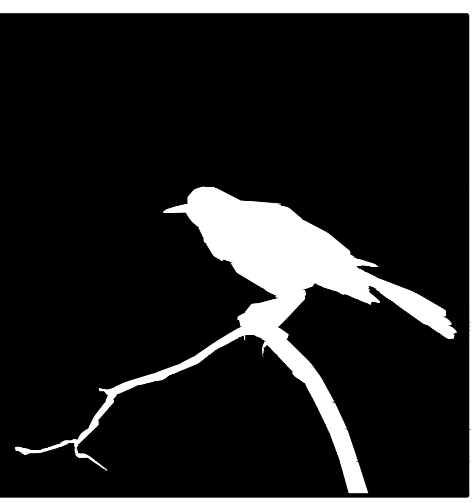


PROPOSED MIXED USE DEVELOPMENT

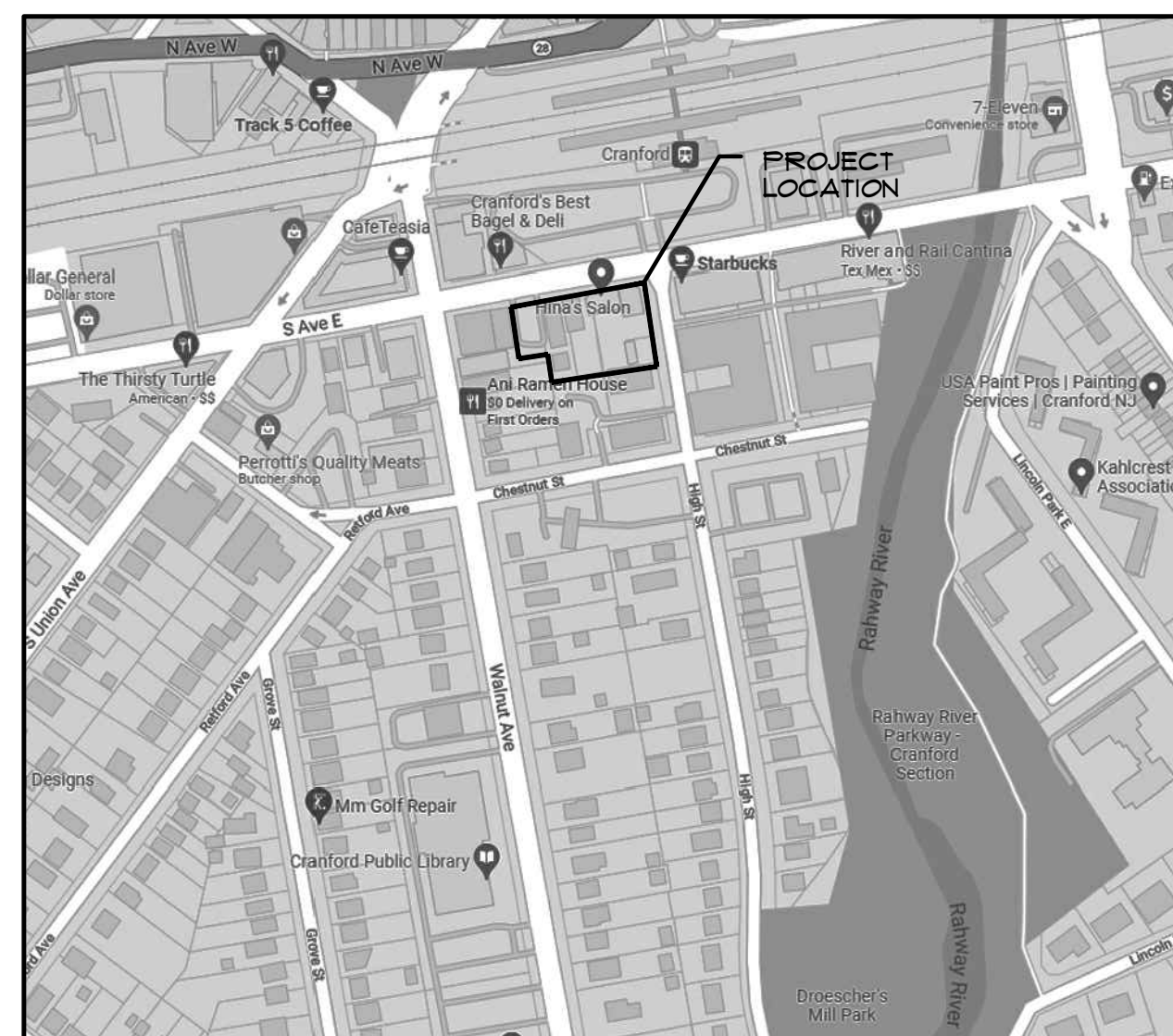
SOUTH AVE & HIGH STREET TOWNSHIP OF CRANFORD UNION COUNTY, NEW JERSEY



BLACKBIRD GROUP ARCHITECTS LLC
TEL: 973.954.4650
PO BOX 5943
NEWARK, NEW JERSEY 07105
CERT. OF AUTHORIZATION 21AC00098200

VICINITY MAP

DIAGRAMMATIC FOR LOCATION REFERENCE ONLY (SEE CIVIL DRAWINGS)



PROJECT INFORMATION

LOCATION:
108-126 SOUTH AVENUE EAST,
32 HIGH STREET
BLOCK 47B, LOTS 2, 3, 4, 5 & 6
TOWNSHIP OF CRANFORD
UNION COUNTY, NEW JERSEY

CIVIL ENGINEER:
FRENCH & PARRELLO ASSOCIATES
1800 ROUTE 94, SUITE 101
WALL, NEW JERSEY 07719
732.312.9800

DRAWING INDEX

ARCHITECTURAL

DRWG. SHEET NAME	DATE
T-1	TITLE SHEET
A-01	GROUND FLOOR PLAN
A-02	FIRST FLOOR PLAN
A-03	SECOND FLOOR PLAN
A-04	THIRD FLOOR PLAN
A-05	ROOF PLAN
A-06	EXTERIOR ELEVATIONS
A-07	EXTERIOR ELEVATIONS
A-08	EXTERIOR ELEVATIONS

BUILDING MATRIX

Unit	Type	Est. Area	MARKET	STORY			Total	% Total
				1	2	3		
1A	1 Bed	897	MARKET	1	1	1	3	5.45%
1A.1	1 Bed	801	MARKET	0	0	1	1	1.82%
1A.2	1 Bed	772	MARKET	0	0	1	1	1.82%
1A.1.1	1 Bed	849	MARKET	1	1	0	2	3.64%
1A.1.2	1 Bed	832	MARKET	0	0	1	1	1.8%
1A.2	1 Bed	772	MARKET	0	0	1	1	1.82%
1A.2.1	1 Bed	853	MARKET	0	0	2	2	3.64%
1A.3	1 Bed	867	MARKET	1	1	0	2	3.6%
1A.4	1 Bed	820	MARKET	2	2	0	4	7.27%
1A.5	1 Bed + Den	1,027	MARKET	0	2	0	2	3.64%
1A.5.1	1 Bed + Den	1,031	MARKET	2	0	0	2	3.6%
1A.6	1 Bed	890	MARKET	0	0	1	1	1.82%
1A.7	1 Bed	875	MARKET	2	2	0	4	7.27%
1A.8	1 Bed	890	MARKET	1	1	0	2	3.6%
1A.9.1	1 Bed	939	MARKET	0	0	1	1	1.82%
1B.1	1 Bed + Den	1,064	MARKET	0	2	0	2	3.6%
1B.2	1 Bed	866	COAH	0	1	0	1	1.8%
2A	2 Bed	1,296	MARKET	2	2	1	5	9.1%
2A.1	2 Bed	1,222	MARKET	0	0	1	1	1.8%
2A.2	2 Bed	1,145	MARKET/COAH	1	1	1	3	5.5%
2A.3	2 Bed	1,249	MARKET	0	0	1	1	1.8%
2A.4	2 Bed	1,231	MARKET	0	0	1	1	1.8%
2B	2 Bed	1,288	MARKET/COAH	1	1	0	2	3.6%
2B.1	2 Bed	1,276	MARKET	1	1	0	2	3.6%
2B.2	2 Bed	1,216	MARKET/COAH	1	1	1	3	5.5%
2B.3	2 Bed	1,263	MARKET	0	0	1	1	1.8%
2C	2 Bed	1,418	MARKET	1	1	0	2	3.6%
2D	2 Bed	966	COAH	0	0	1	1	1.8%
3A	3 Bed	1,227	COAH	1	1	0	2	3.6%
TOTAL				18	21	16	55	100.0%

MARKET	AFFORD.	TOTAL
1 BED	1	31
2 BED	6	22
3 BED	2	2
TOTAL	9	55

ARCHITECTURAL MATERIALS LEGEND

EARTH/COMPACTED FILL	FOROUS FILL / GRAVEL	SAND
BRICK	CMU / CONC. BLOCK	PLYWOOD
WOOD BLOCKING	FINISH WOOD	GYPHUM BOARD
ROUGH / DIMENSIONAL LUMBER	POURED CONCRETE	GLASS
STEEL	RIGID INSULATION	BATT INSULATION

