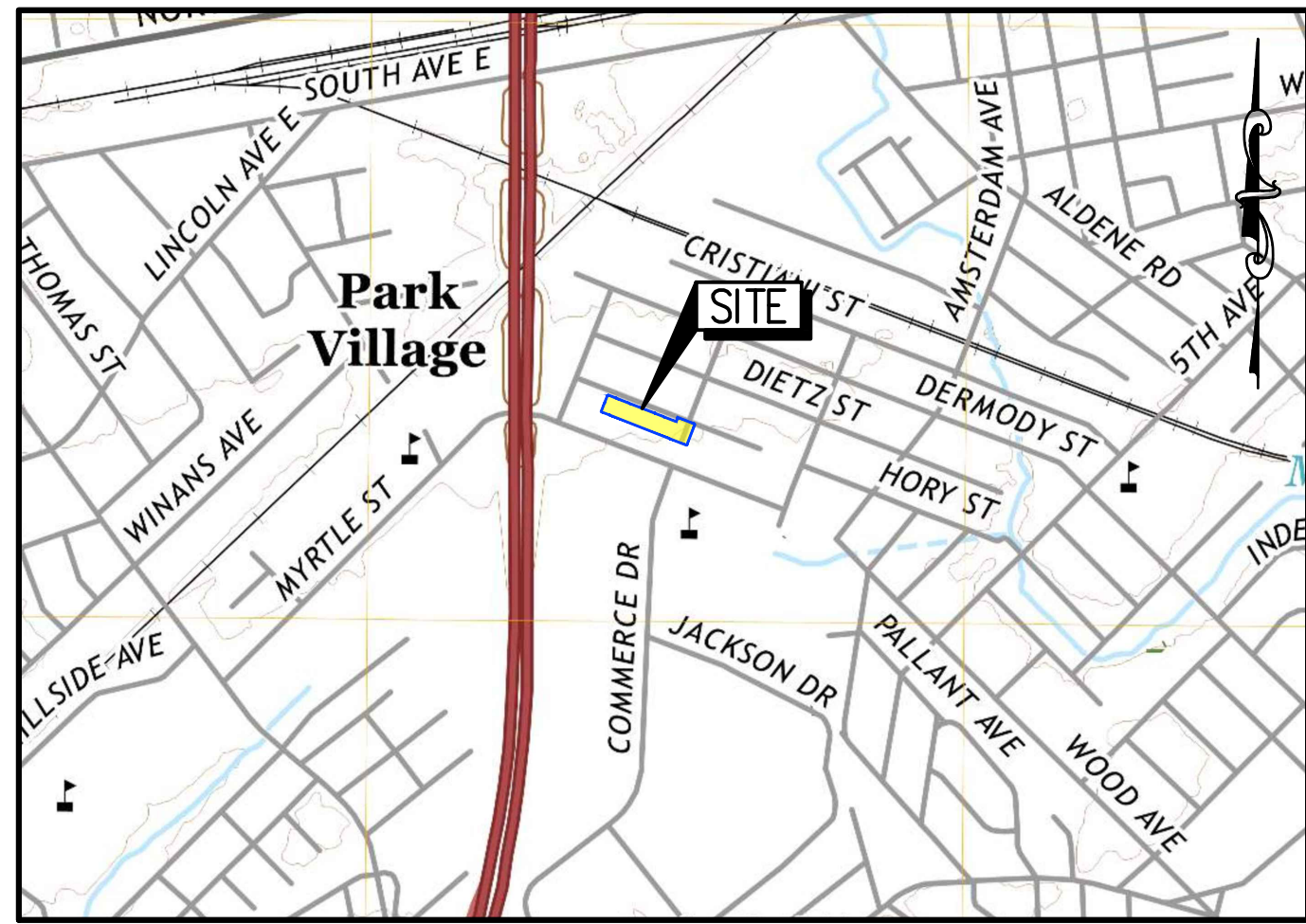


DRAWN BY: JASON T. SCULLO, P.E., P.P. CHECKED BY: JASON T. SCULLO, P.E., P.P. DATE: 04/27/2022



U.S.G.S. ROSELLE QUAD SHEET LOCATION MAP

SCALE: 1" = 1,000'

PROJECT NOTES

A. GENERAL SITE NOTES

- 1. TRACT FOR DEVELOPMENT CONSISTS OF BLOCK 573, LOTS 9, 10 & 12.01, SHOWN ON SHEET 141, OF THE OFFICIAL TAX MAP OF CRANFORD TOWNSHIP.
- 2. TRACT FOR DEVELOPMENT IS ZONED R3 (RESIDENTIAL) AS INDICATED ON THE OFFICIAL ZONING MAP OF CRANFORD TOWNSHIP.
- 3. TOTAL AREA OF TRACT = 1.20± ACRES OF LAND.
- 4. GRADING AROUND BUILDING AND FINISHED FLOOR ELEVATIONS ARE SUBJECT TO CHANGE UPON REVIEW OF CONSTRUCTION PLANS OF PROPOSED BUILDINGS UNITS.
- 5. ALL BARRIER FREE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST A.D.A. AND N.J.D.O.T. STANDARDS.
- 6. ANY VARIATIONS FROM THE PLANS MUST BE AUTHORIZED BY THE DESIGN ENGINEER AND APPROVED BY THE TOWNSHIP ENGINEER.
- 7. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL EACH PLAN HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- 8. CONSTRUCTION DETAILS/SHOP DRAWINGS UTILIZED BY THE CONTRACTOR SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER.
- 9. REFER TO COMPLETE SET OF PLANS FOR ADDITIONAL INFORMATION.
- 10. THIS SET OF DRAWINGS AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR THE USE ONLY BY THE PARTY FOR WHOM THE WORK IS CONTRACTED OR WHOM IT IS CERTIFIED. THIS SET OF DRAWINGS MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SCIULLO ENGINEERING SERVICES, LLC.
- 11. ANY DEMOLITION MATERIAL SHALL BE PROPERLY DISPOSED OF AND NO ON-SITE BURIAL IS PERMITTED.
- 12. THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN A STREET OPENING/ACCESS PERMIT FROM CRANFORD TOWNSHIP PRIOR TO THE START OF CONSTRUCTION.

B. SURVEY NOTES

- 1. BEARINGS REFER TO THE NEW JERSEY PLANE COORDINATE SYSTEM NAD83. VERTICAL DATUM REFERS TO NAVD88.
- 2. BOUNDARY, TOPOGRAPHICAL, AND EXISTING CONDITIONS INFORMATION TAKEN FROM PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, TAX LOTS 9 & 10, BLOCK 573, CRANFORD TOWNSHIP, UNION COUNTY, NJ" BY VARGO ASSOCIATES SURVEYING AND MAPPING, PROJECT NUMBER 20006, SHEET 1 OF 1, DATED 1/24/2020, AND UNREVISED.

C. CONTRACTOR/OWNER RESPONSIBILITY NOTES

- 1. THE CONTRACTOR/OWNER SHALL DESIGNATE A PERSON THAT IS KNOWLEDGEABLE OF CONSTRUCTION SAFETY STANDARDS AND IS EXPECTED TO BE AT THE CONSTRUCTION SITE ON A REGULAR BASIS. THIS PERSON SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION, DISCHARGE, AND MONITORING OF SAFETY STANDARDS AND PRACTICES AT THE SITE. THE CONTRACTOR/OWNER SHALL PROVIDE DESIGN ENGINEER WITH NAME, ADDRESS AND TELEPHONE NUMBER OF DESIGNER. IN LIEU OF THIS INFORMATION, THE REPRESENTATIVE PERSON FROM THE CONTRACTOR'S ORGANIZATION WHO SIGNED THE CONTRACT SHALL HEREBY BE RESPONSIBLE FOR THIS FUNCTION.
- 2. CONTRACTOR SHALL SCHEDULE ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT O.S.H.A. STANDARDS.
- 3. SITE CONTRACTOR IS TO VERIFY WITH DESIGN ENGINEER ON WHAT PERMITS AND APPROVALS ARE PENDING OR HAVE BEEN APPROVED.
- 4. SITE CONTRACTOR IS TO VERIFY AND MATCH HORIZONTAL CONTROL AND VERTICAL ELEVATIONS.
- 5. CONTRACTOR SHALL PERFORM ALL WORK IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND MANUFACTURERS' RECOMMENDATIONS AND STANDARDS.
- 6. ALL DIMENSIONS AND EXISTING CONDITIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- 7. UNDERGROUND UTILITIES LOCATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL VERIFY IN FIELD ALL CONDITIONS AS SHOWN ON THE PLANS AND SHALL BE RESPONSIBLE FOR FIELD MEASUREMENTS FOR ALL NEW CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS FOR ANY INFORMATION NOT SHOWN HERE.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, UNDERPINNING AND STRUCTURAL STABILITY DURING CONSTRUCTION.
- 10. THE CONTRACTOR SHALL CALL 1-800-272-1000 FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 11. IN THE EVENT CONDITIONS AT THE SITE ARE NOTICEABLY DIFFERENT (AT THE TIME OF CONSTRUCTION) FROM THE DOCUMENTS PROVIDED, THE CONTRACTOR AND/OR OWNER SHALL NOTIFY THE DESIGN ENGINEER.
- 12. THE PROPOSED SITE GRADING DEPICTED IN THESE PLANS IS INTENDED TO PROVIDE A GENERAL GUIDE FOR GRADING. THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR OWNER SHALL INSTRUCT THE CONCRETE CONTRACTOR TO TAKE CARE IN SETTING FORMS FOR PEDESTRIAN AREAS TO ENSURE THEY CONFORM TO THE NEW JERSEY BARRIER FREE SUBCODE.
- 13. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS OF APPROVAL IMPOSED BY ALL REGULATORY AGENCIES HAVING JURISDICTION AS IT RELATES TO THE CONSTRUCTION AND MAINTENANCE OF THE IMPROVEMENTS.
- 14. CONTRACTOR DAMAGE TO ANY EXISTING FEATURE SUCH AS, BUT NOT LIMITED TO, CONCRETE CURBS, CONCRETE WALKS, PAVING, LIGHTS, PLANTERS, SIGNS, UTILITIES OR BUILDINGS NOT SCHEDULED FOR REMOVAL SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR.
- 15. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (F) (OSHA COMPETENT PERSON).
- 16. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS OF APPROVAL IMPOSED BY ALL REGULATORY AGENCIES HAVING JURISDICTION AS IT RELATES TO THE CONSTRUCTION AND MAINTENANCE OF THE IMPROVEMENTS.
- 17. PRIOR TO COMMENCEMENT OF ANY SITE WORK, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND DESIGN ENGINEER TO SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER'S OFFICE.

D. ROADWAY & SIGNAGE NOTES

- 1. ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED.
- 2. ALL ROADWAY DESIGN AND CONSTRUCTION FOR MUNICIPAL ROADS SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY CRANFORD TOWNSHIP.
- 3. ALL TRAFFIC SIGN PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON



N.R.C.S. U.S. DEPARTMENT OF AGRICULTURE SOILS MAP

SCALE: 1" = 500'

- UNIFORM TRAFFIC CONTROL DEVICES, U.S. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS AS DETAILED AND APPROVED BY NJDOT.
- 4. THE APPLICANT SHALL NOTIFY THE TOWNSHIP ENGINEER A MINIMUM OF 24 HOURS PRIOR TO THE START OF ANY ROAD CONSTRUCTION.
- 5. MATERIAL PLACED AS FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, STONE (>6" DIAMETER), FROZEN SOIL AND OTHER OBJECTIONABLE MATERIALS.

