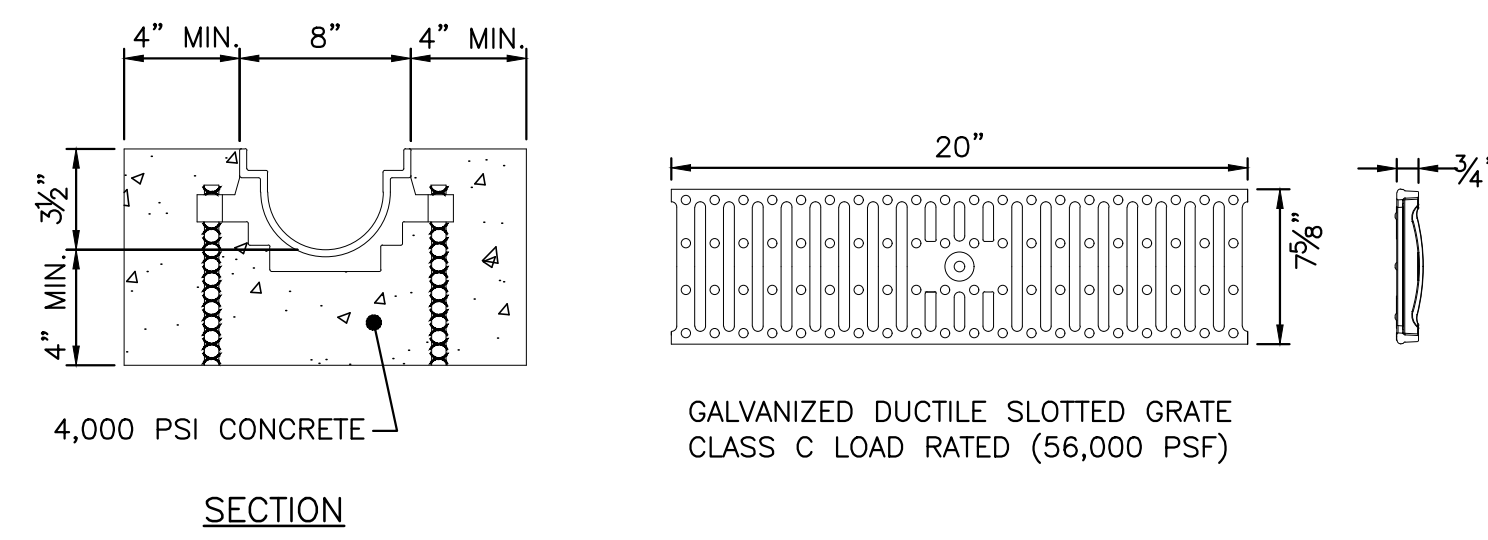
PIPE DIAMETER	TRENCH WIDTH SANITARY	TRENCH WIDTH STORM
4"	2'-0"	2'-0"
6"	2'-0"	2'-0"
8"	2'-6"	2'-6"
10"	3'-0"	3'-0"
12"	3'-0"	3'-0"
15"	3'-6"	3'-6"
18"	3'-6"	3'-6"
21"	4'-0"	4'-0"
24"	4'-0"	4'-0"
27"	4'-0"	4'-0"
30"	4'-0"	4'-0"
33"	4'-6"	4'-6"
36"	4'-6"	4'-6"