PLAN SYMBOLS LEGEND

BEARING WALL	WALL TO BE DEMOLISHED (WHERE APPLIC.)	WALL EXIST / NEW
POST	METAL JOIST / BEAM HANGER	FRAMING DESIGNATION
SIZE/SPAC. LOCATION	WALL NEW	

GRAPHIC SYMBOLS LEGEND

SECTION NUMBER	SECTION SYMBOL	REVISION NO.
SHEET NUMBER		PARTITION TYPE
ELEVATION NUMBER	ELEVATION SYMBOL	WINDOW TYPE
SHEET NUMBER		DOOR TYPE
DETAIL NUMBER	DETAIL SYMBOL	ROOM NUMBER
SHEET NUMBER		DATUM
ELEVATION NUMBER		ELEVATION
SECTION NUMBER	SECTION SYMBOL	NORTH ARROW (PLAN / ORIENT)
SHEET NUMBER		DIMENSION NOMENCLATURE
INT. ELEV. SYMBOL		EDGE/STANDARD
HORIZONTAL RUN		CENTER
VERTICAL RISE		INTERIOR (FINISH)

ABBREVIATIONS

ADJ	ADJACENT	HM	HOLLOW METAL
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
ALUM	ALUMINUM	INSUL	INSULATION
APVD	APPROVED	MEP	MECHANICAL, ELECTRICAL & PLUMBING
BO	BOTTOM OF	MFR	MANUFACTURER
CL	CLOSET	MB	MICROSLAN BEAM (LVL)
CLG	CILING	MISC	MISCELLANEOUS
CONC	CONCRETE	MO	MASONRY OPENING
CO	CARBON MONOXIDE	MR	MOISTURE RESISTANT
COORD	COORDINATE	MTL	METAL
CONT	CONTINUOUS	N/A	NON-APPLICABLE
DET	DETAIL	NC	NOT IN CONTRACT
DUG(S)	DRAWING(S)	NOI	NOMINAL
ELEC	ELECTRICAL	OAE	OR APPROVED EQUAL
EXIST	EXISTING	OC	ON CENTER
FD	FLOOR DRAIN	OPI	OWNER FURNISHED AND INSTALLED
FE	FIRE EXTINGUISHER	OFI	OWNER FURN. CONTRACTOR INSTALLED
FF	FINISHED FLOOR	OPP	OPPOSITE
FN	FINISHED	PLB	PARALLAN BEAM (P&L)
FL	FLOOR	PT	PRESSURE TREATED
FO	FACE OF	PR	PAINTED
FR	FIRE RATED	RCF	REFLECTED CEILING PLAN
FS	FIRE STOP	REQD	REQUIRED
GC	GENERAL CONTRACTOR	STRUCT	STRUCTURE/STRUCTURAL
GWB	GYPHUM WALL BOARD	TO	TOP OF
HC	HANDICAP	TYF	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HT	HEIGHT	VF	VERIFY IN FIELD
		WC	WATER CLOSET
		WD	WOOD
		WR	WATER RESISTANT

GENERAL NOTES

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INFORMATION CONTAINED ON THESE DRAWINGS IS INTENDED FOR PURPOSES OF ILLUSTRATING DESIGN INTENT AND ZONING / LAND USE CHARACTERISTICS. FINAL DETAILING, INTERIOR LAYOUTS, AND SPECIFIC CONDITIONS ARE SUBJECT TO FURTHER PROJECT DEVELOPMENT.

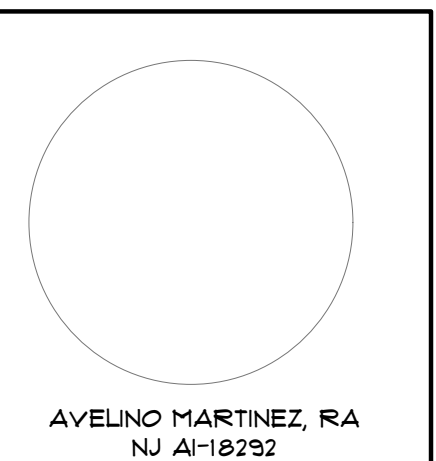
PRELIMINARY BUILDING CODE DATA

1. USE GROUP	R-2 (RESIDENTIAL APARTMENTS) S-2 (PRIVATE GARAGE) M (MERCANTILE)
2. CONSTRUCTION TYPE	POPULM CONSTRUCTION (NBC 510) TYPE V (ABOVE) TYPE I (BELOW)
3. HANDICAP ACCESSIBILITY	NJ BARRIER FREE SUBCODE/FHA
4. FIRE PROTECTION SYSTEM	NFPA 13/3R

PROPOSED MIXED USE DEVELOPMENT

SOUTH AVE & HIGH STREET
CRANFORD, NEW JERSEY

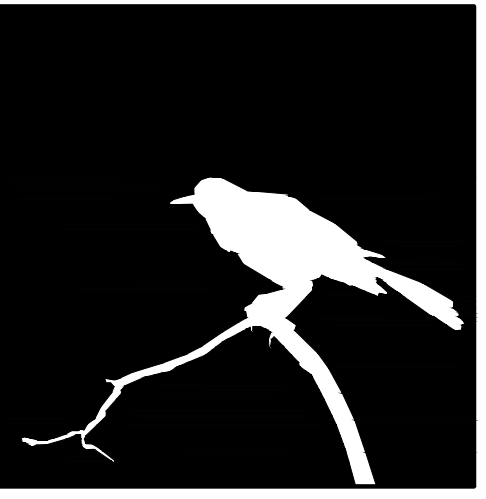
LATEST REVISION	DATE
8	ISSUE FOR APPROVALS 4-3-2023



TITLE SHEET

DRAWING NO.
T-1

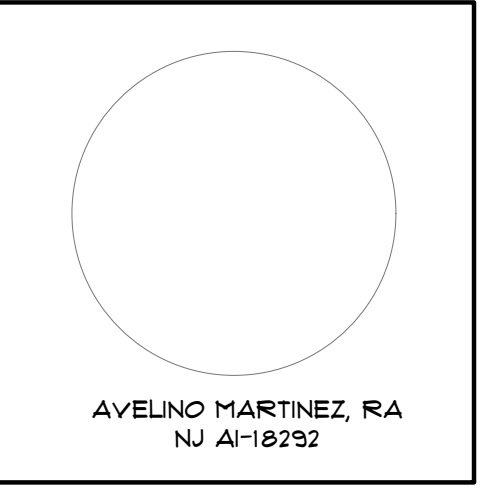
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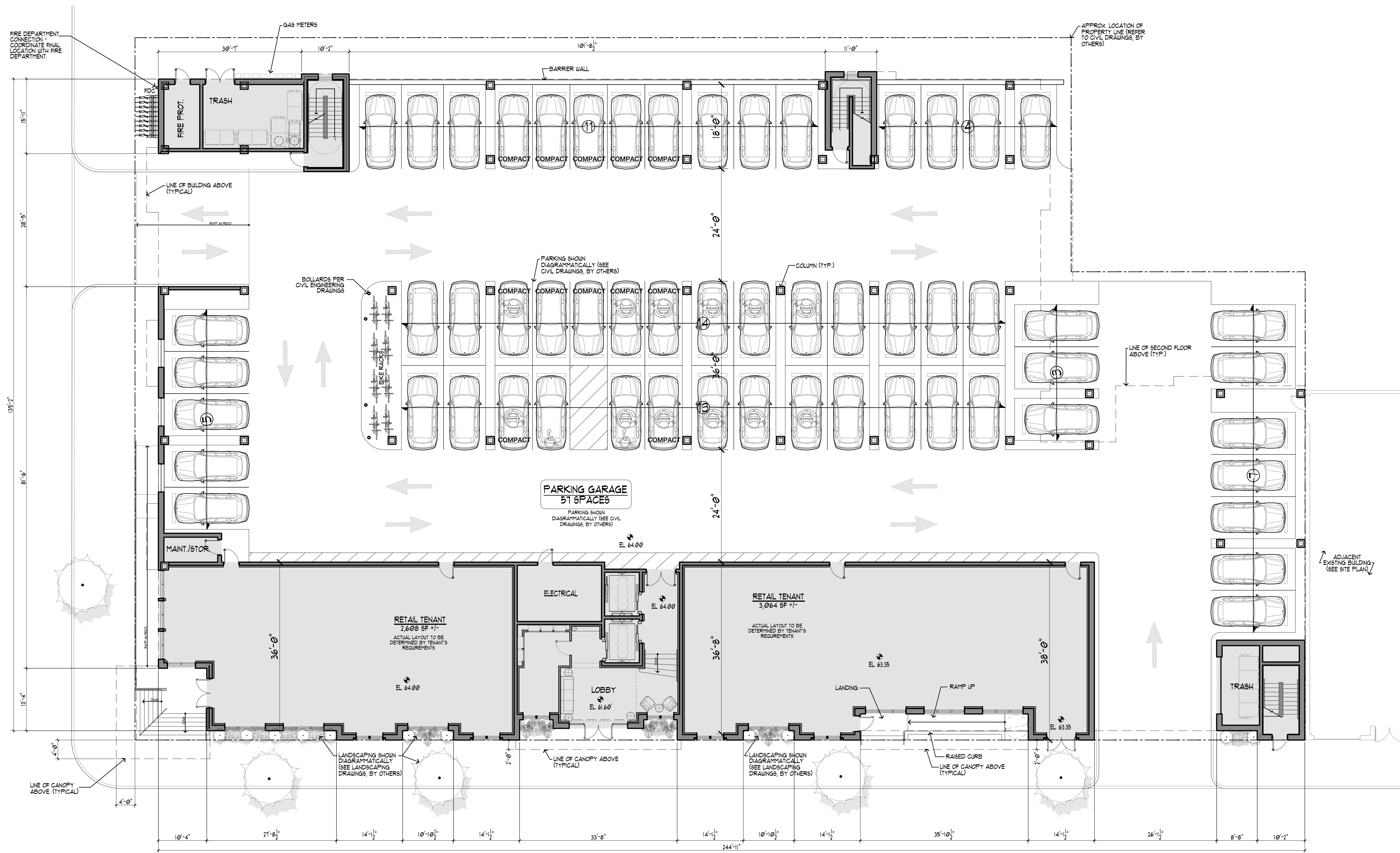
LATEST REVISION	DATE
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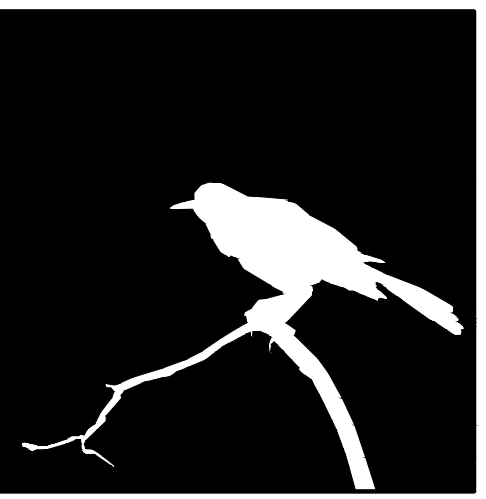
GROUND FLOOR PLAN