E. UTILITY NOTES

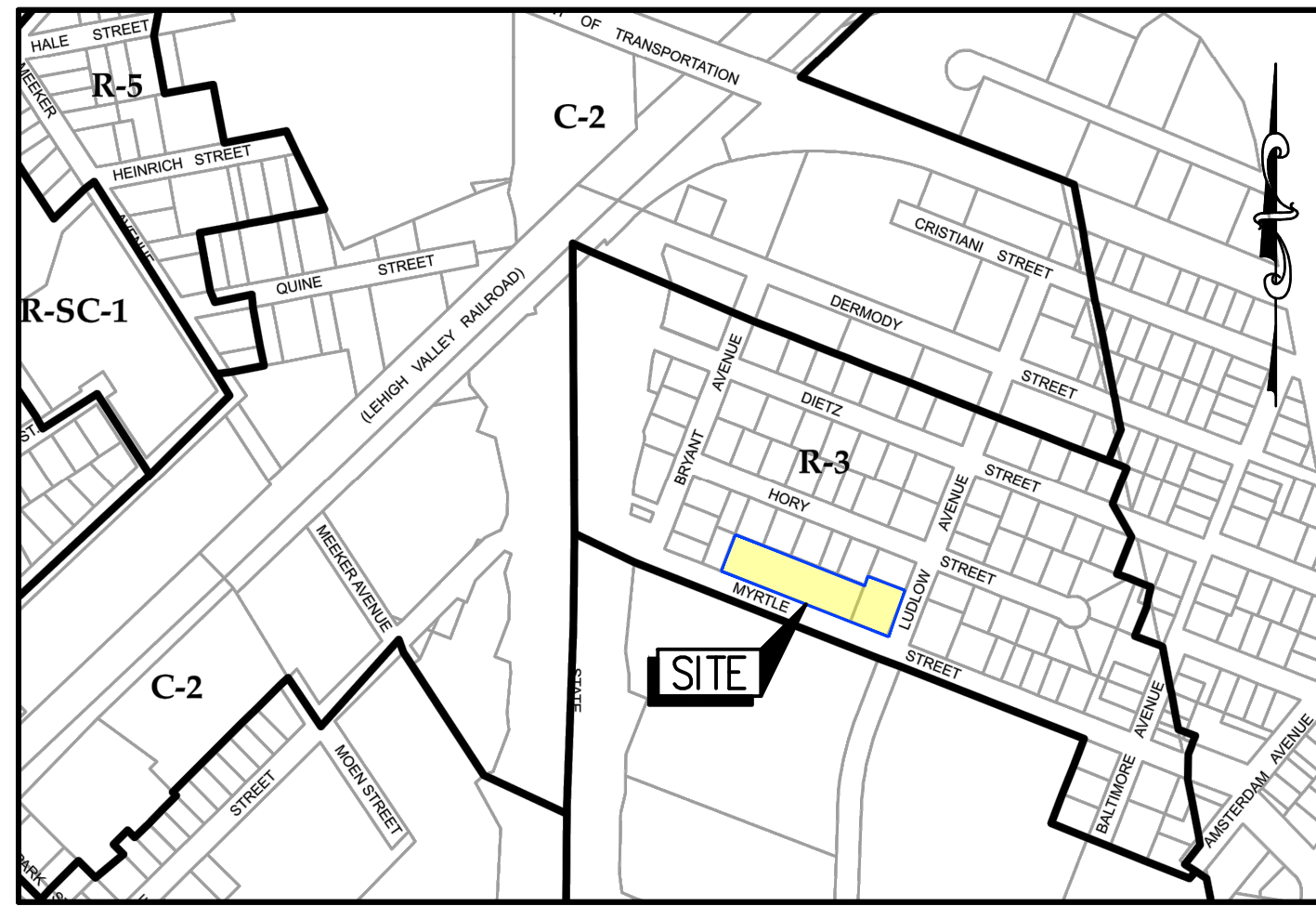
- 1. PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND WITHIN THE STREET RIGHT-OF-WAY.
- 2. STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY CRANFORD TOWNSHIP, NEW JERSEY RESIDENTIAL SITE IMPROVEMENT STANDARDS AND THE STATE OF NEW JERSEY STORMWATER MANAGEMENT RULES.
- 3. DRAINAGE INLET STRUCTURES AND ENDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NJDOT STANDARD DETAILS.
- 4. ALL INLETS TO HAVE BICYCLE SAFE GRATES.
- 5. T.C. DESIGNATIONS INDICATE TOP OF CURB ELEVATIONS, B.C. INDICATES BOTTOM OF CURB ELEVATIONS AND GUT. INDICATES CUTTER ELEVATIONS.
- 6. GAS, ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH REGULATIONS OF THE LOCAL UTILITY COMPANIES AND CRANFORD TOWNSHIP.
- 7. WHERE IT IS NECESSARY TO CONNECT TO EXISTING UTILITIES WITHIN EXISTING ROADWAYS, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAW CUTTING, TRENCHING, BACKFILL, COMPACTION AND PAVING SHALL BE IN ACCORDANCE WITH CRANFORD TOWNSHIP AND CAMDEN COUNTY SPECIFICATIONS, AS APPLICABLE.
- 8. BEDDING AND BACKFILL FOR THE REINFORCED CONCRETE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 9. PIPE LENGTHS AND GRADIENTS ARE CALCULATED TO THE CENTERLINE OF SANITARY AND STORM SEWER STRUCTURES. ACTUAL PIPE LENGTH MAY BE LESS THAN CALCULATED LENGTH, AND SHOULD BE COMPUTED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- 10. EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN IS FURNISHED BY THE UTILITY COMPANIES OR SURVEY PLAN BY SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF SCIULLO ENGINEERING SERVICES, LLC. IT IS THE RESPONSIBILITY OF OWNER AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

ZONING SCHEDULE

ORD. SECTION	R-3 RESIDENTIAL ZONING DISTRICT	PERMITTED OR REQUIRED	PROPOSED LOT 12.02	CONFORMITY STATUS	PROPOSED LOT 10	CONFORMITY STATUS	PROPOSED LOT 9	CONFORMITY STATUS
255-36A(1)	USE	COMMUNITY RESIDENCES FOR DEVELOPMENTALLY DISABLED FOR 1-6 RESIDENTS, EXCLUDING STAFF	VACANT	C	COMMUNITY RESIDENCES FOR DEVELOPMENTALLY DISABLED, 4 RESIDENTS	C	COMMUNITY RESIDENCES FOR DEVELOPMENTALLY DISABLED, 4 RESIDENTS	C
	MINIMUM LOT AREA	8,000 SF	10,000 SF	C	16,033 SF	C	26,467 SF	C
	MINIMUM LOT WIDTH	65'	100'	C	160.33'	C	239.67'	C
	MINIMUM LOT WIDTH (CORNER)	75'	N/A	N/A	N/A	N/A	239.67'	C
	MINIMUM FRONT YARD	25'/20' (SEE NOTE 1)	N/A	N/A	25' TO HOME 17' TO PORCH	DNC	25' TO HOME 17' TO PORCH	DNC
	MINIMUM REAR YARD	7.5' (SEE NOTE 2)	N/A	N/A	36'	C	36'	C
	MINIMUM SIDE YARD (ONE)	7'	N/A	C	13'	C	70'	C
	MINIMUM SIDE YARD (BOTH)	19.5'	N/A	C	81'	C	N/A (CORNER)	C
	MAXIMUM IMPERVIOUS COVERAGE	38%	0%	C	7,279 SF 45.4%	DNC (SEE NOTE 3)	7,800 SF 29.4%	C
	MAXIMUM BUILDING COVERAGE	28%	0%	C	16.7%	C	10.1%	C
	MAXIMUM BUILDING HEIGHT	2 1/2 STORIES/32'	N/A	C	1 STORY/32'	C	1 STORY/32'	C
	MAXIMUM ACCESS BUILDING	1 STORY/16'	N/A	N/A	NA	N/A	N/A	N/A

ZONING SCHEDULE NOTES:

- 1. WHERE PREVAILING SETBACKS WITHIN 200' OF LOT ARE LESS THAN 20', A MINIMUM 20' FRONT YARD IS REQUIRED.
- 2. MINIMUM REAR YARD IS 30% OF REQUIRED FRONT YARD FOR SETBACKS LESS THAN 100'.
- 3. TOTAL COMBINED COVERAGE BETWEEN LOTS 9 & 10 IS 14,610 SF OR 34.4%



OFFICIAL ZONING MAP OF CRANFORD TOWNSHIP

SCALE: N.T.S.

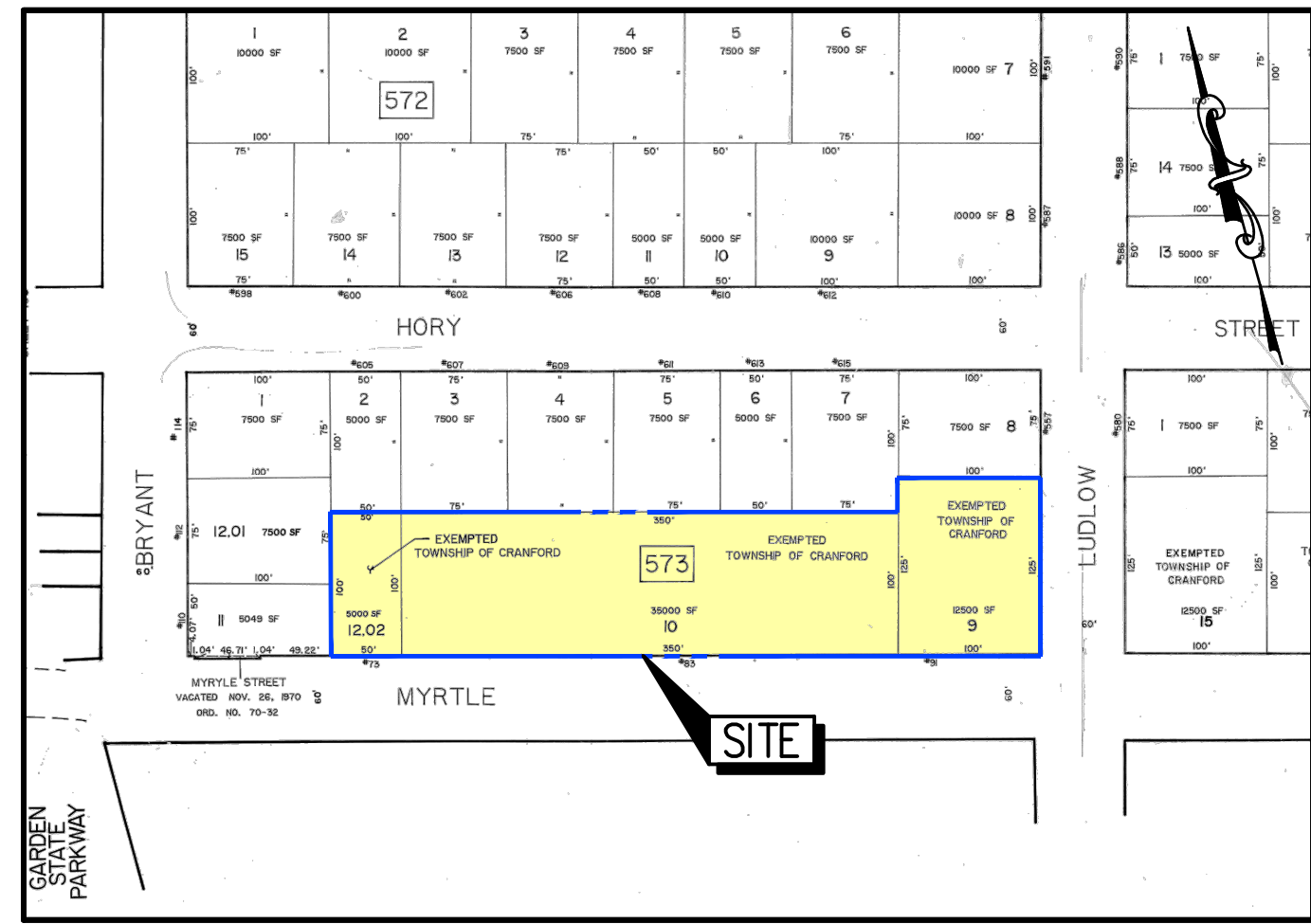
SOILS DATA

- BoB BOONTON-URBAN LAND-HALDON COMPLEX 0-8% SLOPES
- HaB HALDON-URBAN LAND-HASBROUCK COMPLEX 0-8% SLOPES
- UR URBAN LAND

SOILS DATA OBTAINED FROM NATURAL RESOURCES CONSERVATION SERVICES (NRCS) U.S. DEPARTMENT OF AGRICULTURE. ALL SOIL EROSION AND SEDIMENT CONTROL IMPLEMENTATION SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE SOMERSET UNION SOIL CONSERVATION DISTRICT SOIL.

UTILITIES

- COMCAST C/O CORPORATION TRUST CO 820 BEAR TAVERN ROAD WEST TRENTON, NJ 08638
- VERIZON EXECUTIVE OFFICES 1 VERIZON WAY ATT: CORPORATE SECRETARY BASKING RIDGE, NJ 07920
- PSE&G MANAGER- CORPORATE PROPERTIES 80 PARK PLAZA, 16B NEWARK, NJ 07101
- NEW JERSEY AMERICAN WATER, INC. ATT: GIS SUPERVISOR 1025 LAUREL OAK ROAD WEST TRENTON, NJ 08043
- ELIZABETHTOWN GAS COMPANY ENGINEERING DEPARTMENT 520 GREEN LANE UNION, NJ 07083
- RAHWAY VALLEY SEWAGE AUTHORITY ATT: CHIEF ENGINEER 1050 EAST HAZELWOOD AVENUE RAHWAY, NJ 07065



OFFICIAL TAX MAP OF CRANFORD TOWNSHIP (SHEET 141)

CRANFORD TOWNSHIP CERTIFIED OWNER'S LIST WITHIN 200'