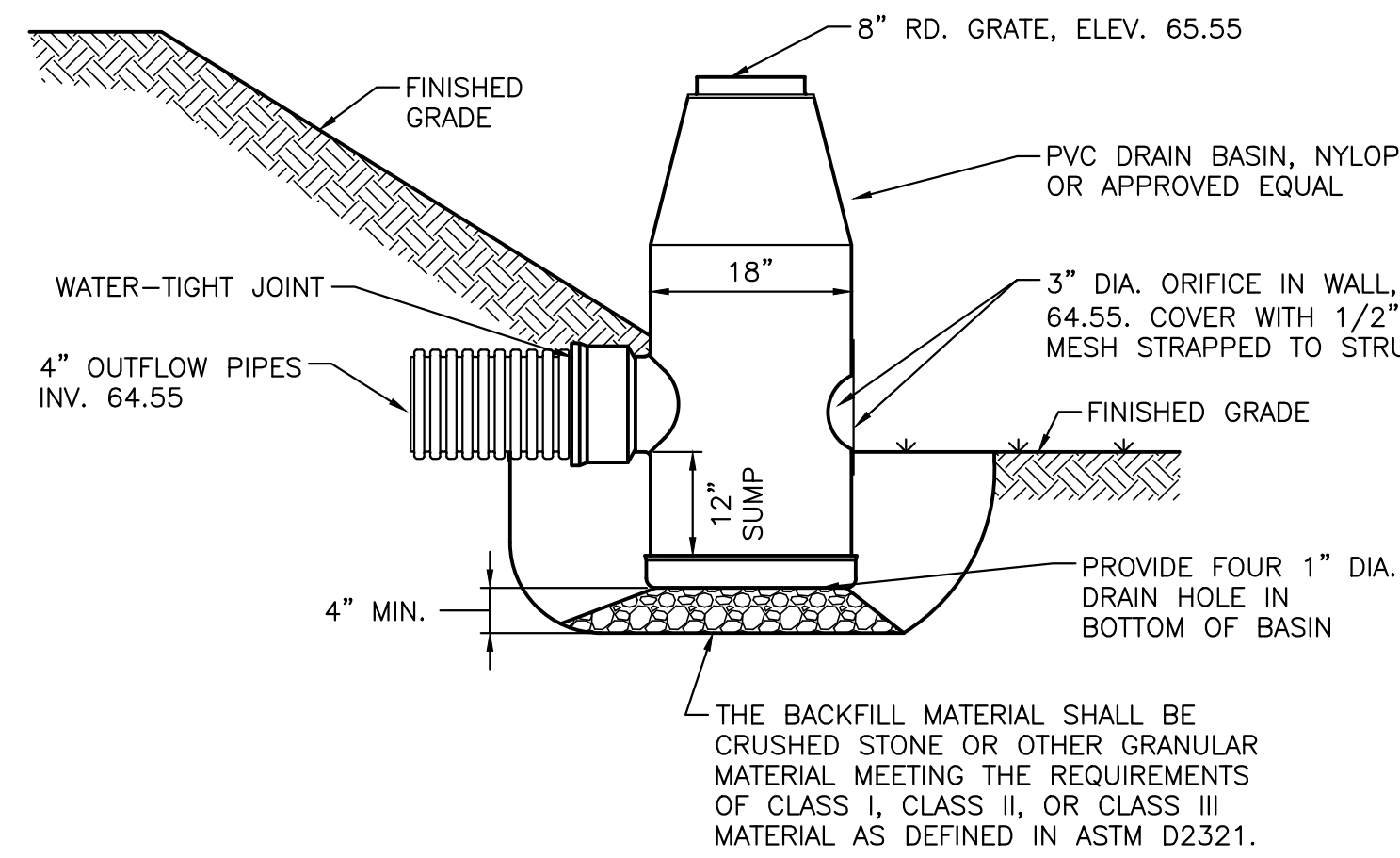
CLEANOUT DETAIL
 NOT TO SCALE



DUMPSTER PAD DETAIL
 NOT TO SCALE

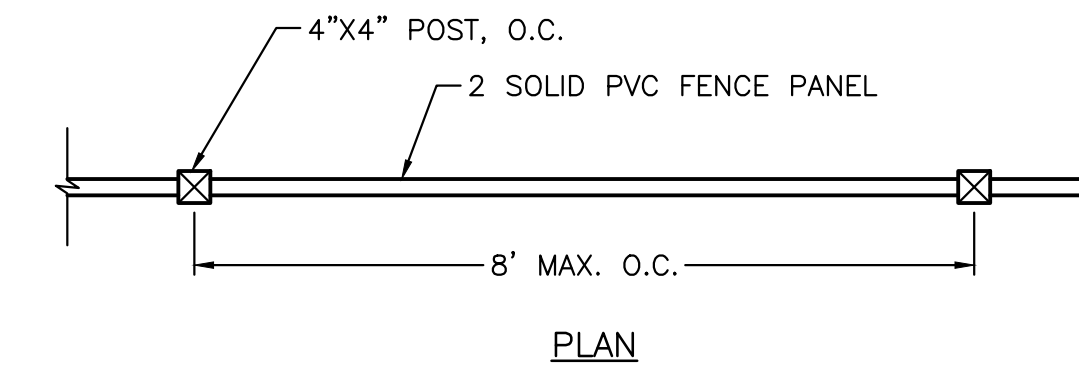


TRENCH DRAIN DETAIL
 NOT TO SCALE

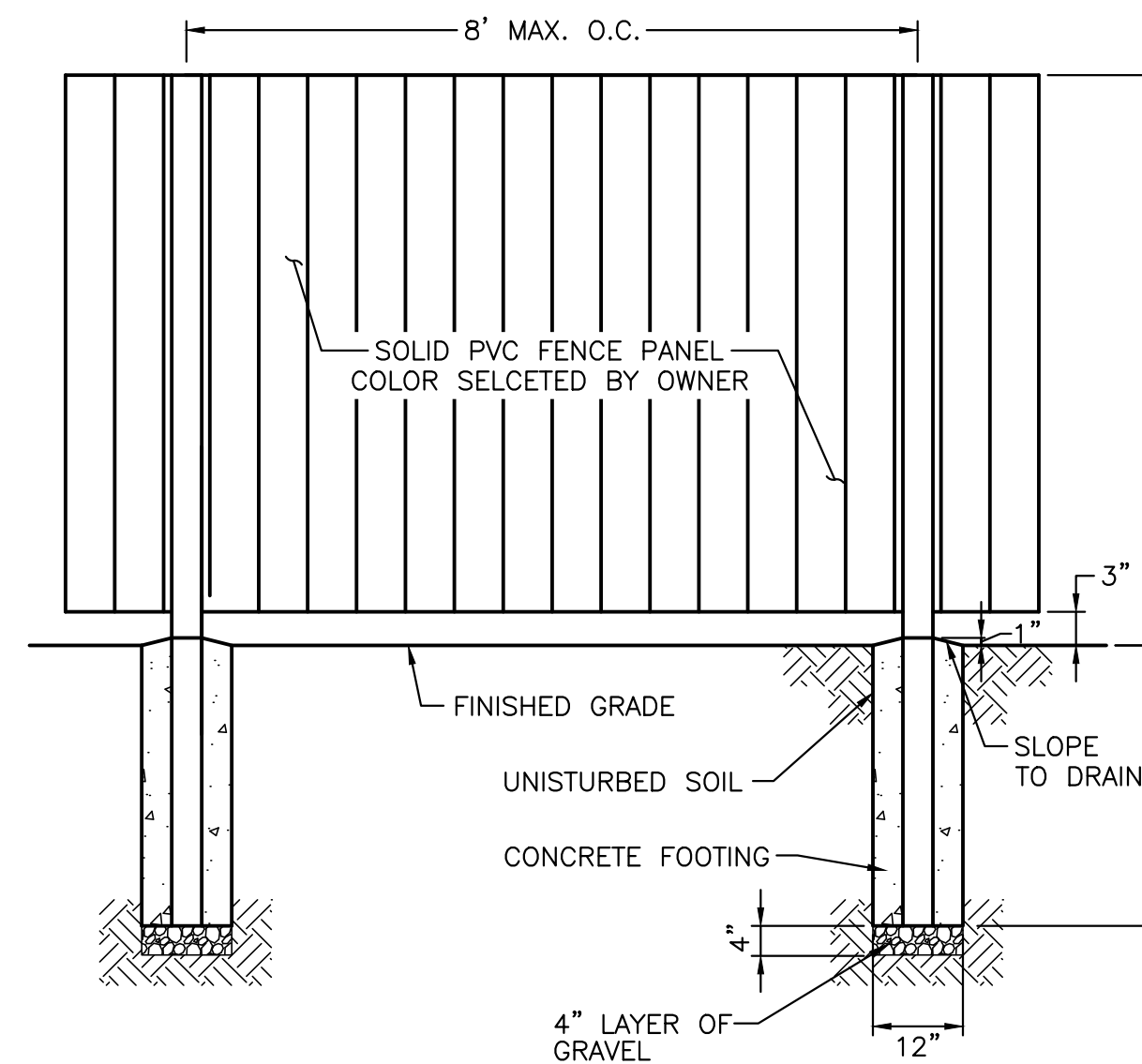


YARD DRAIN DETAIL
 NOT TO SCALE

1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE & PVC PIPE.



PLAN



ELEVATION

FENCE DETAIL
 NOT TO SCALE

- NOTES:
1. HARDWARE & FASTENERS SHALL BE GALVANIZED STEEL.