**DRAWING NO.
A-01**

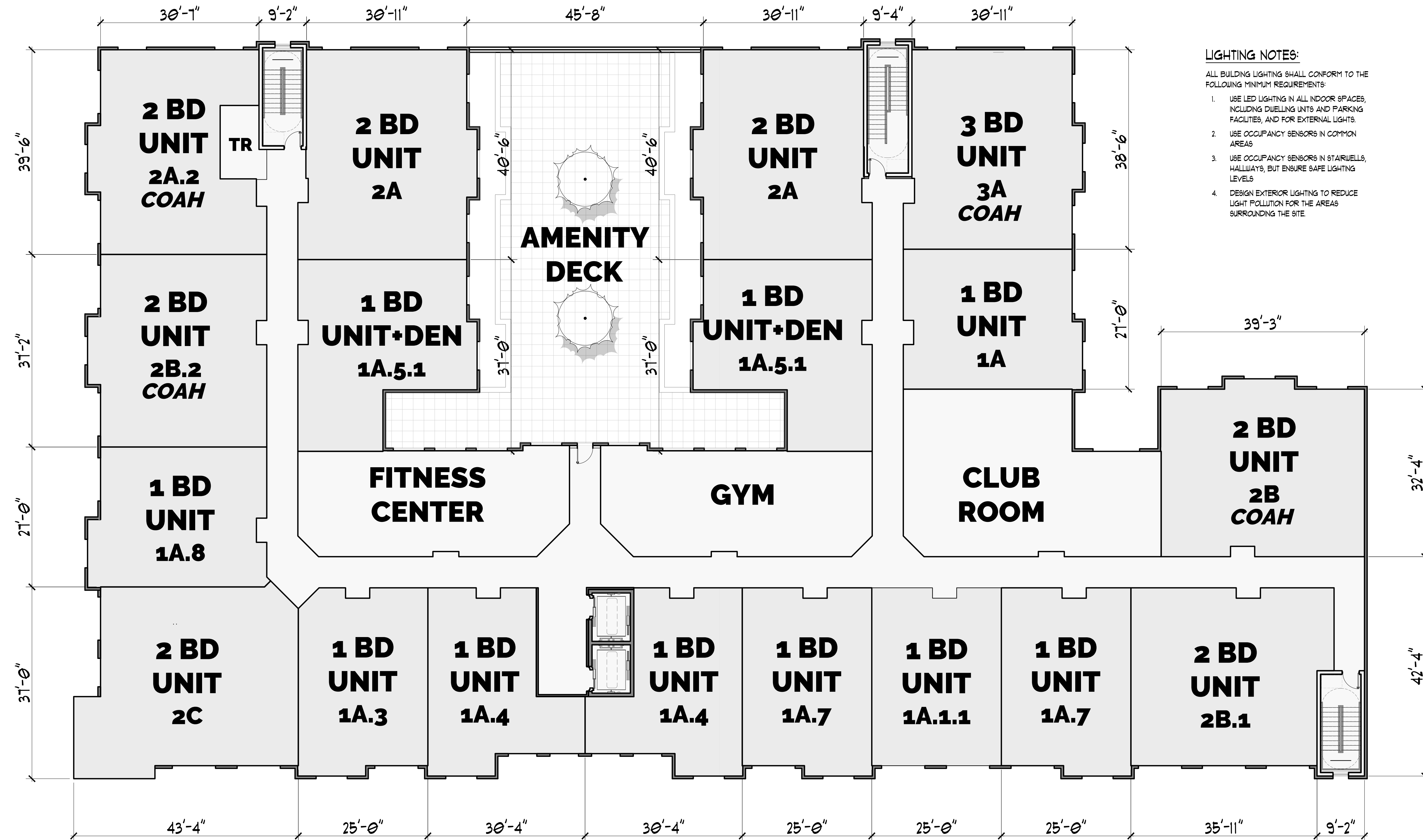
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A
A-01 GROUND FLOOR PLAN
SCALE: 3/32"=1'-0"



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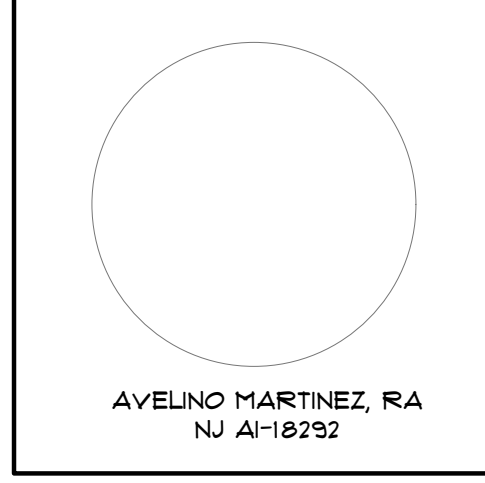
LIGHTING NOTES:
 ALL BUILDING LIGHTING SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. USE LED LIGHTING IN ALL INDOOR SPACES, INCLUDING DWELLING UNITS AND PARKING FACILITIES, AND FOR EXTERNAL LIGHTS.
2. USE OCCUPANCY SENSORS IN COMMON AREAS.
3. USE OCCUPANCY SENSORS IN STAIRWELLS, HALLWAYS, BUT ENSURE SAFE LIGHTING LEVELS.
4. DESIGN EXTERIOR LIGHTING TO REDUCE LIGHT POLLUTION FOR THE AREAS SURROUNDING THE SITE.