BLOCK	LOT	QUALIFIER	PROPERTY LOCATION	OWNER
572	8		587 LUDLOW AVE	CERELLO, VINCENT J 587 LUDLOW AVENUE CRANFORD, NJ 07016
874	15		101 MYRTLE ST	TOWNSHIP OF CRANFORD 8 SPRINGFIELD AVENUE CRANFORD, NJ 07016
571	14		588 LUDLOW AVE	GAUB, KEITH AND NOEL, SPIRITO 588 LUDLOW AVENUE CRANFORD, NJ 07016
572	10		610 HORY ST	LAFFERRARA, GINA M 610 HORY ST CRANFORD, NJ 07016
573	6		613 HORY ST	BURKHARDT, MARK & FADE, ALYSSA L 613 HORY ST CRANFORD, NJ 07016
635	2.02		90 MYRTLE ST	QBS ASSOC, INC 125 MOEN AVE CRANFORD, NJ 07016
573	10		83 MYRTLE ST	TOWNSHIP OF CRANFORD 8 SPRINGFIELD AVE CRANFORD, NJ 07016
571	13		586 LUDLOW AVE	KASH, THOMAS GERARD & KRISTINA 586 LUDLOW AVE CRANFORD, NJ 07940
573	8		577 LUDLOW AVE	MANCHERY, VARGHESE & JESSY MOL 577 LUDLOW AVE CRANFORD, NJ 07016
572	9		612 HORY ST	PRICE, JOHN K & DIANE PINTO O 612 HORY ST CRANFORD, NJ 07016
573	7		615 HORY ST	RAMOS, DIEGO 615 HORY ST CRANFORD, NJ 07016
573	5		611 HORY ST	ROSHMANHINO, MIGUEL & PINTO, SANDY 611 HORY ST CRANFORD, NJ 07016
574	14		105 MYRTLE ST	TOWNSHIP OF CRANFORD 8 SPRINGFIELD AVE CRANFORD, NJ 07016
637	1		1-3 COMMERCE DRIVE	BNE CRANFORD LLC 1000 AIRPORT RD STE 205 LAKEWOOD, NJ 08701
574	1		580 LUDLOW AVE	LAFFERRARA, REGINA 580 LUDLOW AVE CRANFORD, NJ 07016
574	2		701 HORY ST	CEUS, ODANIA 701 HORY ST CRANFORD, NJ 07016
572	13		602 HORY ST	TORRES, ALMA 602 HORY ST CRANFORD, NJ 07016
573	1		114 BRYANT AVE	AQUIRRE, AXIA 114 BRYANT AVE CRANFORD, NJ 07016
573	9		91 MYRTLE ST	TOWNSHIP OF CRANFORD 8 SPRINGFIELD AVE CRANFORD, NJ 07016
572	11		608 HORY ST	ROLDAN, RONALD & CLARITA 608 HORY ST CRANFORD, NJ 07016
572	15		598 HORY ST	VOLPE, RYAN 598 HORY ST CRANFORD, NJ 07016
572	12		606 HORY ST	SEXTON, KATHERINE 606 HORY ST CRANFORD, NJ 07016
573	4		609 HORY ST	MANCHENO, VICTOR & JEANNE D 609 HORY ST CRANFORD, NJ 07016
573	11		110 BRYANT AVE	LEE BANGCHEN/YONG-QUI ET AL 110 BRYANT AVE CRANFORD, NJ 07016
573	3		607 HORY ST	MAYER, MARK & MARIE 607 HORY ST CRANFORD, NJ 07016
573	12.02		73 MYRTLE ST	TOWNSHIP OF CRANFORD 8 SPRINGFIELD AVE CRANFORD, NJ 07016
573	12.01		112 BRYANT AVE	ERDODY, JOSEPH 112 BRYANT AVE CRANFORD, NJ 07016
573	2		605 HORY ST	EZEWEPUTA, GODWIN I 605 HORY ST CRANFORD, NJ 07016
572	14		600 HORY ST	ONOFRI, LEWIS & ANITA 600 HORY ST CRANFORD, NJ 07016
560	1		BRYANT AVE	TOWNSHIP OF CRANFORD 8 SPRINGFIELD AVE CRANFORD, NJ 07016
561	1.01		115 BRYANT AVE	CURTIS, CHAZ & NATASHA 115 BRYANT AVE CRANFORD, NJ 07016

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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JASON T. SCIULLO, P.E., P.P.
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PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 35100026400

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www.sciulloengineering.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24628290700

83 MYRTLE STREET SUPPORTIVE HOUSING
BLOCK 573, LOTS 9, 10 & 12.02
CRANFORD TOWNSHIP, UNION COUNTY, NEW JERSEY

INFORMATION SHEET

756 HADDON AVENUE
COLLINGSWOOD, NEW JERSEY 08108

DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.
11/30/2022	2	TOWNSHIP COMPLETENESS REVIEW	JTS	
5/9/2022	1	INITIAL SUBMISSION	JTS	

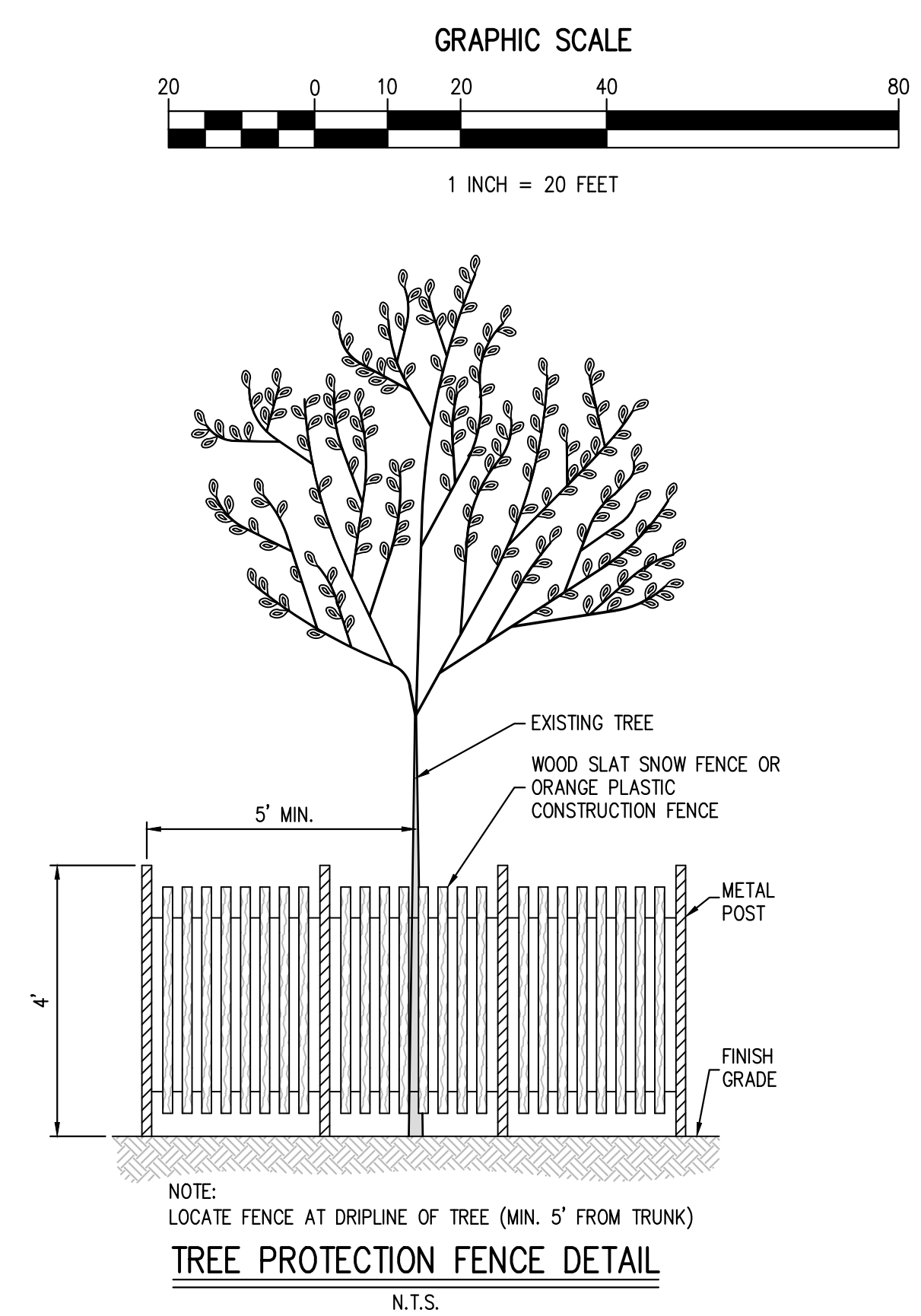
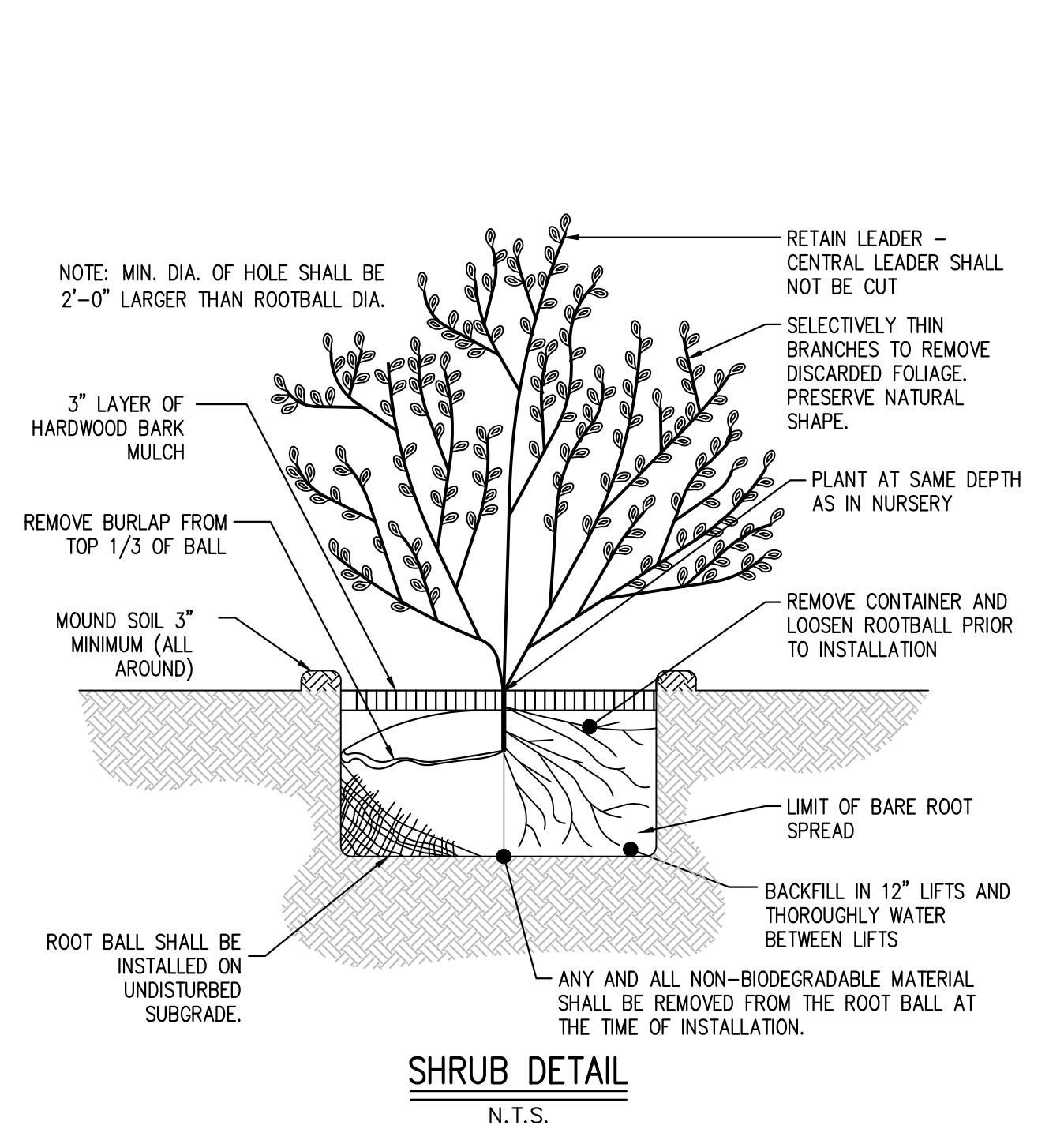
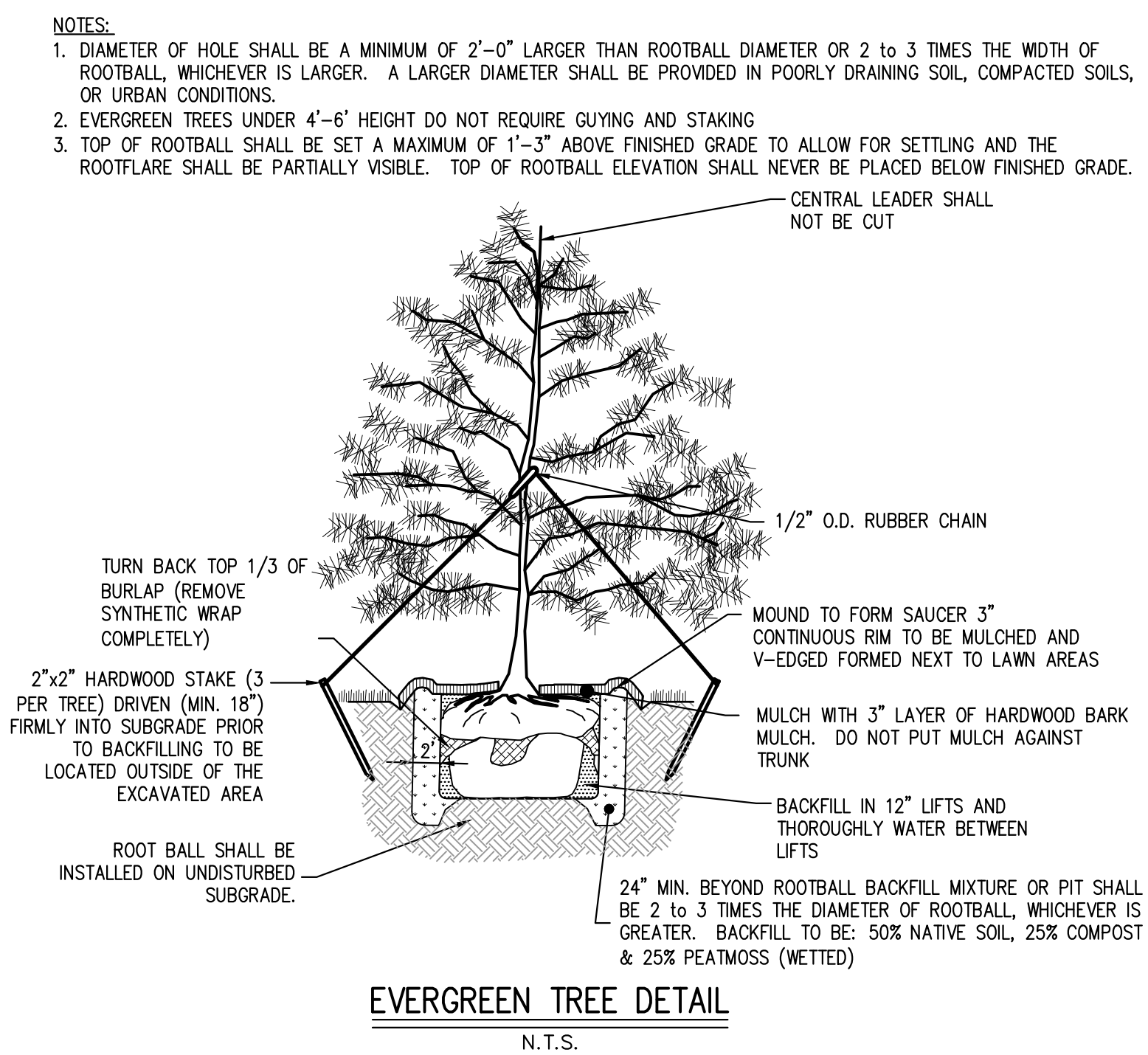
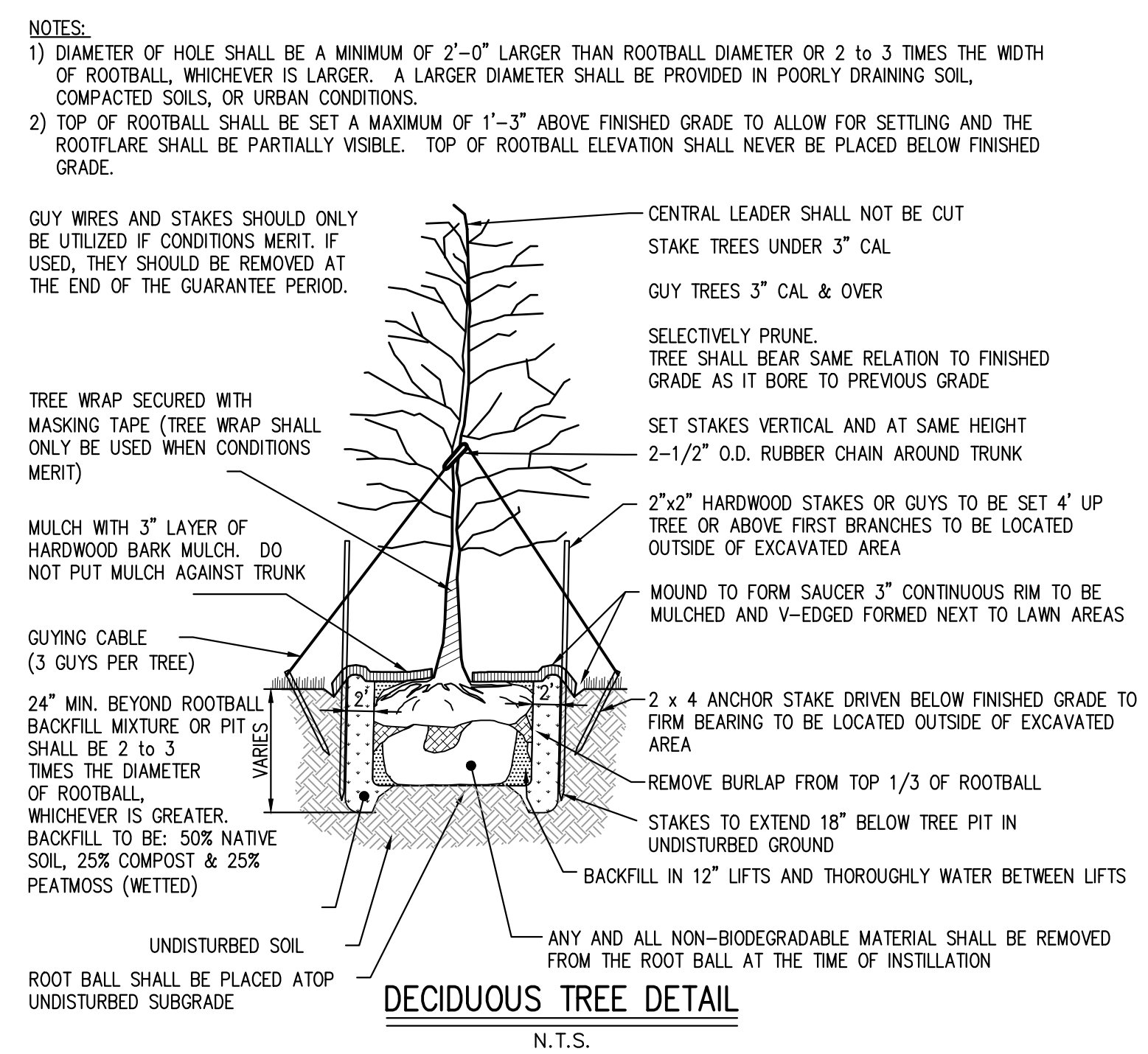
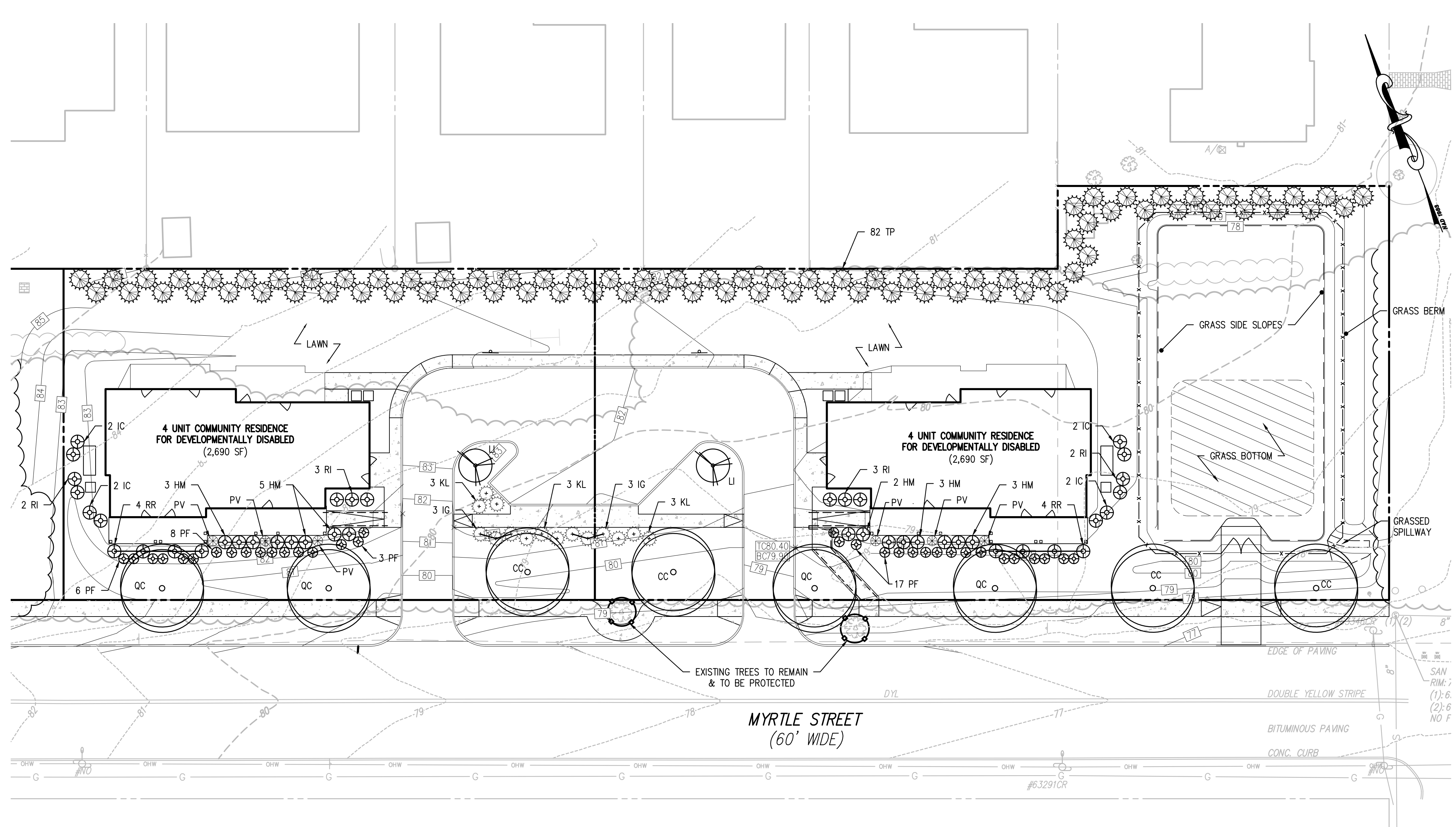
PROJECT NO.	K&A	001.01
AS SHOWN	SHEET	2 OF 10