GENERAL NOTES

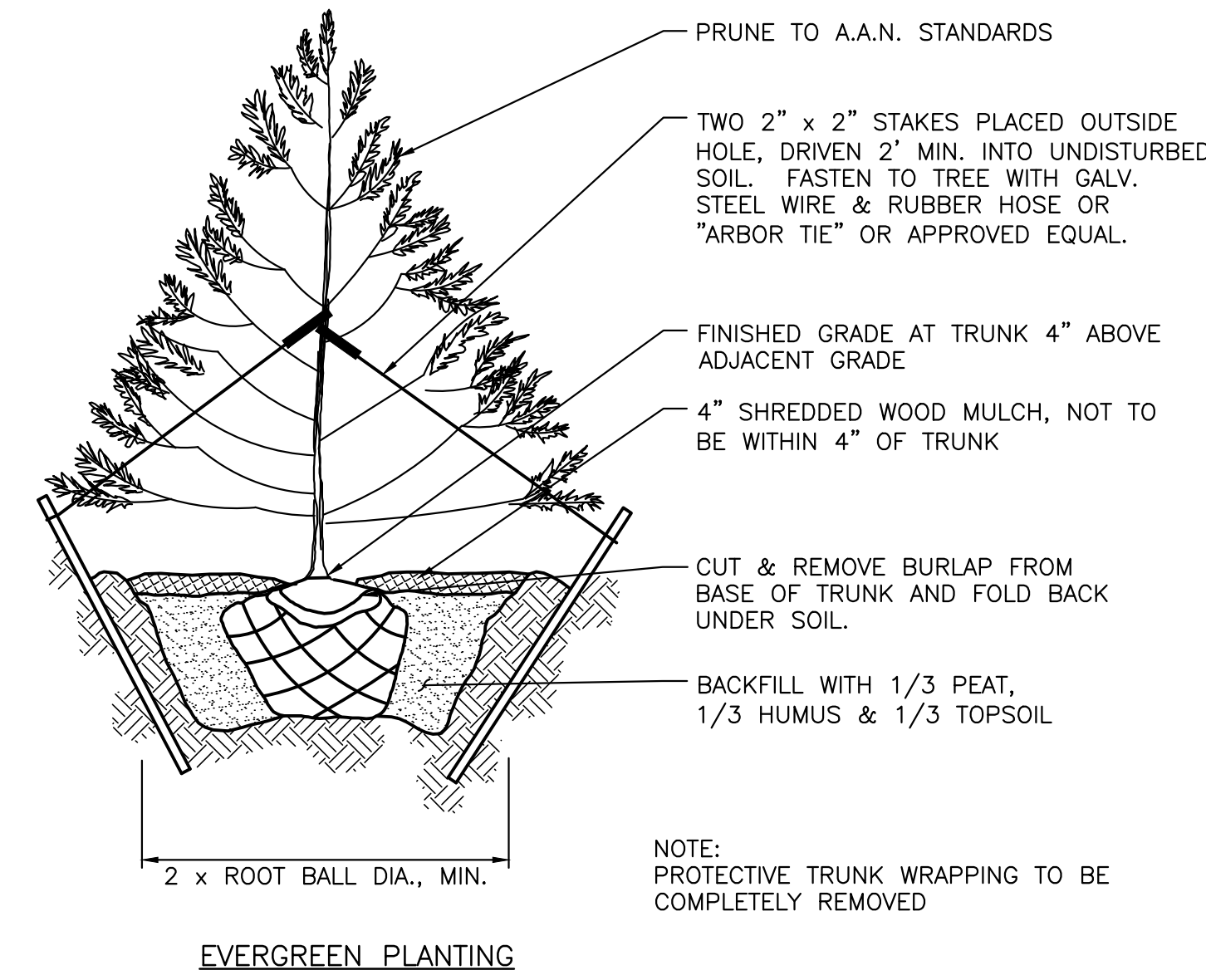
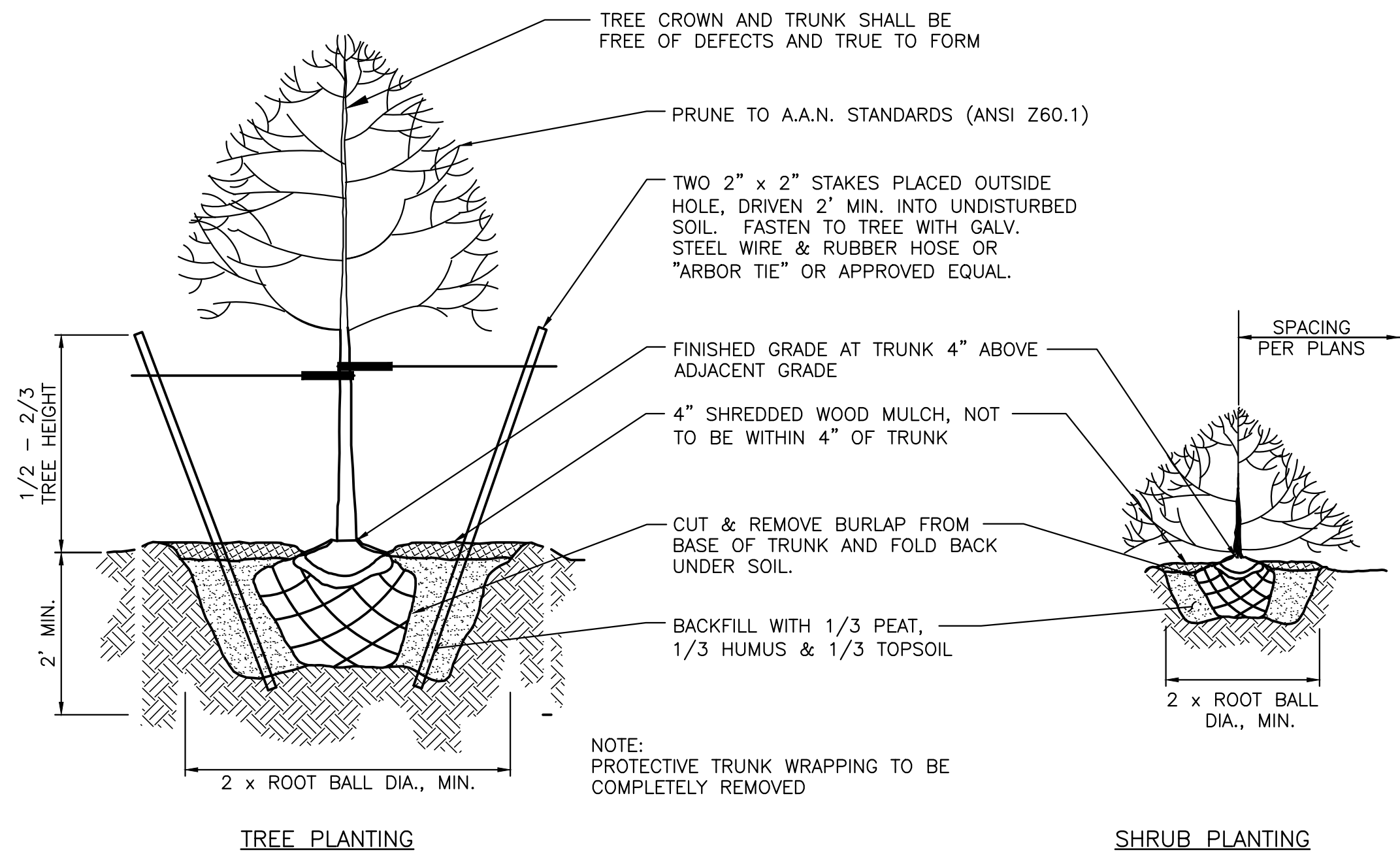
1. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