B FIRST FLOOR PLAN
A-02 SCALE: 3/32"=1'-0"

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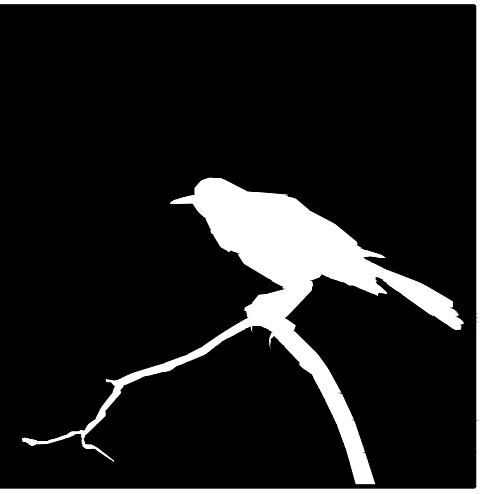
LATEST REVISION	DATE
11 ISSUE FOR APPROVALS	31-2023



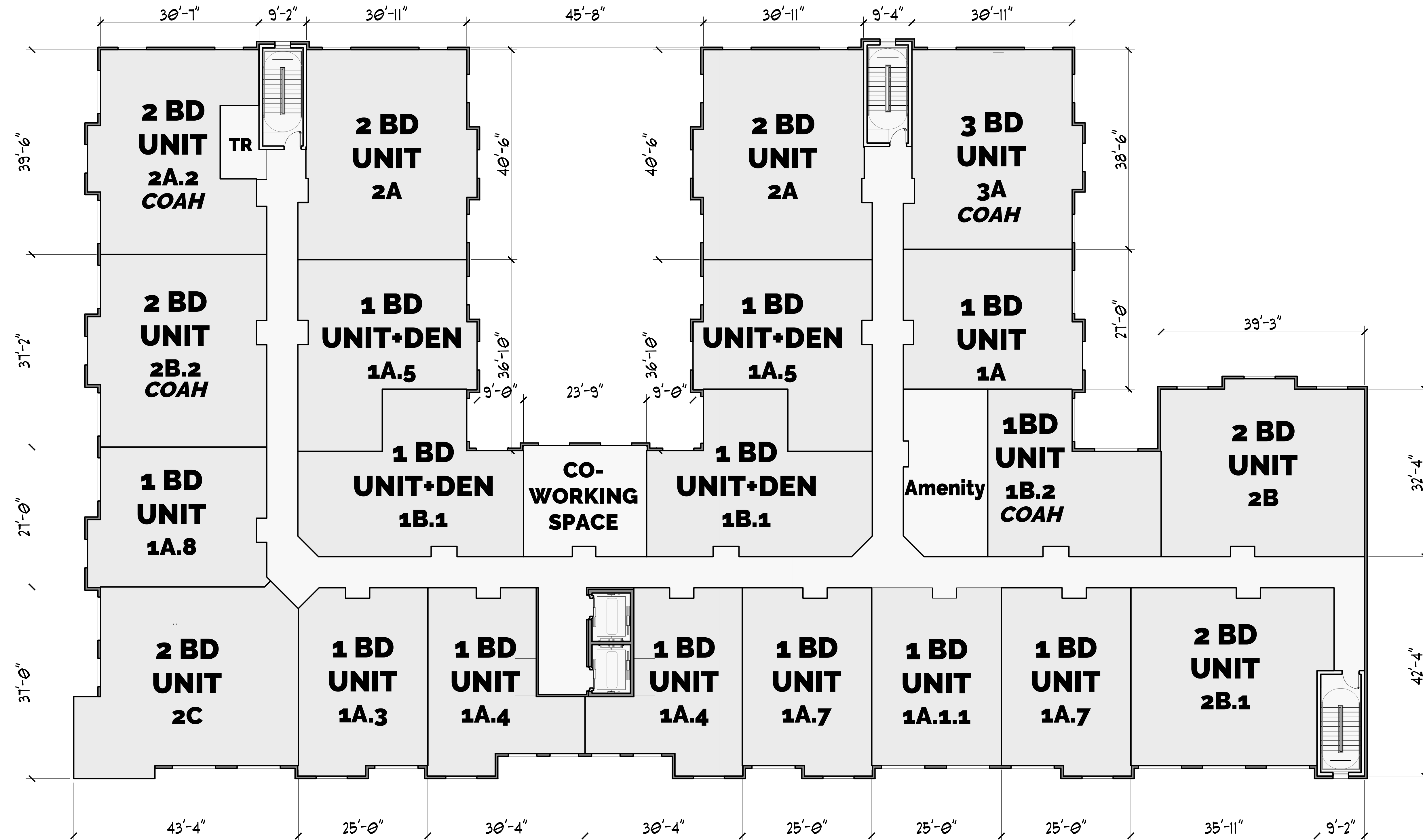
FIRST FLOOR PLAN

DRAWING NO.
A-02

PROJ. NO.: 16121



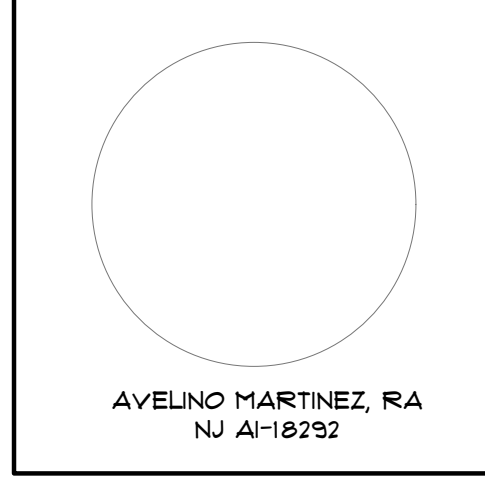
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C SECOND FLOOR PLAN
 A-03 SCALE: 3/32"=1'-0"

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 CRANFORD, NEW JERSEY

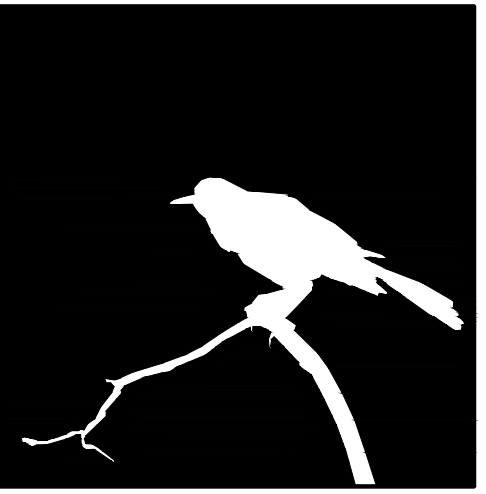
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11	ISSUE FOR APPROVALS 31-2023