C0002

CREATED ON 02/28/2022, LAST MODIFIED ON 02/24/2022

LANDSCAPE SCHEDULE

SHADE TREES						
SYMBOL	LABEL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
	CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2"-3" CAL. 10'-12' HT.	B & B	4
	QC	QUERCUS COCCINEA	SCARLET OAK	2 1/2"-3" CAL. 10'-12' HT.	B & B	4
						SUB TOTAL
						8
ORNAMENTAL TREE						
	LI	LAGERSTROEMIA	CREPE MYRTLE	8' HT.	B & B	2
						SUB TOTAL
						2
EVERGREEN TREES						
	TP	THUJA PLICATA	GREEN GIANT ARBORVITAE	6'-8' HT.	B & B	82
						SUB TOTAL
						82
SHRUBS						
	HM	HYDRANGEA MACROPHYLLA	BIG LEAF HYDRANGEA	3'-6" HT.	NO. 2 CAN	16
	IC	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	24"-36" HT.	NO. 2 CAN	8
	PF	POTENTILLA FRUTICOSA BELLA SOL	SHRUBBY CINQUEFOIL	18"-24" HT.	NO. 1 CAN	34
	RI	AZALEA INDICA	RHODODENDRON INDICUM	24"-36" HT.	NO. 2 CAN	10
	RR	ROSA RUBIGINOSA	SWEET BRIAR ROSE	24"-36" HT.	NO. 2 CAN	8
						SUB TOTAL
						76
EVERGREEN SHRUBS						
	IG	ILEX GLABRA	INKBERRY HOLLY	24"-30" HT.	NO. 2 CAN	6
	KL	KALIMA LATIFOLA	MOUNTAIN LAUREL	24"-30" HT.	NO. 2 CAN	9
						SUB TOTAL
						15
ORNAMENTAL GRASS						
	PV	PANCIUM VIRGATUM	SWITCHGRASS			6
						SUB TOTAL
						6



811
Know what's below.
Call before you dig.

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS THE RESPONSIBILITY OF THE CLIENT. SCIUULLO ENGINEERING SERVICES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CALL 811-800-272-1000 FOR THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION PAPERS IN THE TITLEBLOCK.

ALL DOCUMENTS PREPARED BY SCIUULLO ENGINEERING SERVICES, LLC ARE INSTRUMENTS OF SERVICE. ANY REUSE OR MODIFICATION OF ANY PART OF THESE PLANS WITHOUT WRITTEN PERMISSION OF SCIUULLO ENGINEERING SERVICES, LLC IS PROHIBITED. SCIUULLO ENGINEERING SERVICES, LLC SHALL NOT BE LIABLE FOR ANY DAMAGE, LOSS, OR INJURY ARISING OUT OF OR RESULTING FROM THE USE OF THESE PLANS.

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JASON T. SCIUULLO, P.E., P.P.

NU CERTIFICATE OF AUTHORIZATION NO. 24620290700

83 MYRTLE STREET SUPPORTIVE HOUSING

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LANDSCAPE PLAN

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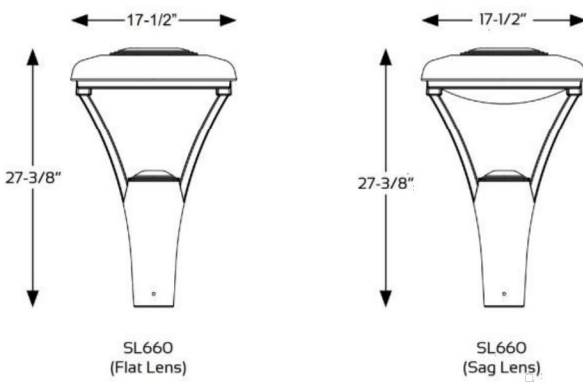
DATE	ISSUE NO.	BY	APPR.
11/30/2022	2	JTS	JTS
5/9/2022	1	JTS	JTS