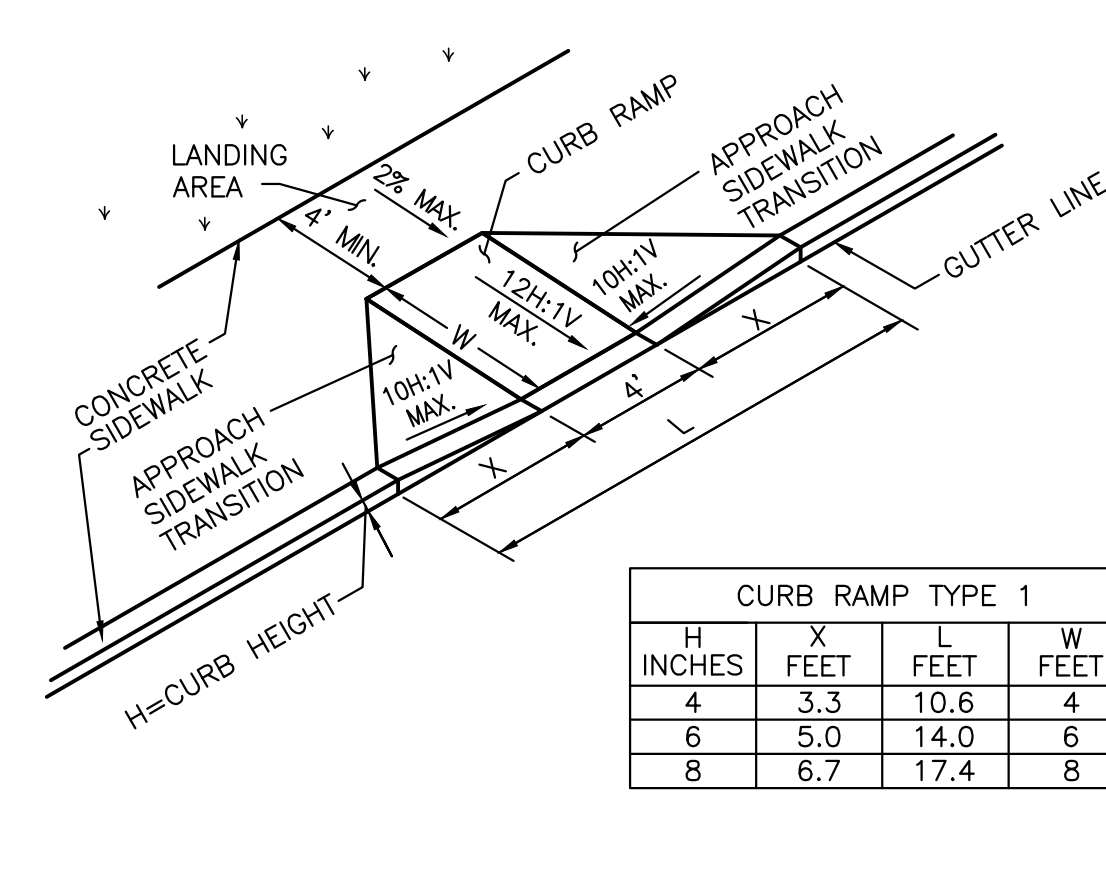
PROJECT: **Proposed Mikvah Conversion**
 LOCATION: **Block 644, Lot 2
 30 Commerce Drive
 Township of Cranford, Union County, NJ**

DRAWING TITLE: CONSTRUCTION DETAILS		DRAWING NO.: C-08	
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23	SHEET: 8 OF 9
FILE: CE23107-DETAILS	DRAWN BY: J.B.	SCALE: AS NOTED	

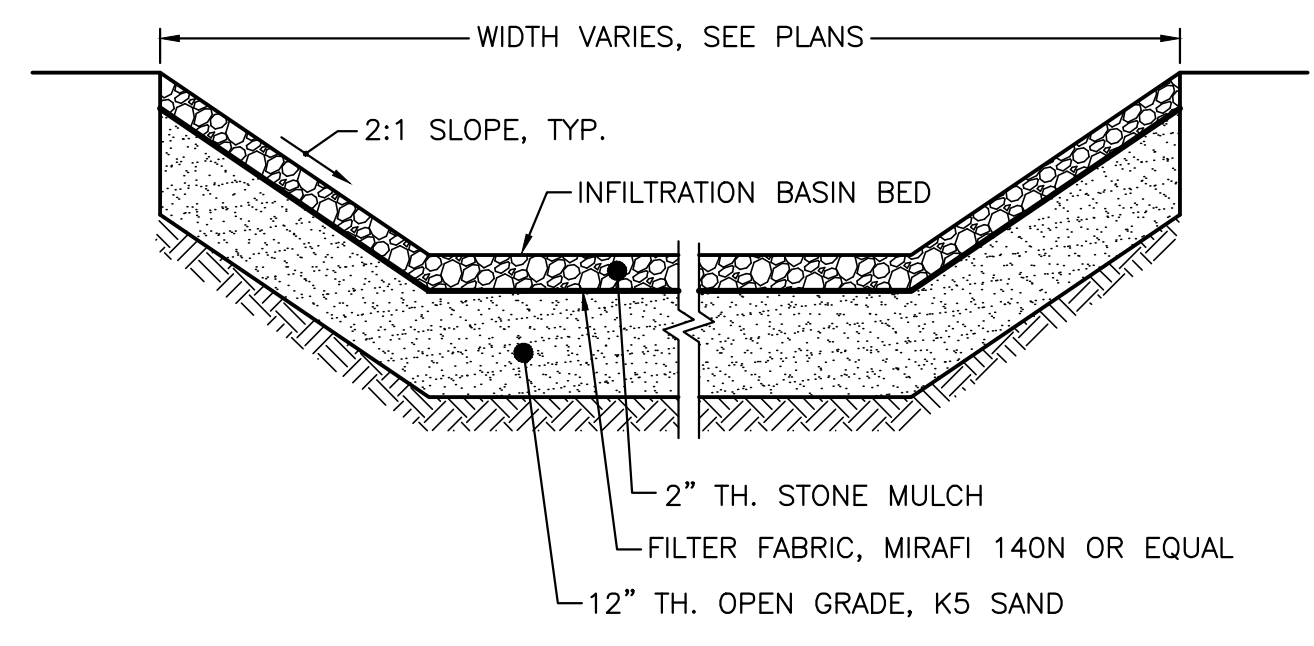
CHISVETTE ENGINEERING MARK CHISVETTE
 320 LENOX AVENUE
 POMPTON LAKES, NJ 07442
 PHONE: 973-897-7968
 FAX: 973-970-2010
 PROFESSIONAL ENGINEER
 NEW JERSEY LIC. #28164
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600