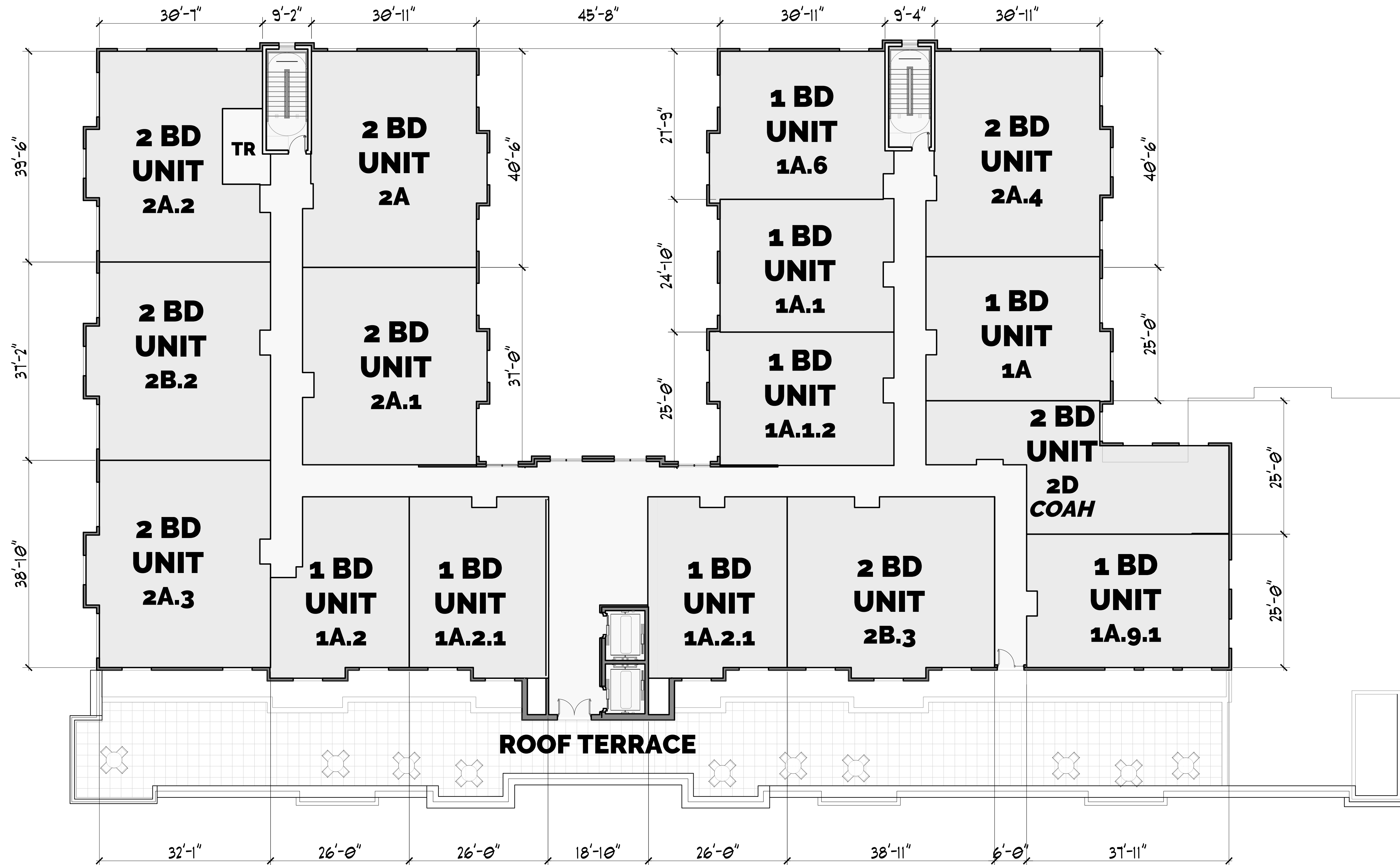
**SECOND FLOOR
 PLAN**

DRAWING NO.
A-03

PROJ. NO.: 16121



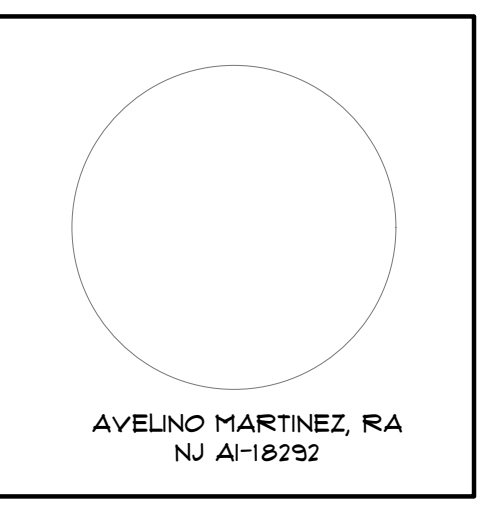
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D THIRD FLOOR PLAN
 A-04 SCALE: 3/32"=1'-0"

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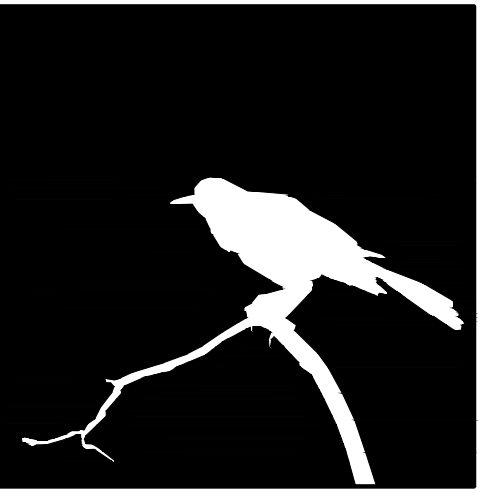
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THIRD FLOOR
 PLAN

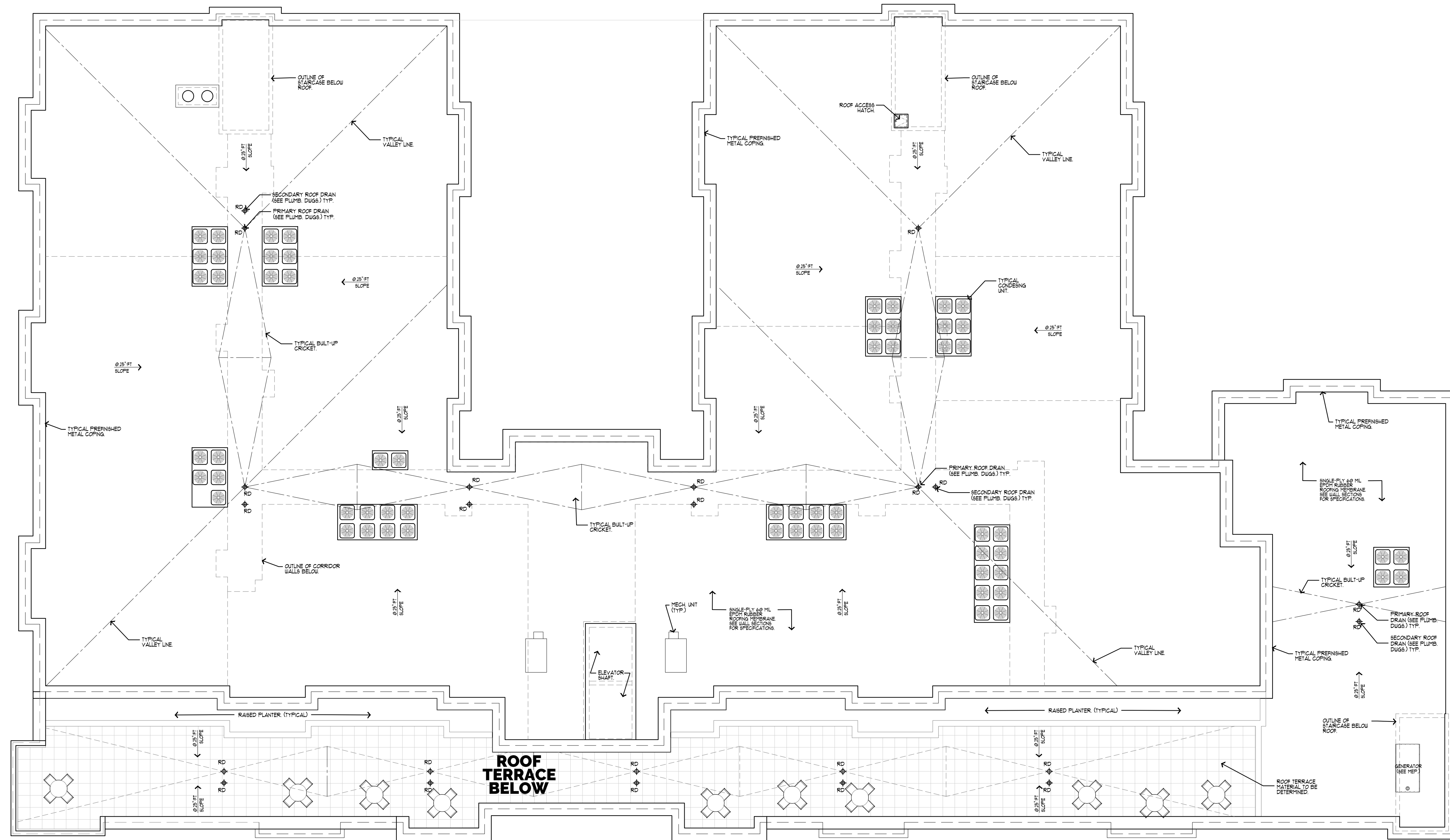
DRAWING NO.
A-04

PROJ. NO.: 16121



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D ROOF PLAN
 A-05 SCALE: 3/32"=1'-0"

LATEST REVISION	DATE
4	ISSUE FOR APPROVALS 31-2023

AVELINO MARTINEZ, RA
 NJ A-18292

ROOF PLAN

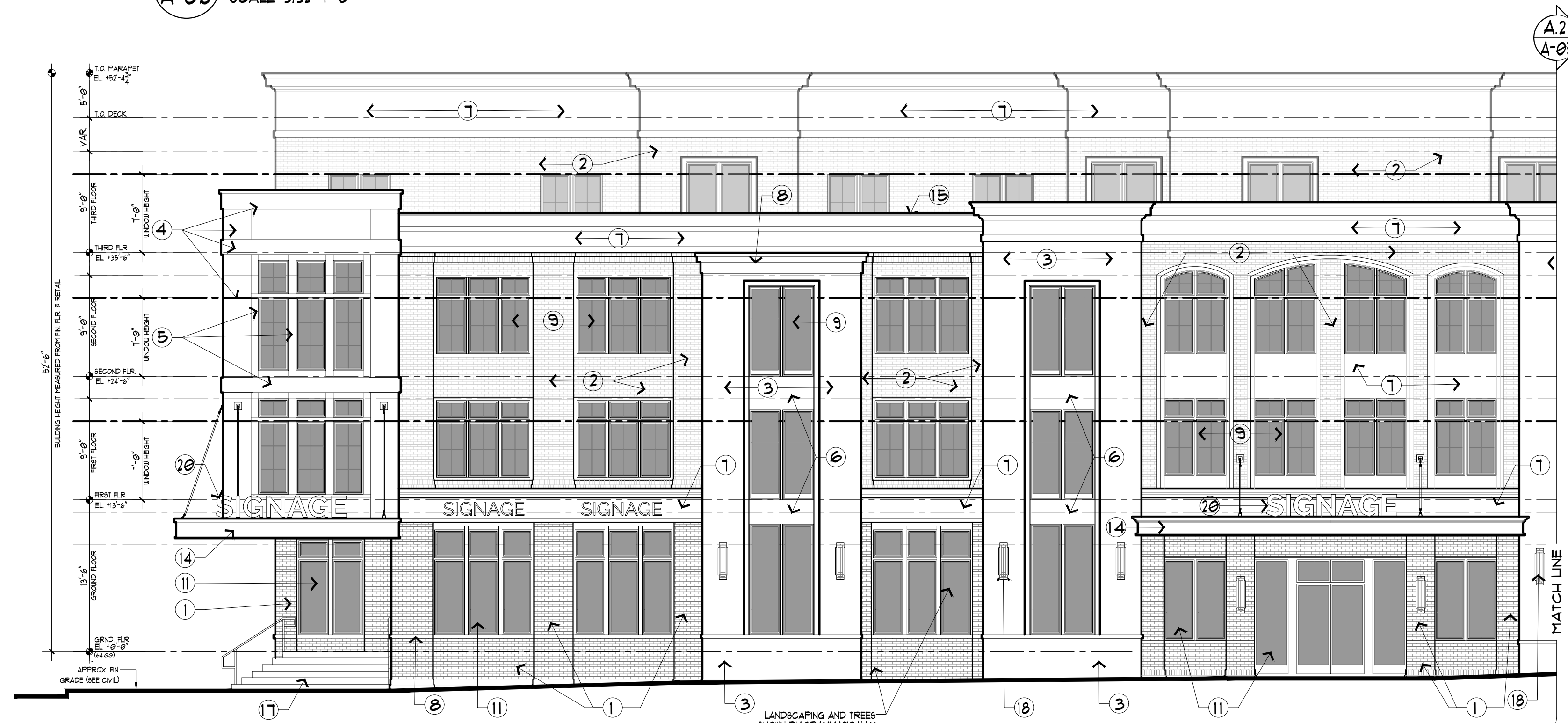
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A-05