PROJECT NO. K&A 001.01
SCALE 1" = 20'
SHEET 6 OF 10

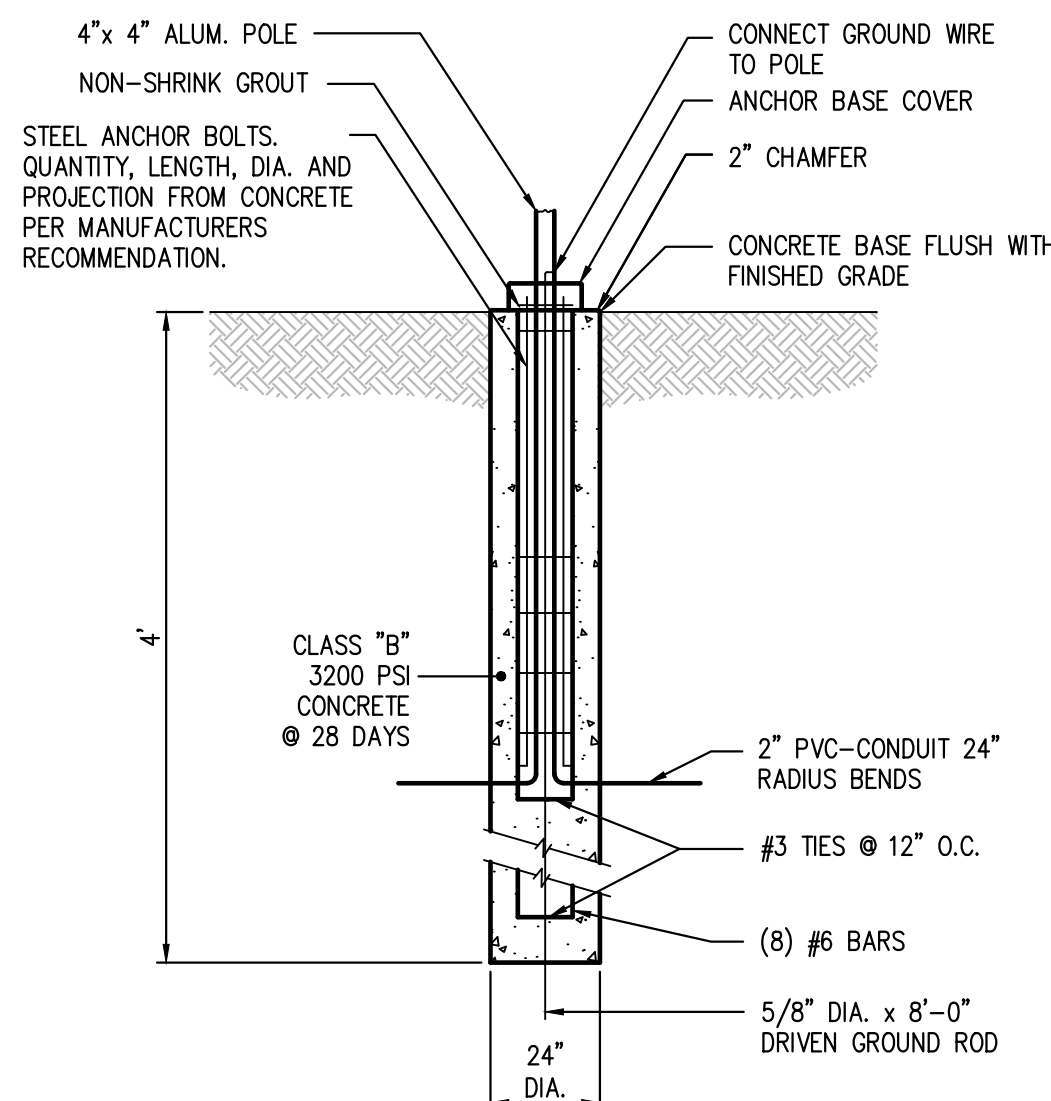
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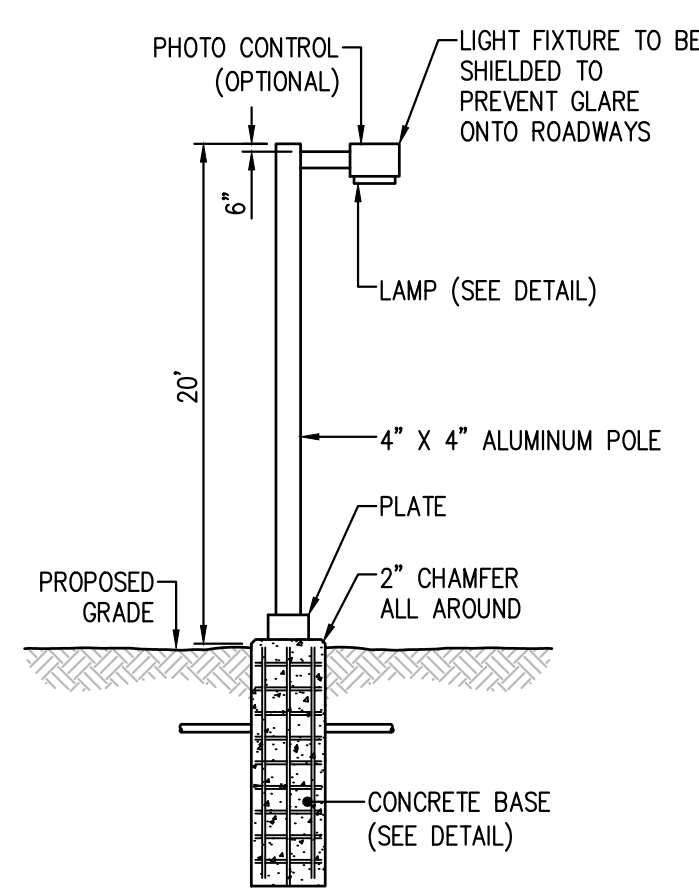
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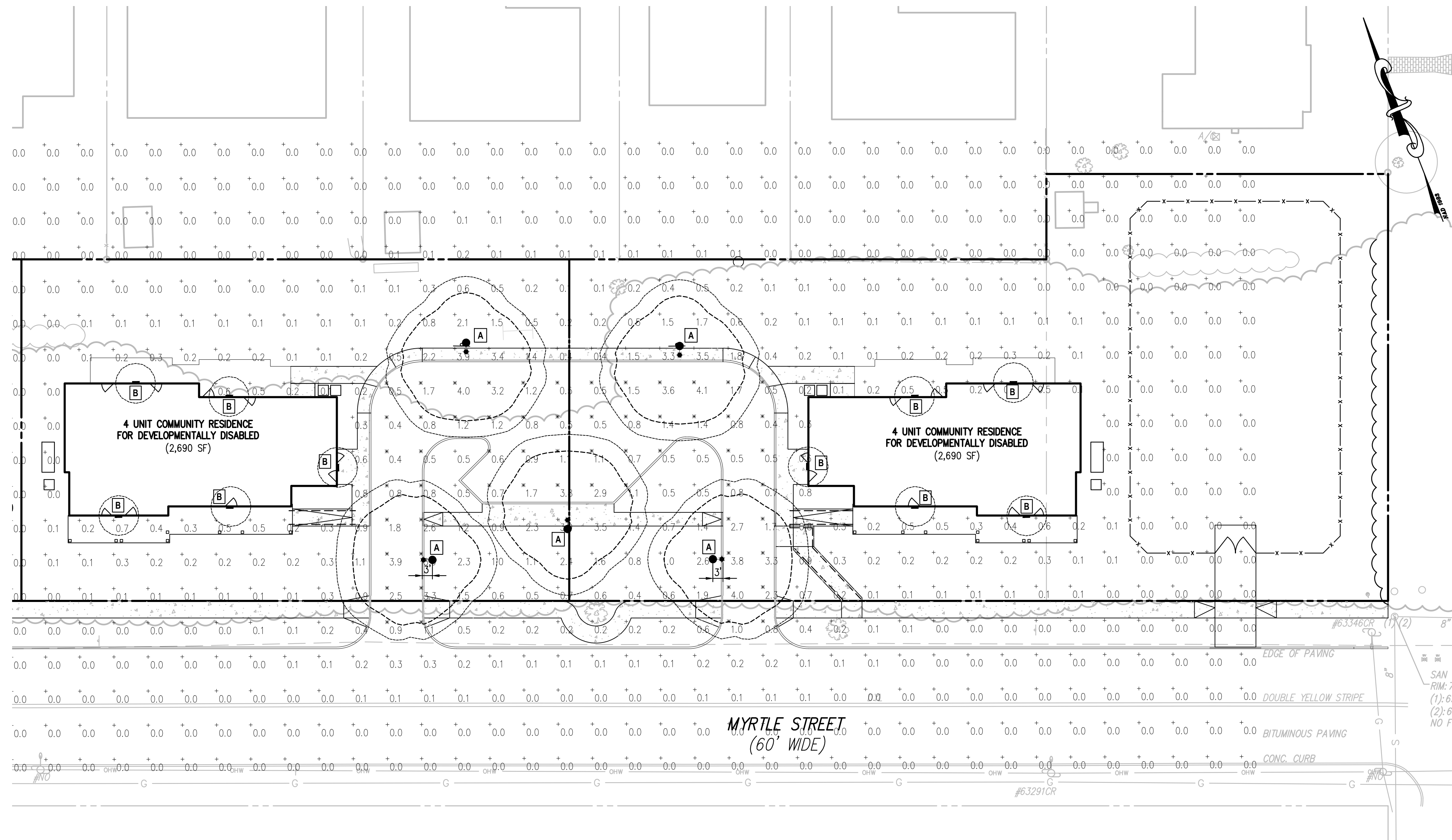
LIGHT B DETAIL
N.T.S.



RAISED LIGHT POLE BASE DETAIL
N.T.S.

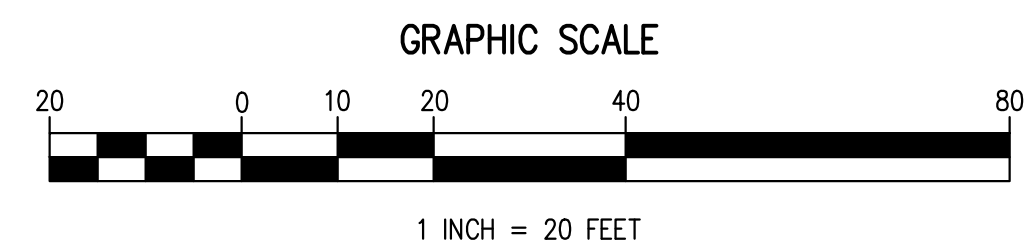


LIGHT STANCHION DETAIL
N.T.S.



LIGHTING SCHEDULE

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	NUMBER OF LAMPS
●	A	5	STERNBERG LIGHTING	SL660-12L27T4-MDL014-SV1	MEDIUM SIZE POST TOP MOUNT FIXTURE, T4 SOFT VUE 1 FLAT	1
■	B	10	HUBBELL	P560110-020	WALL MOUNTED	1



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ALL DOCUMENTS PREPARED BY SCIULLO ENGINEERING SERVICES, LLC ARE INSTRUMENTS OF SERVICE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. ANY REUSE WITHOUT WRITTEN PERMISSION OF SCIULLO ENGINEERING SERVICES, LLC IS PROHIBITED. SCIULLO ENGINEERING SERVICES, LLC AND ITS EMPLOYEES SHALL NOT BE LIABLE FOR ANY DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF OR RESULTING FROM THE USE OF THESE PLANS.

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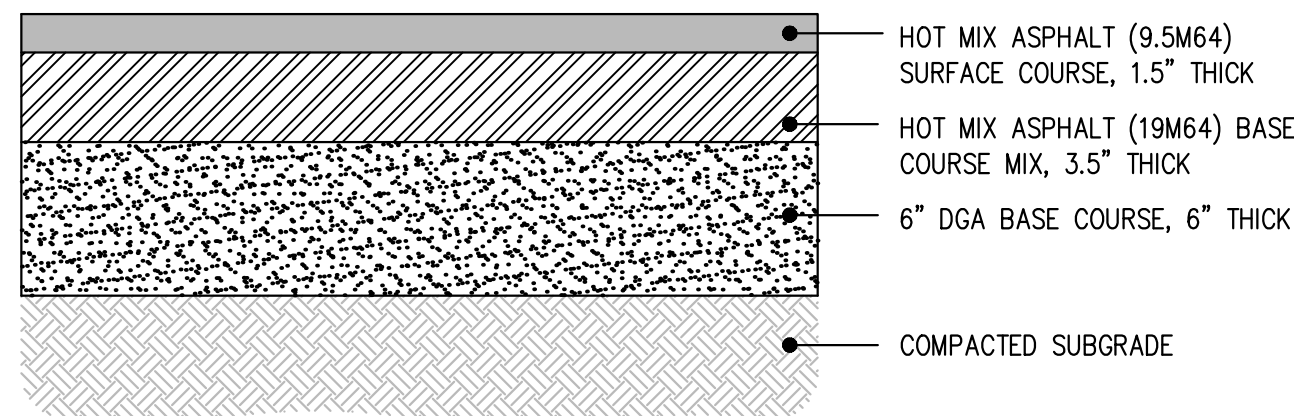
83 MYRTLE STREET SUPPORTIVE HOUSING
BLOCK 573, LOTS 9, 10 & 12/02
CRANFORD TOWNSHIP, UNION COUNTY, NEW JERSEY

LIGHTING PLAN

756 HADDON AVENUE
COLLINGSWOOD, NEW JERSEY 08108

DATE	ISSUE NO.	BY	APPR.
5/9/2022	1	JTS	JTS
7/30/2022	2	JTS	JTS
3/24/2023	3	JTS	JTS

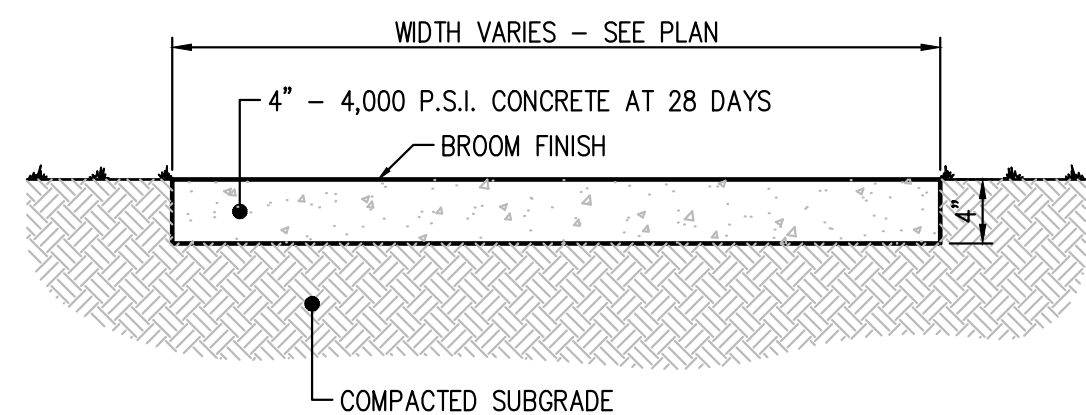
PROJECT NO. K&A 001.01
SCALE 1" = 20'
SHEET 7 OF 10
C0701



- NOTES:
- THE DENSE GRADED AGGREGATE BASE COURSE SHALL CONFORM TO SECTION 901.10 OF THE NJDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007).
 - ALL SUBGRADES SHALL BE CONSIDERED "POOR", UNLESS THE APPLICANT PROVES OTHERWISE THROUGH CBR TESTING OR FIELD EVALUATION OF SOIL CLASSIFICATION. TEST RESULTS SHALL BE REVIEWED BY THE MUNICIPAL ENGINEER.
 - RSIS PAVEMENT SECTION FOR RURAL LANES, RURAL STREETS, CUL-DE-SACS, AND ALLEYS.