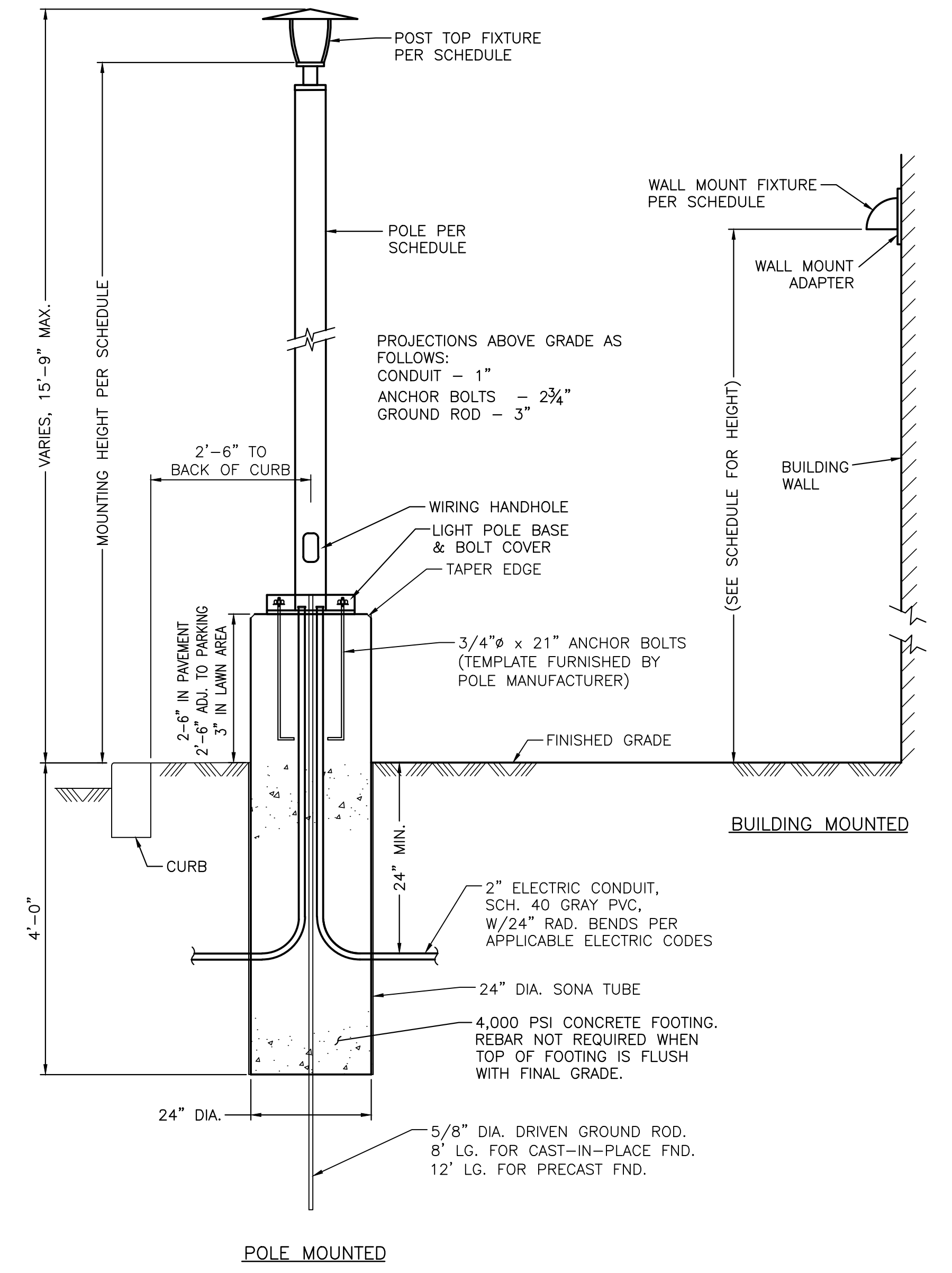
TREE, SHRUB & EVERGREEN PLANTING DETAIL
NOT TO SCALE



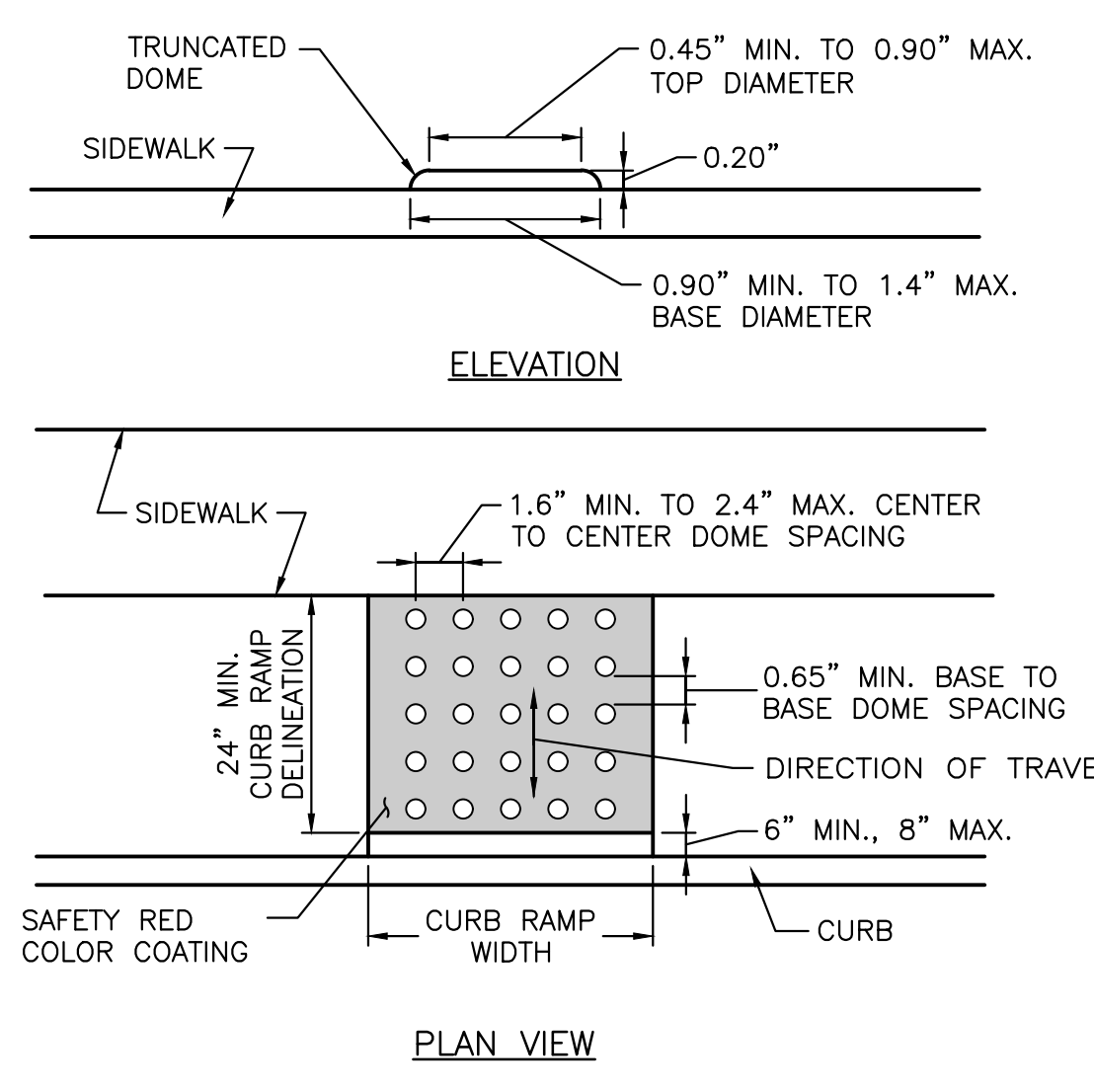
ADA CURB RAMP DETAILS
NOT TO SCALE



INFILTRATION BASIN DETAIL
NOT TO SCALE



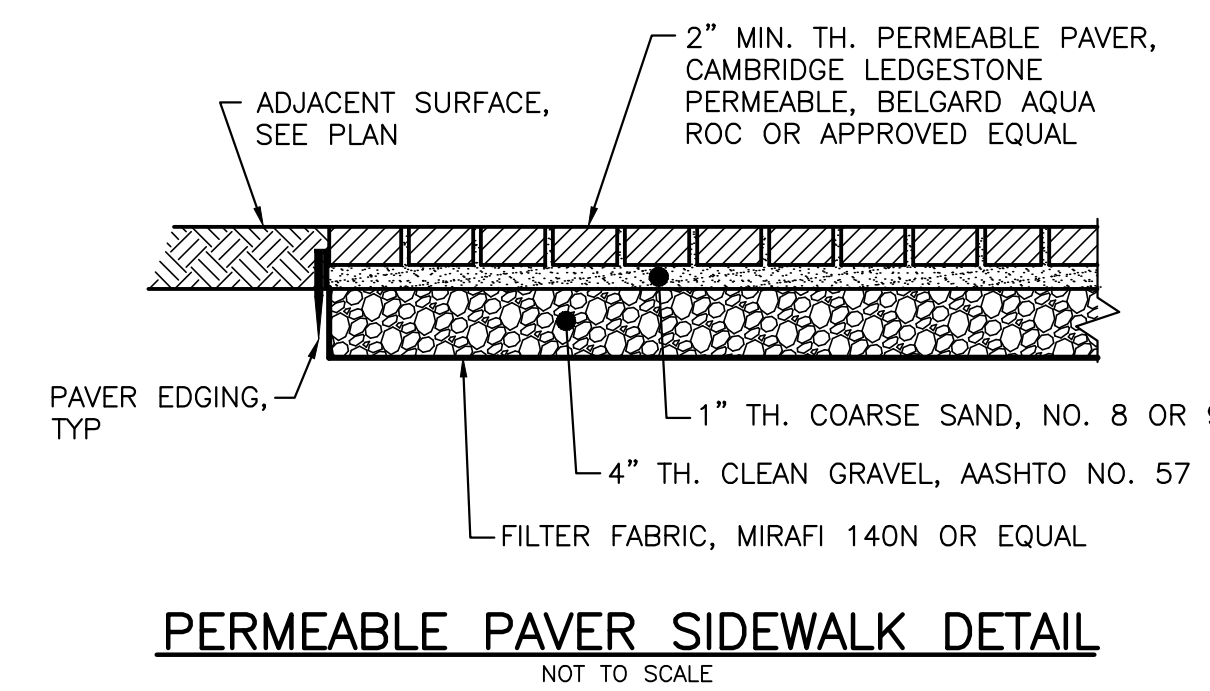
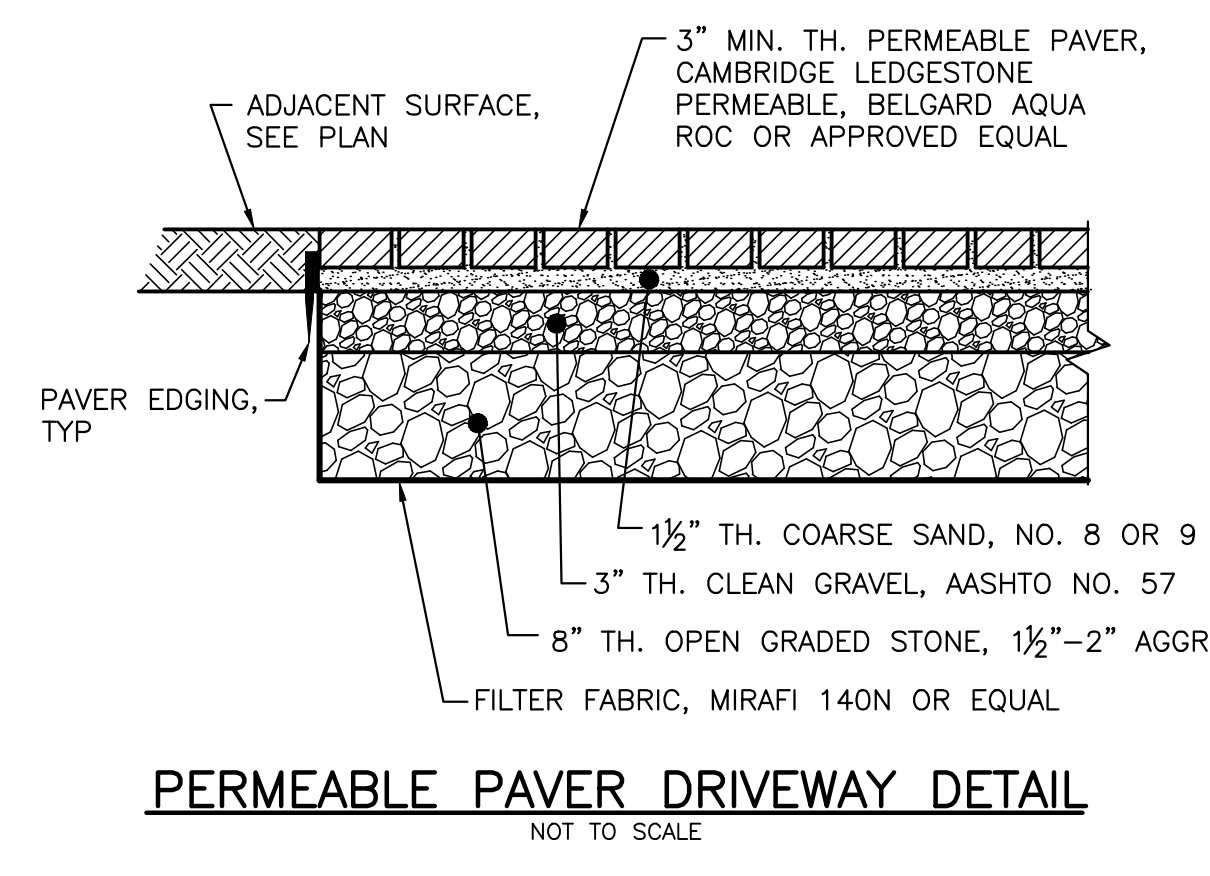
LIGHT POLE, & WALL MOUNT LIGHT DETAIL
NOT TO SCALE



NOTES:

- DETECTABLE WARNING SURFACE SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACES SUCH AS BRICK.
- CONTRACTOR SHALL PROVIDE A DETECTABLE WARNING SURFACE SUBMITTAL TO PROJECT ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE



GENERAL NOTES

- THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ENGINEER'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".

REV.	DATE	DESCRIPTION
2	9/29/23	REVISED PER TOWNSHIP T.R.C. COMMENTS
1	7/20/23	REVISED PER COMPLETION COMMENTS

PROJECT: **Proposed Mikvah Conversion**

LOCATION: **Block 644, Lot 2
30 Commerce Drive
Township of Cranford, Union County, NJ**

DRAWING TITLE: CONSTRUCTION DETAILS		DRAWING NO.: C-09	
PROJ. NO.: PN23107	DESIGNED BY: M.C.	DATE: 3/14/23	SHEET: 9 OF 9
FILE: CE23107-DETAILS	DRAWN BY: J.B.	SCALE: AS NOTED	

CHISVETTE ENGINEERING MARK CHISVETTE

320 LENOX AVENUE
POMPTON LAKES, NJ 07442
PHONE: 973-897-7968
FAX: 973-970-2010

Mark Chisvette 10/04/23
PROFESSIONAL ENGINEER
NEW JERSEY LIC. #28164

NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28246600

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