PROJ. NO: 16121

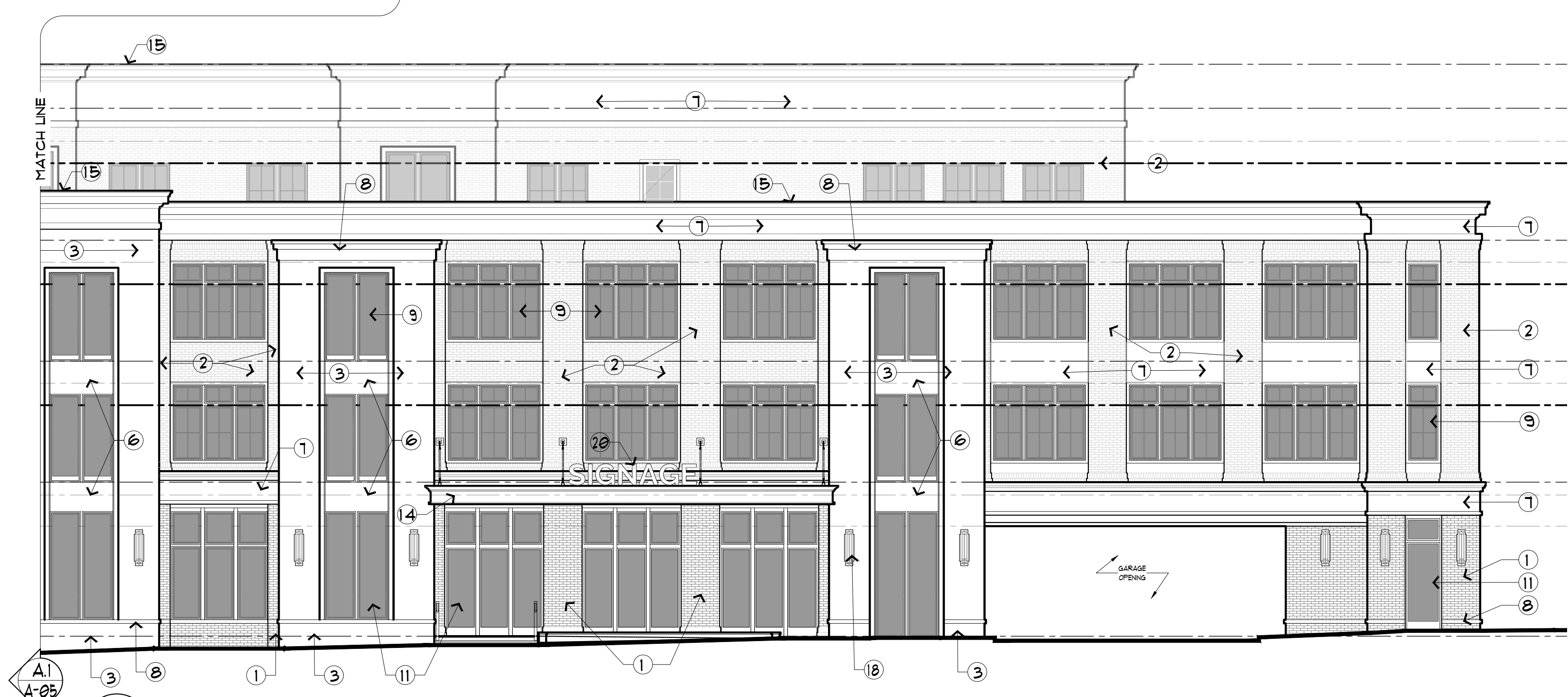


A
A-06 FRONT ELEVATION
SCALE: 3/32"=1'-0"

- EXTERIOR FINISH LEGEND**
- 1 BRICK (COLOR 1)
 - 2 BRICK (COLOR 2)
 - 3 PRECAST STONE VENEER
 - 4 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 1
 - 5 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 2
 - 6 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 3
 - 7 TRIM FASCIA BOARD, FRIEZE BOARD (FIBER CEMENT OR ACM) COLOR AS SELECTED BY OWNER
 - 8 PRECAST STONE TRIM, BAND, CROWN, COLOR 2
 - 9 INSULATING WINDOW TRANSOMS AS SPEC'D.
 - 10 INSULATING SLIDING PATIO DOORS AS SPEC'D.
 - 11 ALUMINUM & GLASS STOREFRONT WITH CLEAR INSULATING GLASS. SEE SHOP DWGS.
 - 12 INSULATING METAL FLUSH DOOR
 - 13 FINISHED METAL RAILING SYSTEM
 - 14 PREFINISHED, PREFABRICATED METAL CANOPY. SEE SHOP DWGS.
 - 15 PREFINISHED METAL COPING
 - 16 PAINTED CONCRETE COLUMNS
 - 17 PAINTED CONCRETE STAIR
 - 18 WALL MOUNTED LIGHT FIXTURE (SEE LIGHTING PLANS)
 - 19 PREFABRICATED, PREFINISHED METAL GRILLE. SEE SHOP DWGS.
 - 20 EXISTING BUILDING SIGNAGE (FINAL SIGNAGE TO BE COORDINATED WITH ACTUAL TENANT)
- TRANSPARENCY (PRIMARY FACADE)**
GROUND FLOOR: 40.68%
UPPER STORES: 32.1%



A.1
A-06 FRONT ELEVATION
SCALE: 1/8"=1'-0"



A.2
A-06 FRONT ELEVATION
SCALE: 1/8"=1'-0"