PAVING DETAIL

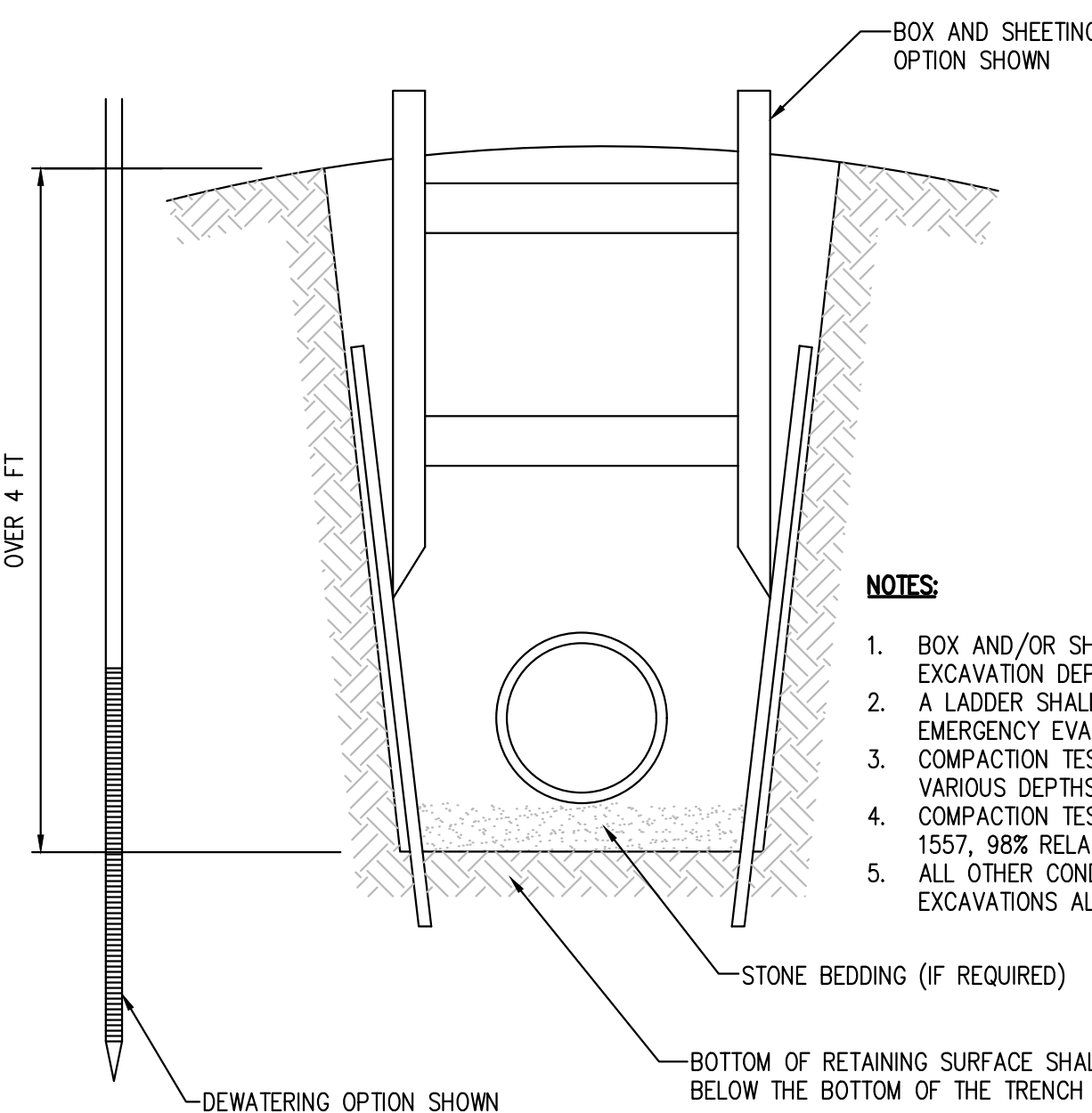
N.T.S.



- NOTES:
- SIDEWALK SHALL BE MINIMUM 4" WIDE AND 4" THICK
 - EXPANSION JOINTS SHALL BE 1/2" WIDE AND PROVIDED AT INTERVALS NO GREATER THAN 20 FEET AND SHALL BE FILLED WITH 1/2" THICK CELLULAR COMPRESSION MATERIAL TO WITHIN 1/4" OF TOP OF WALK.
 - SURFACE GROOVES SHALL BE CUT AT LEAST 1/4" DEEP AT RIGHT ANGLES TO THE LINE OF SIDEWALK AND AT INTERVALS EQUAL TO SIDEWALK WIDTH.
 - SURFACE EDGES SHALL BE ROUNDED TO 1/2" RADIUS.
 - FINISH SHALL BE WOOD FLAT, FOLLOWED BY BROOMING TO A NEAT, WORKMANLIKE SURFACE.

CONCRETE SIDEWALK DETAIL

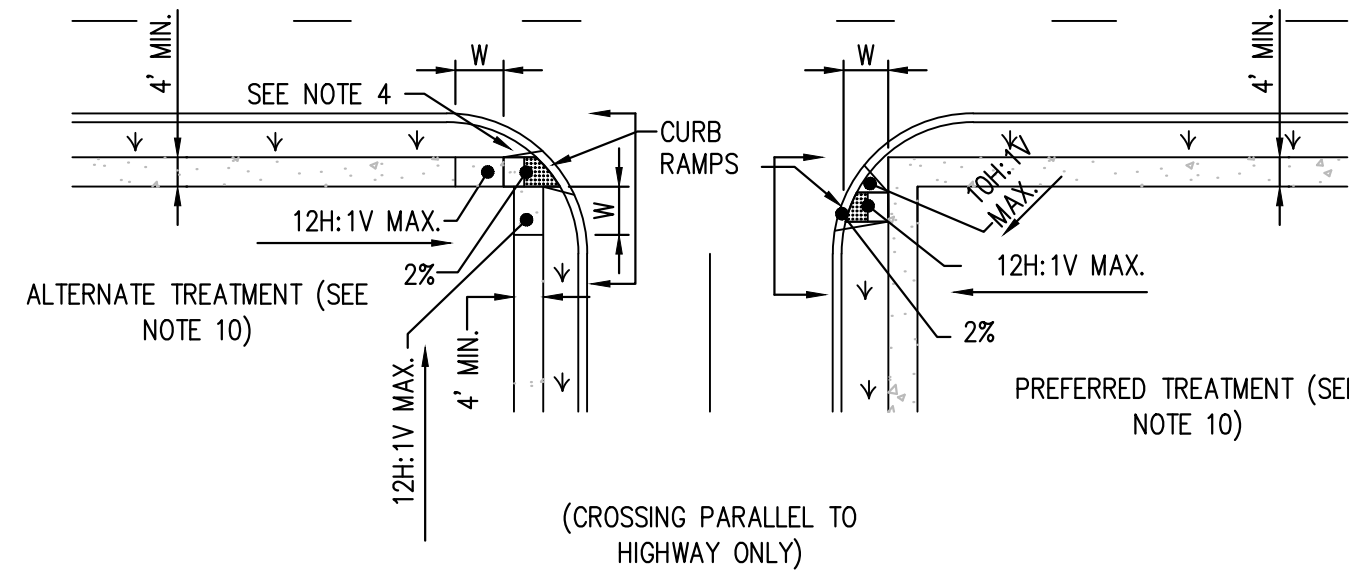
N.T.S.



- NOTES:
- BOX AND/OR SHEETING SHALL BE USED WHEN EXCAVATION DEPTH EXCEEDS 5 FT.
 - A LADDER SHALL BE AVAILABLE AT ALL TIMES FOR EMERGENCY EVACUATION.
 - COMPACTION TESTS SHALL BE CONDUCTED AT VARIOUS DEPTHS AND LOCATIONS.
 - COMPACTION TESTS SHALL COMPLY WITH ASTM 1557, 98% RELATIVE COMPACTION.
 - ALL OTHER CONDITIONS FOR SHALLOW EXCAVATIONS ALSO APPLY.
- THE BACKFILL REQUIREMENTS ARE AS FOLLOWS:
 - BACKFILL AROUND THE PIPE SHALL BE WALKED IN OR OTHERWISE COMPACTED, WITH ACCEPTABLE CLEAN GRANULAR BACKFILL.
 - ONE FOOT LIFTS SHALL BE INSTALLED OVER THE PIPE AND COMPACTED WITH A JUMPING JACK HOE PACK, RAMAX, VIBRATORY ROLLER OR COMPARABLE EQUIPMENT ACCEPTABLE TO THE COUNTY ENGINEERS.
 - REMAINING LIFTS SHALL BE PLACED IN ONE FOOT LIFTS AND COMPACTED AS ABOVE. THE LAST FOOT OF FILL SHALL CONSIST OF ONE FOOT OF DGA (DENSE GRADED AGGREGATE) PLACED IN TWO SIX INCH LIFTS.
 - SIX INCHES OF STABILIZED BASE (MIX 1-2), SHALL THEN BE PLACED IN TWO THREE INCH LIFTS TO FINISHED GRADE.
 - IF GROUNDWATER IS ENCOUNTERED, MEANS OF TRENCH DEWATERING SHALL BE PROVIDED AND SHALL BE SHOWN ON THE PLANS AND IN THE SPECIFICATIONS.
 - THE TRENCH WALLS SHALL BE FULLY SUPPORTED DURING CONSTRUCTION. MINIMUM REQUIREMENTS SHALL INCLUDE TRENCH BOX(ES) AND STEEL PLATES TO THE BOTTOM OF THE TRENCH.
 - STONE BEDDING WILL BE REQUIRED WHEN CONDITIONS WARRANT. THE BEDDING WILL CONSIST OF AT LEAST SIX INCHES OF CRUSHED STONE SHAPED TO CRADLE THE PIPE.
 - SUCCESSING LIFTS SHALL NOT EXCEED ONE FOOT IN DEPTH. BACKFILL SHALL COMPLY WITH THE REQUIREMENTS STATED ABOVE FOR SHALLOW EXCAVATIONS.

TRENCH EXCAVATION DETAIL

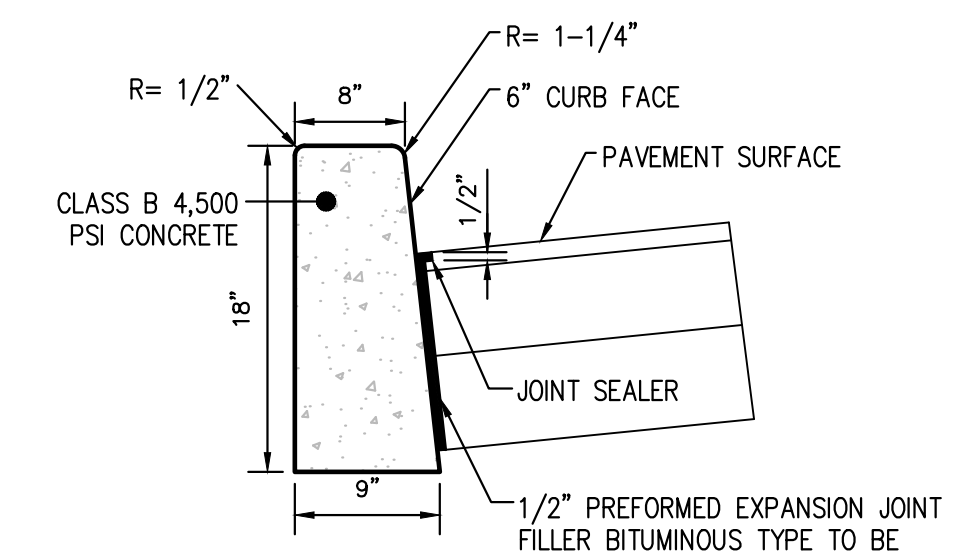
N.T.S.



NJDOT TYPE VI CURB RAMP

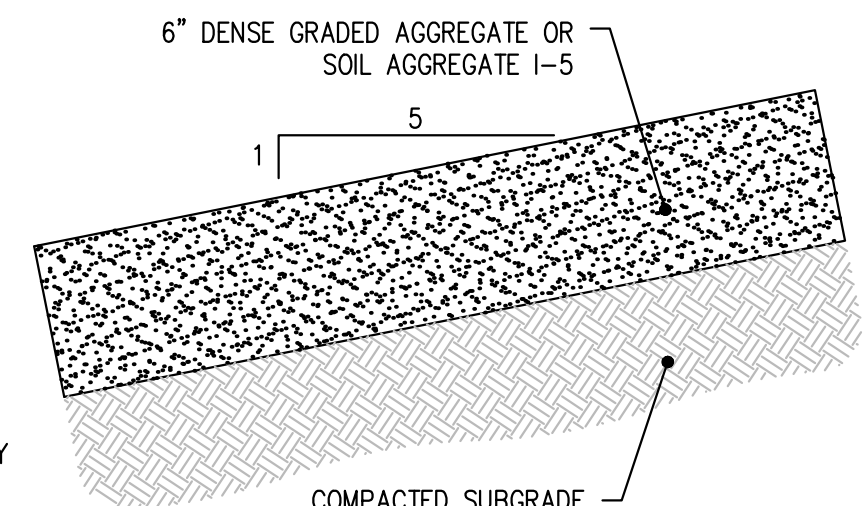
N.T.S.