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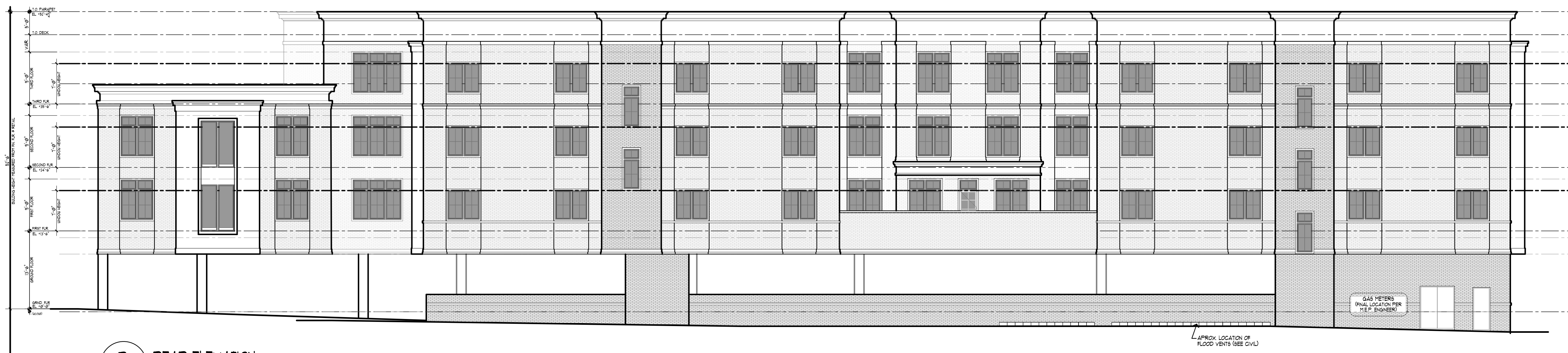
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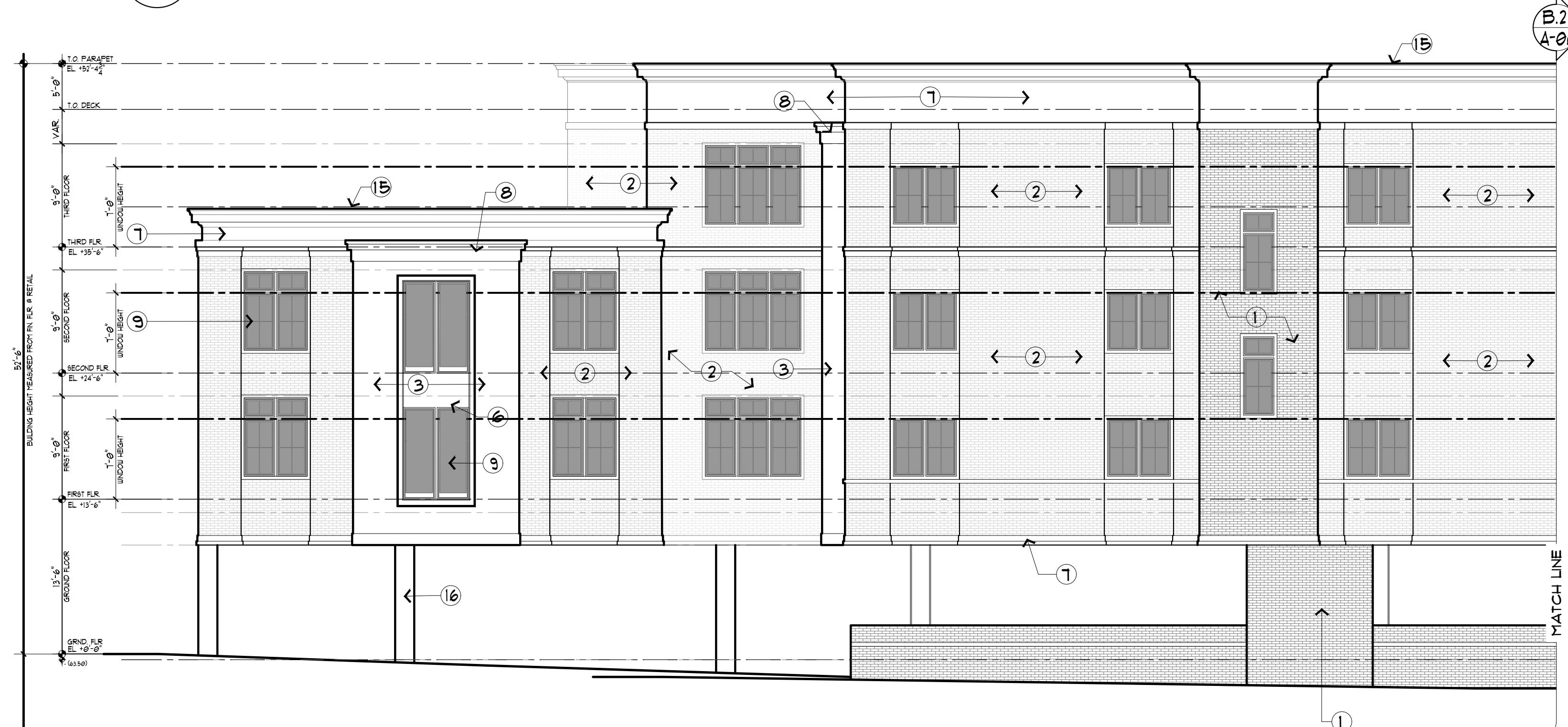
**EXTERIOR
ELEVATIONS**

DRAWING NO.
A-06
PROJ. NO.: 16121

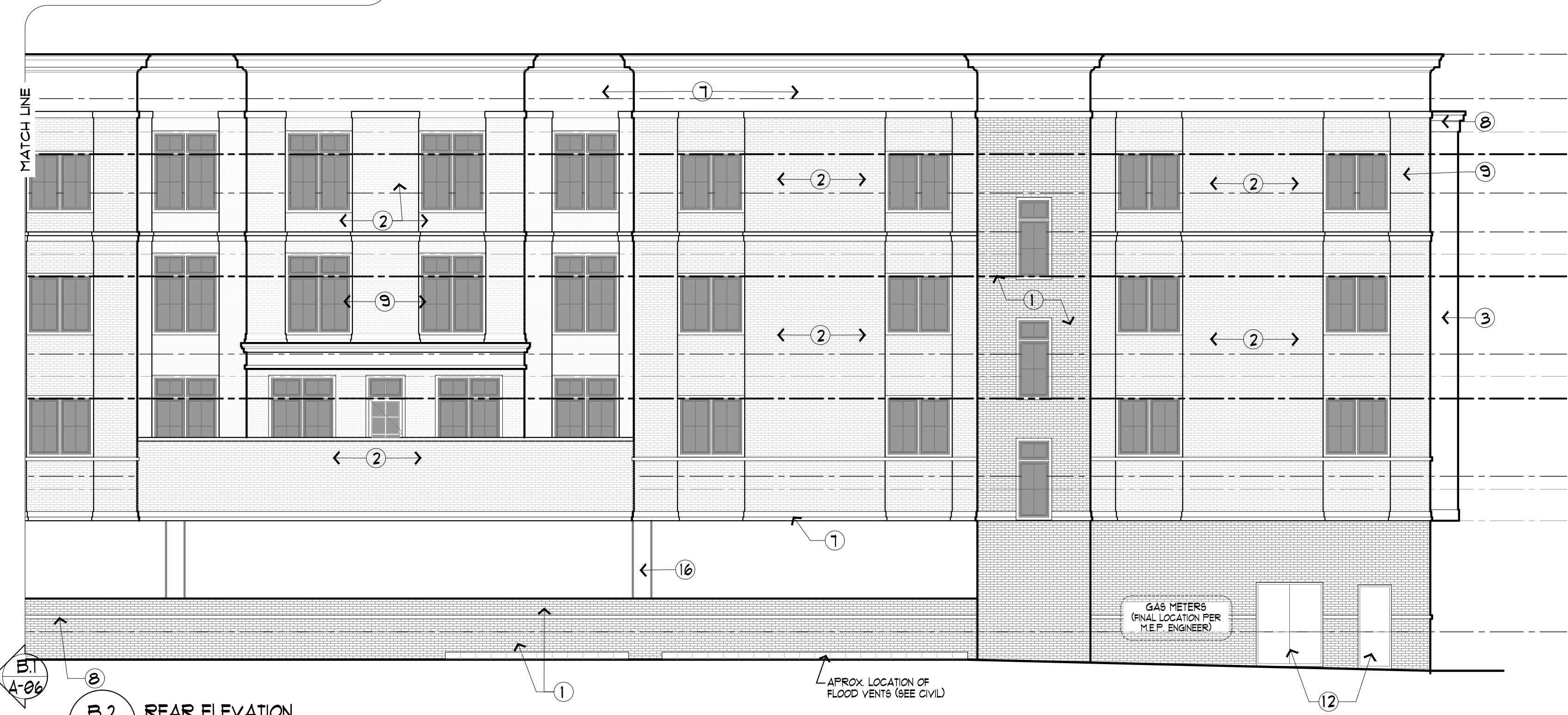


B
A-01 REAR ELEVATION
SCALE: 3/32"=1'-0"

- EXTERIOR FINISH LEGEND**
- ① BRICK (COLOR 1)
 - ② BRICK (COLOR 2)
 - ③ PRECAST STONE VENEER
 - ④ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 1
 - ⑤ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 2
 - ⑥ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 3
 - ⑦ TRIM FASCIA BOARD, FRIEZE BOARD (FIBER CEMENT OR ACM) COLOR AS SELECTED BY OWNER
 - ⑧ PRECAST STONE TRIM, BAND, CROWN, COLOR 2
 - ⑨ INSULATING WINDOWS / TRANSOMS AS SPEC'D.
 - ⑩ INSULATING SLIDING PATIO DOORS AS SPEC'D.
 - ⑪ ALUMINUM & GLASS STOREFRONT WITH CLEAR INSULATING GLASS. SEE SHOP DWGS.
 - ⑫ INSULATING METAL FLUSH DOOR
 - ⑬ FINISHED METAL RAILING SYSTEM
 - ⑭ FINISHED, PREFABRICATED METAL CANOPY. SEE SHOP DWGS.
 - ⑮ FINISHED METAL COPING
 - ⑯ PAINTED CONCRETE COLUMNS
 - ⑰ PAINTED CONCRETE STAIR
 - ⑱ WALL MOUNTED LIGHT FIXTURE (SEE LIGHTING PLANS)
 - ⑲ PREFABRICATED, FINISHED METAL GRILLE. SEE SHOP DWGS.
 - ⑳ EXAMPLE BUILDING SIGNAGE (FINAL SIGNAGE TO BE COORDINATED WITH ACTUAL TENANT)



B.1
A-01 REAR ELEVATION
SCALE: 1/8"=1'-0"



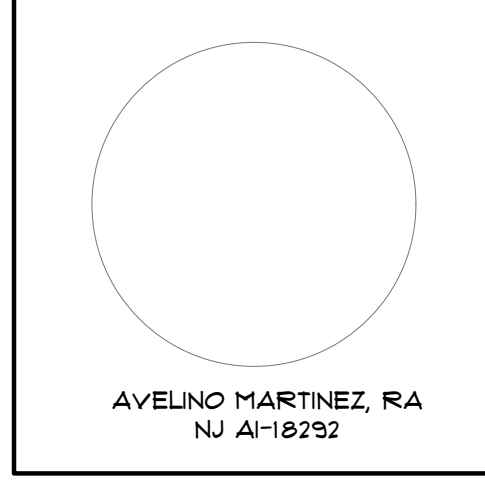
B.2
A-01 REAR ELEVATION
SCALE: 1/8"=1'-0"



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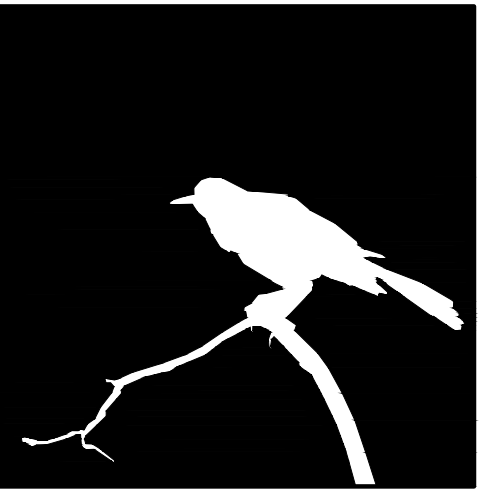
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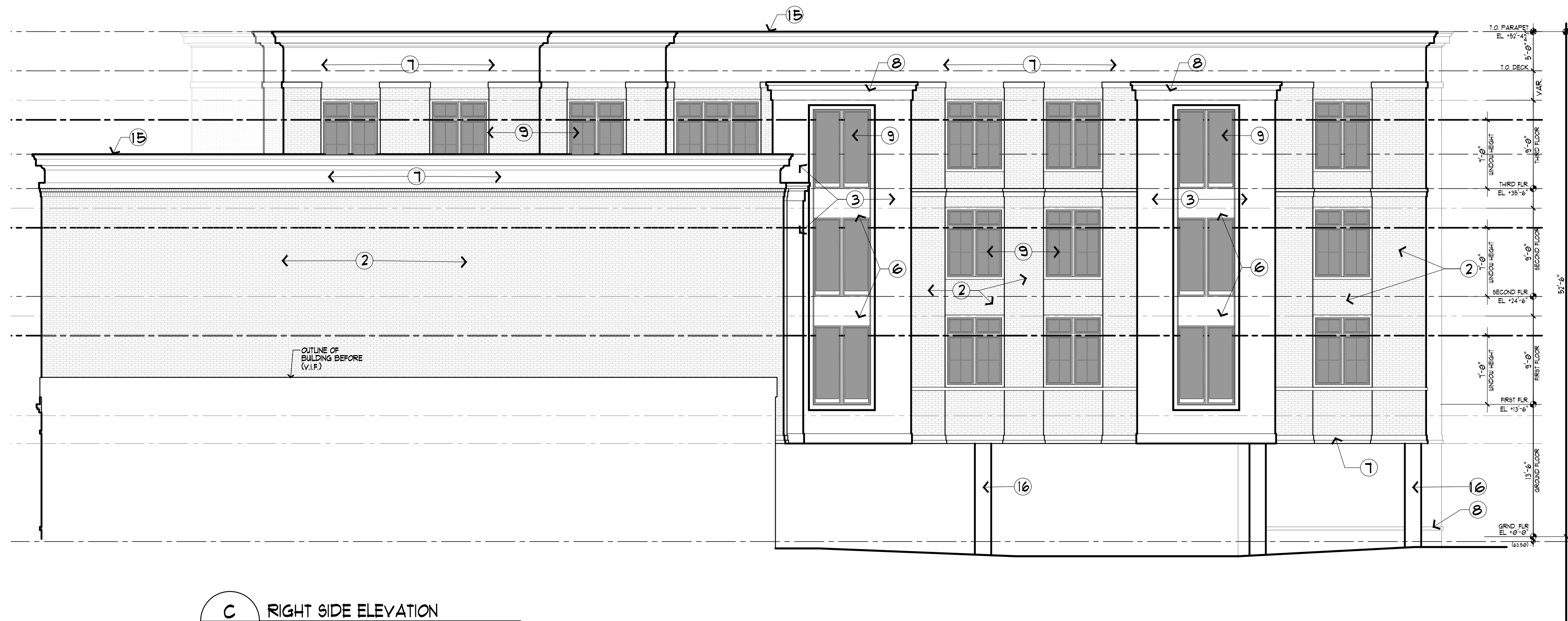
**EXTERIOR
ELEVATIONS**

DRAWING NO.
A-07

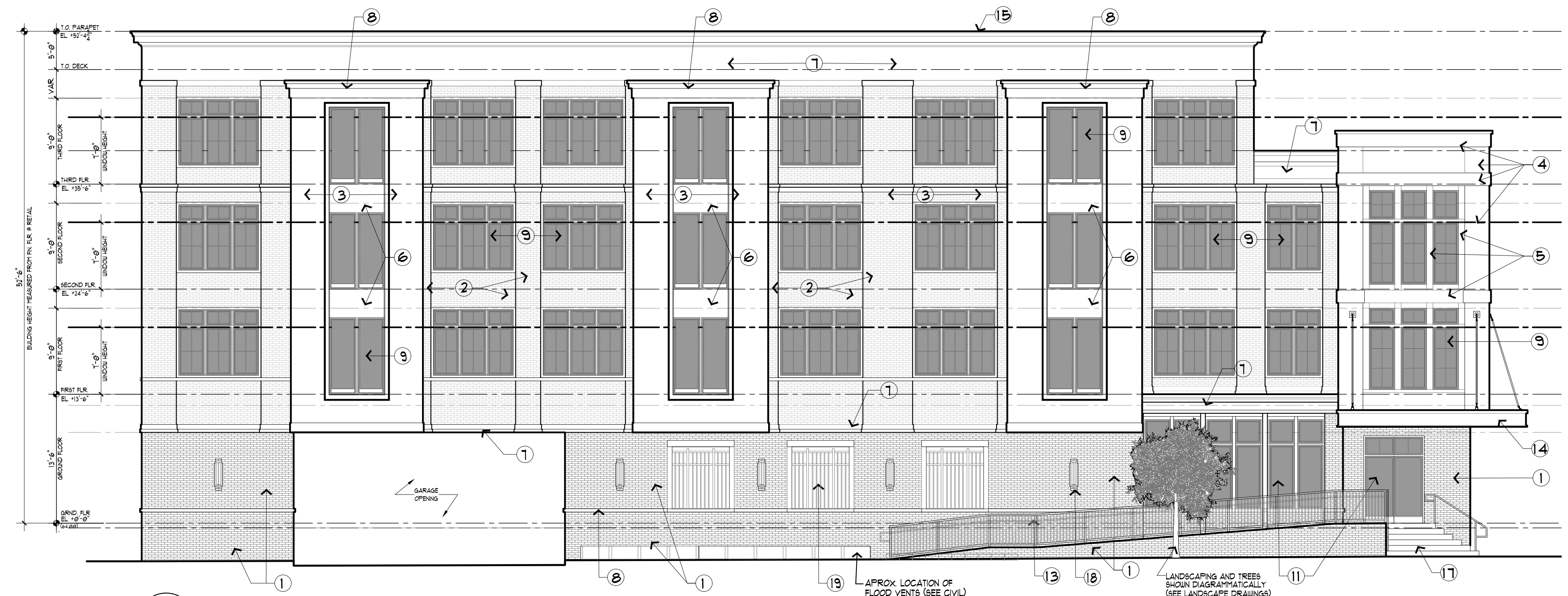
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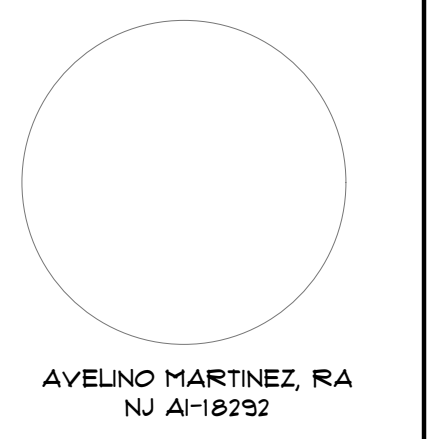
C RIGHT SIDE ELEVATION
A-08 SCALE: 1/8"=1'-0"



D LEFT SIDE ELEVATION
A-08 SCALE: 1/8"=1'-0"

PROPOSED
MIXED USE DEVELOPMENT
 SOUTH AVE & HIGH STREET
 CRANFORD, NEW JERSEY

LATEST REVISION	DATE
1	ISSUE FOR APPROVALS 31-2023



EXTERIOR ELEVATIONS

DRAWING NO.
A-08

PROJ. NO.: 16121