CURB RAMP TYPE 2, 5 OR 6	
H INCHES	W FEET
3	3
4	4
5	5
6	6
7	7
8	8
9	9



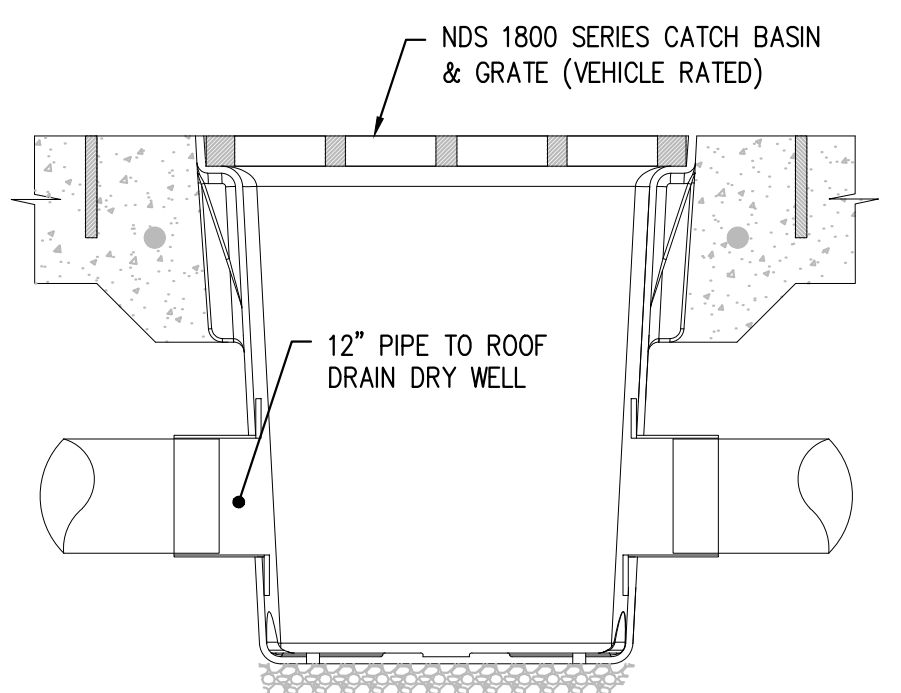
CURB DETAIL

N.T.S.



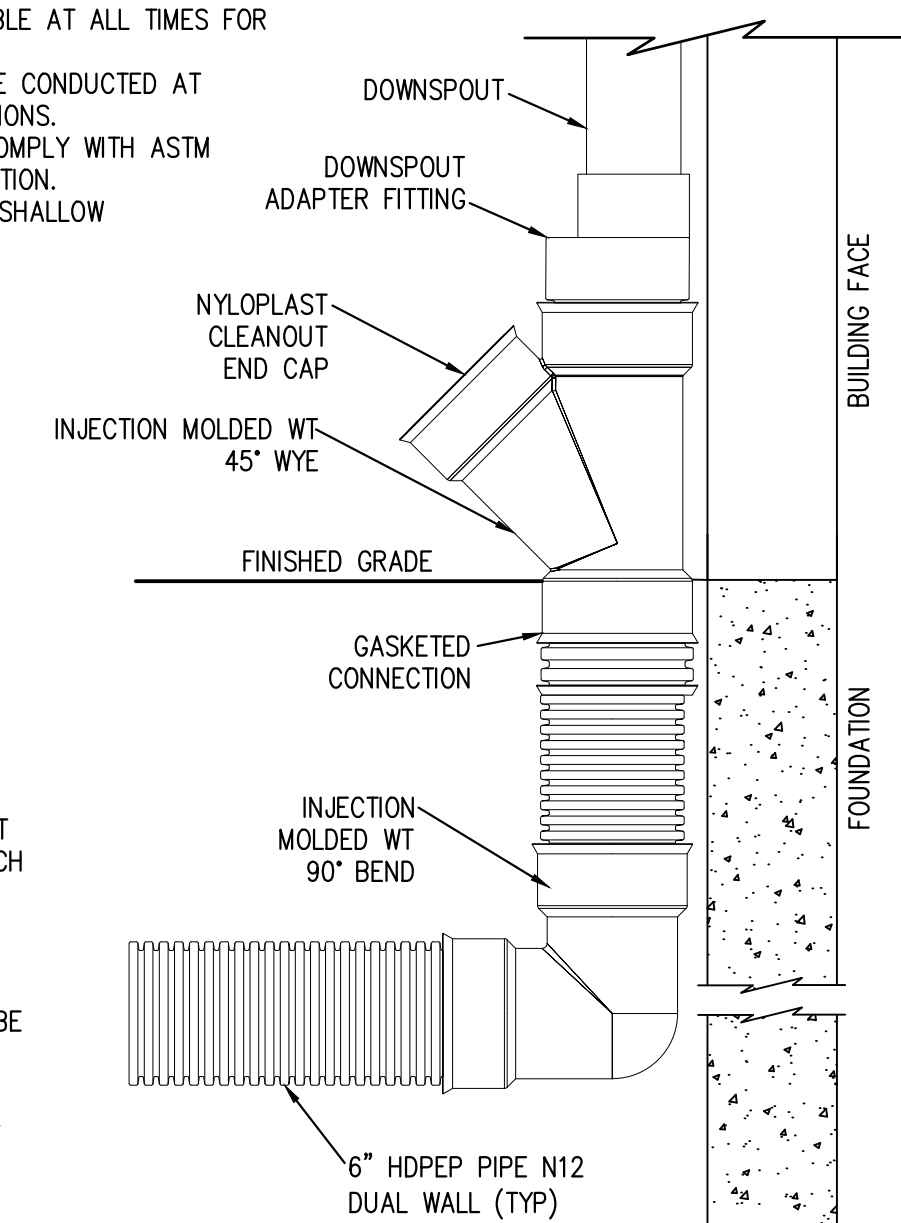
BASIN ACCESS SECTION

N.T.S.



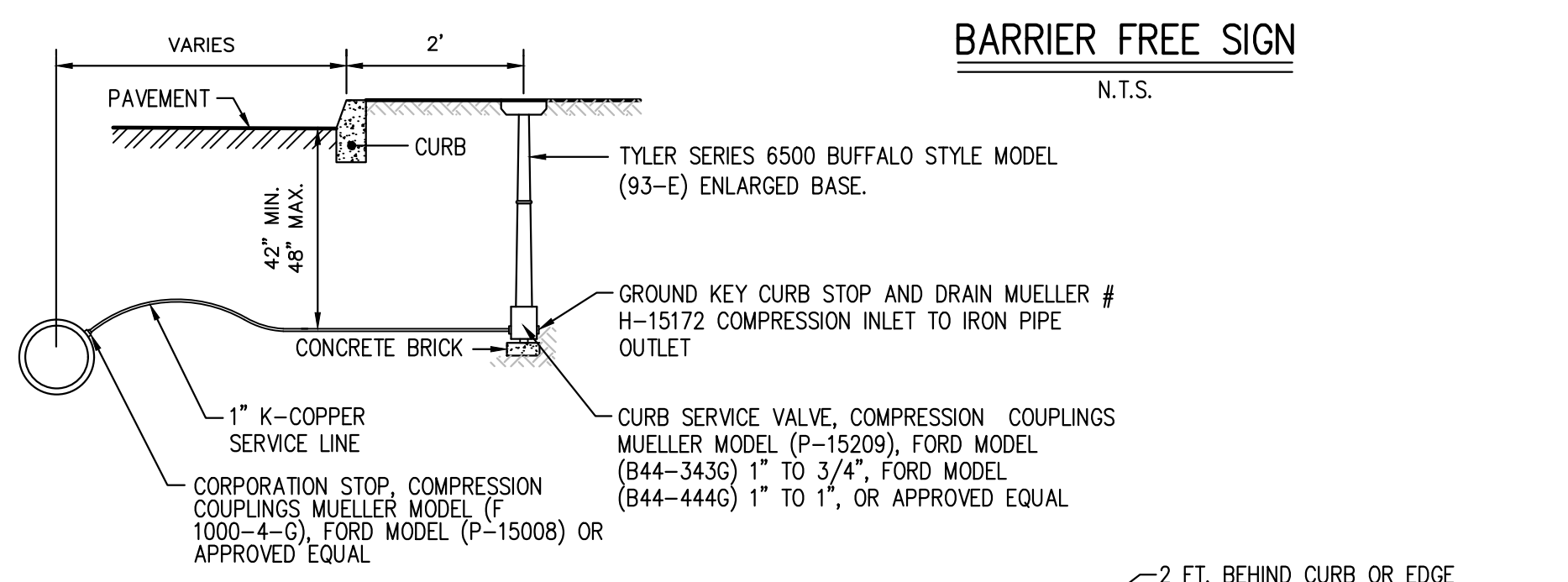
YARD INLET DETAIL

N.T.S.



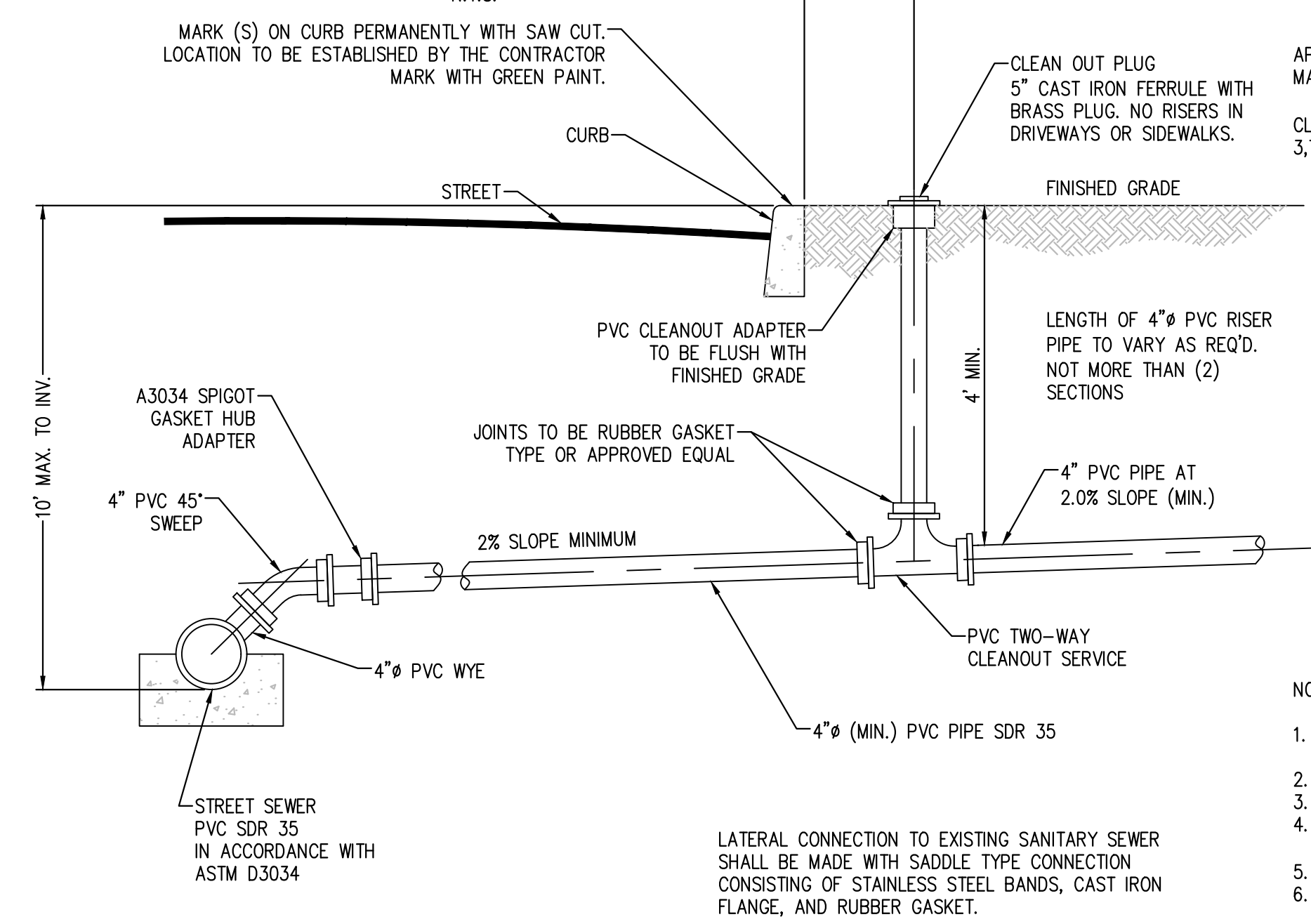
ROOF DRAIN w/45° WYE CLEANOUT DETAIL

N.T.S.



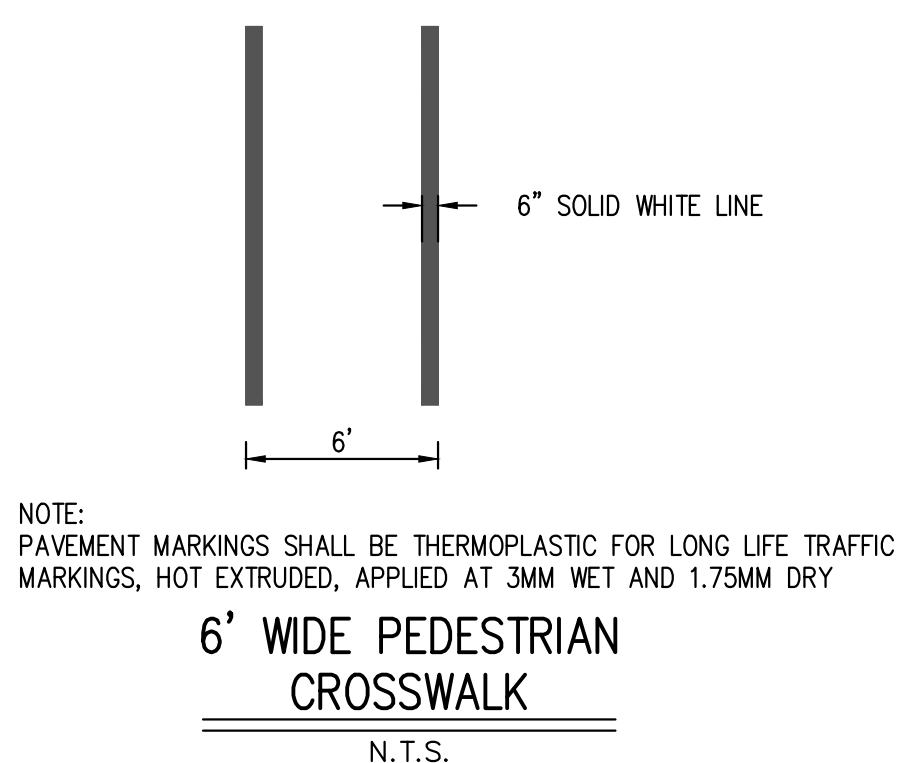
WATER SERVICE CONNECTION DETAIL

N.T.S.



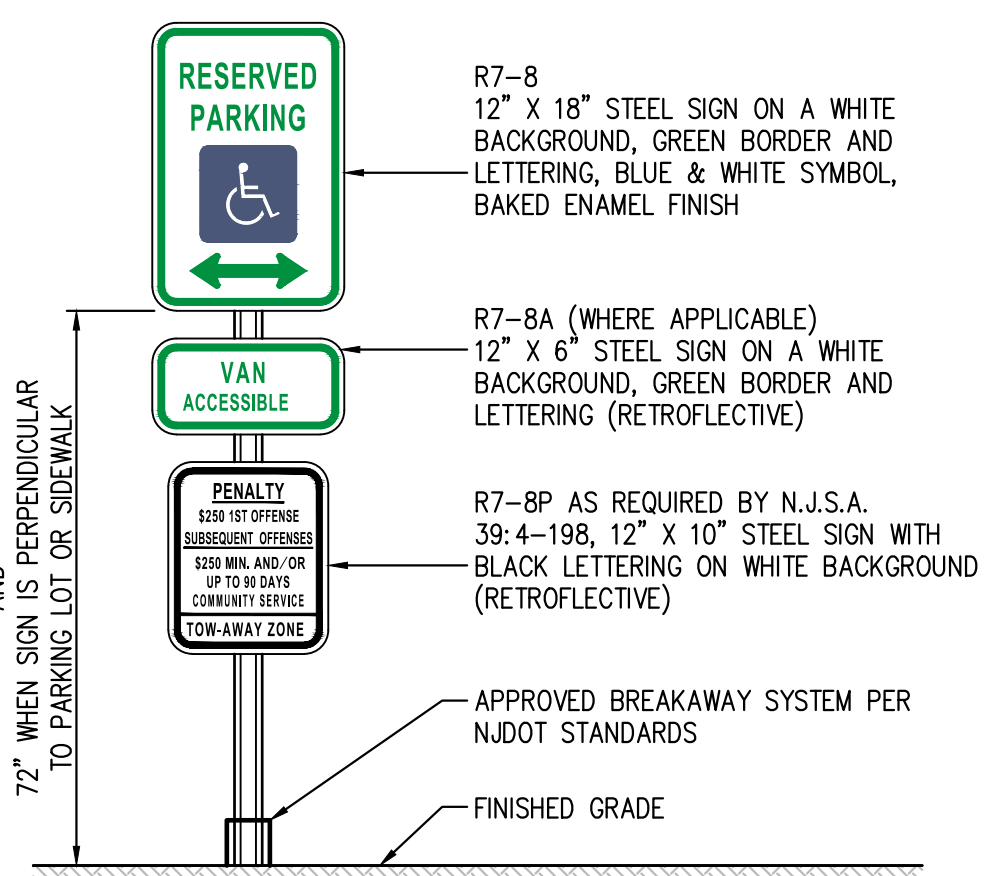
SANITARY SEWER SERVICE LATERAL DETAIL

N.T.S.



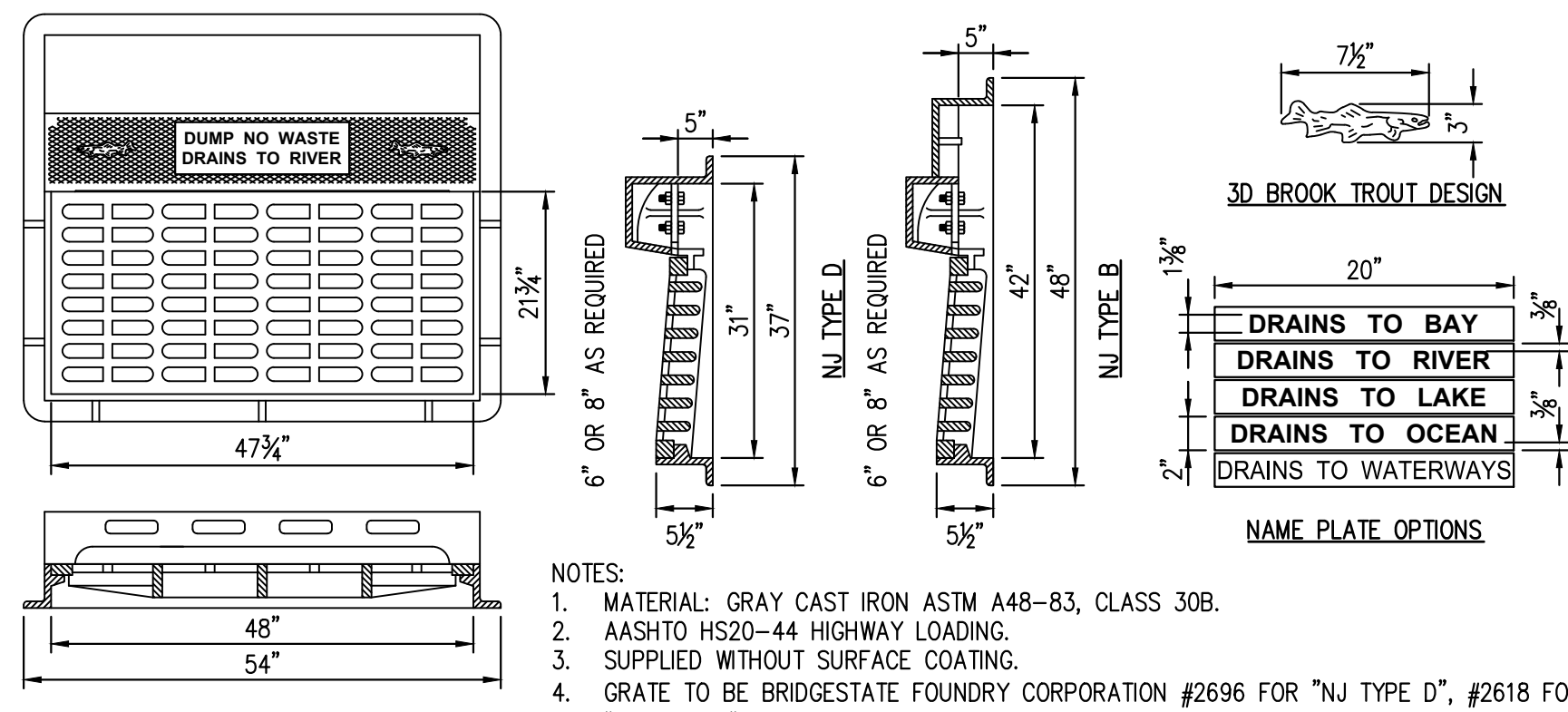
6' WIDE PEDESTRIAN CROSSWALK

N.T.S.



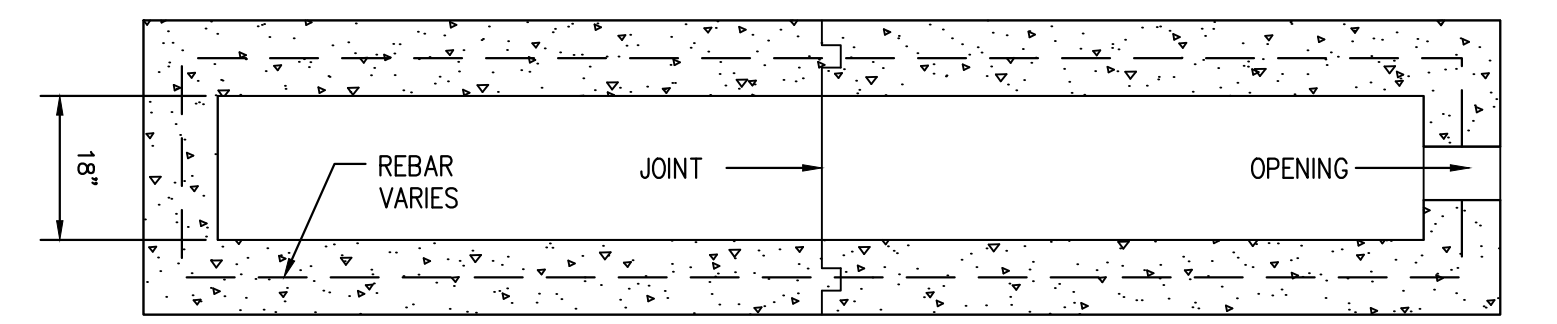
BARRIER FREE SIGN

N.T.S.



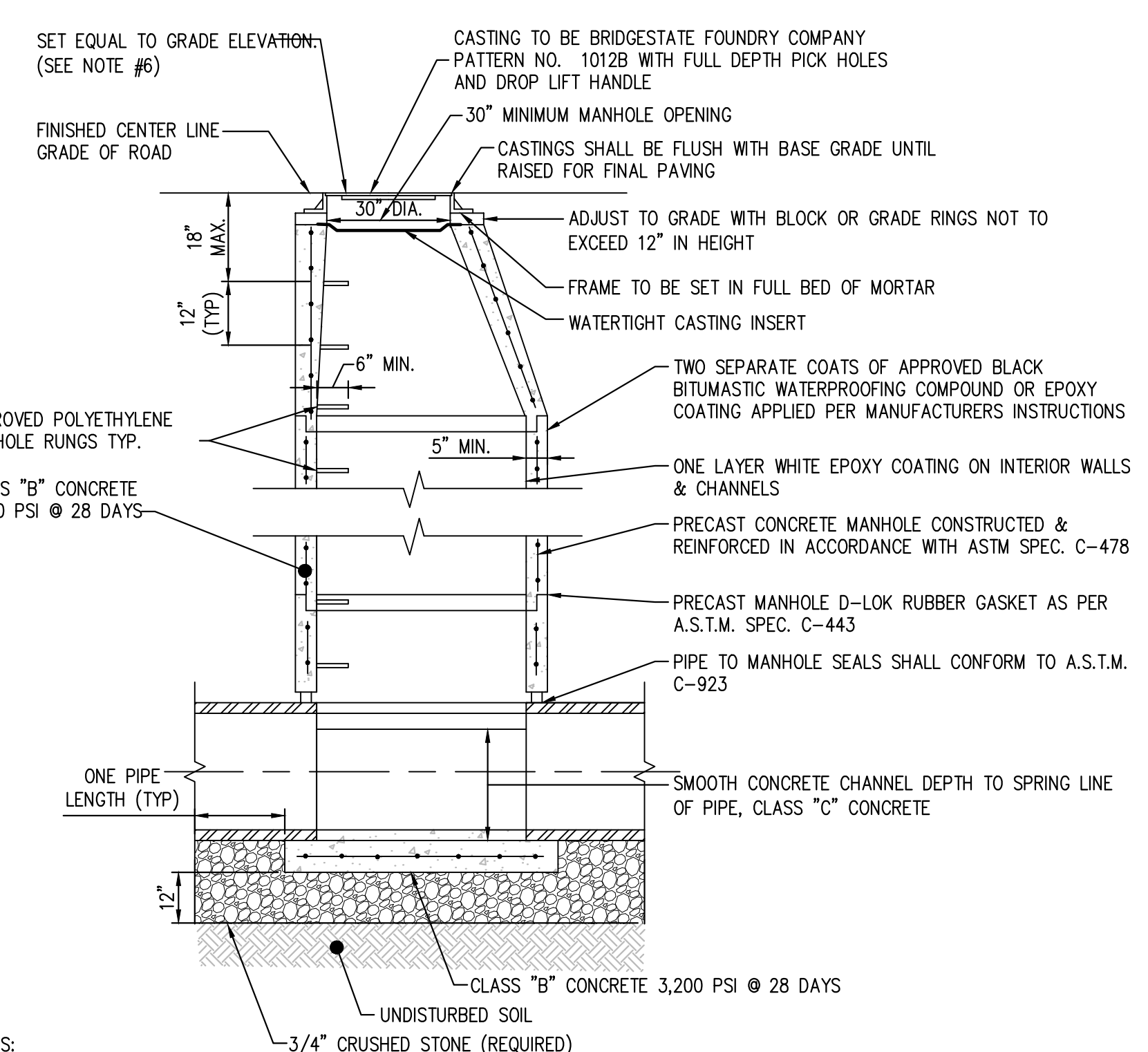
TYPE "B" BICYCLE SAFE GRATE & TYPE "N-ECO" CURB PIECE

N.T.S.



TRENCH DRAIN

N.T.S.



SANITARY SEWER PRECAST MANHOLE DETAIL

N.T.S.

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Call before you dig.

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83 MYRTLE STREET SUPPORTIVE HOUSING
BLOCK 973, LOTS 9, 10 & 1202
CRANFORD TOWNSHIP, UNION COUNTY, NEW JERSEY

DETAIL SHEET

756 HADDON AVENUE
COLLINGSWOOD, NEW JERSEY 08108

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PROJECT NO. K&A 001.01
SCALE AS SHOWN 8 OF 10
C1101

