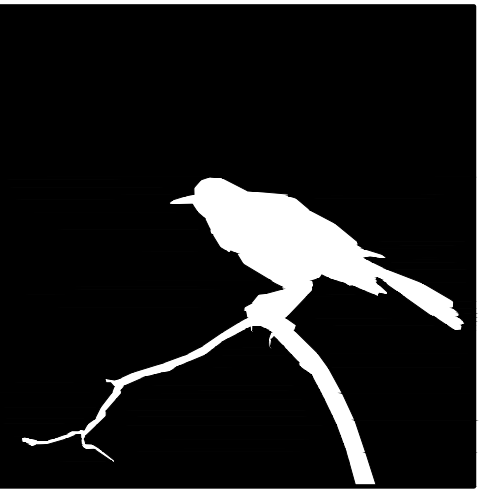


PROPOSED MIXED USE DEVELOPMENT

SOUTH AVE & HIGH STREET TOWNSHIP OF CRANFORD UNION COUNTY, NEW JERSEY

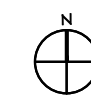
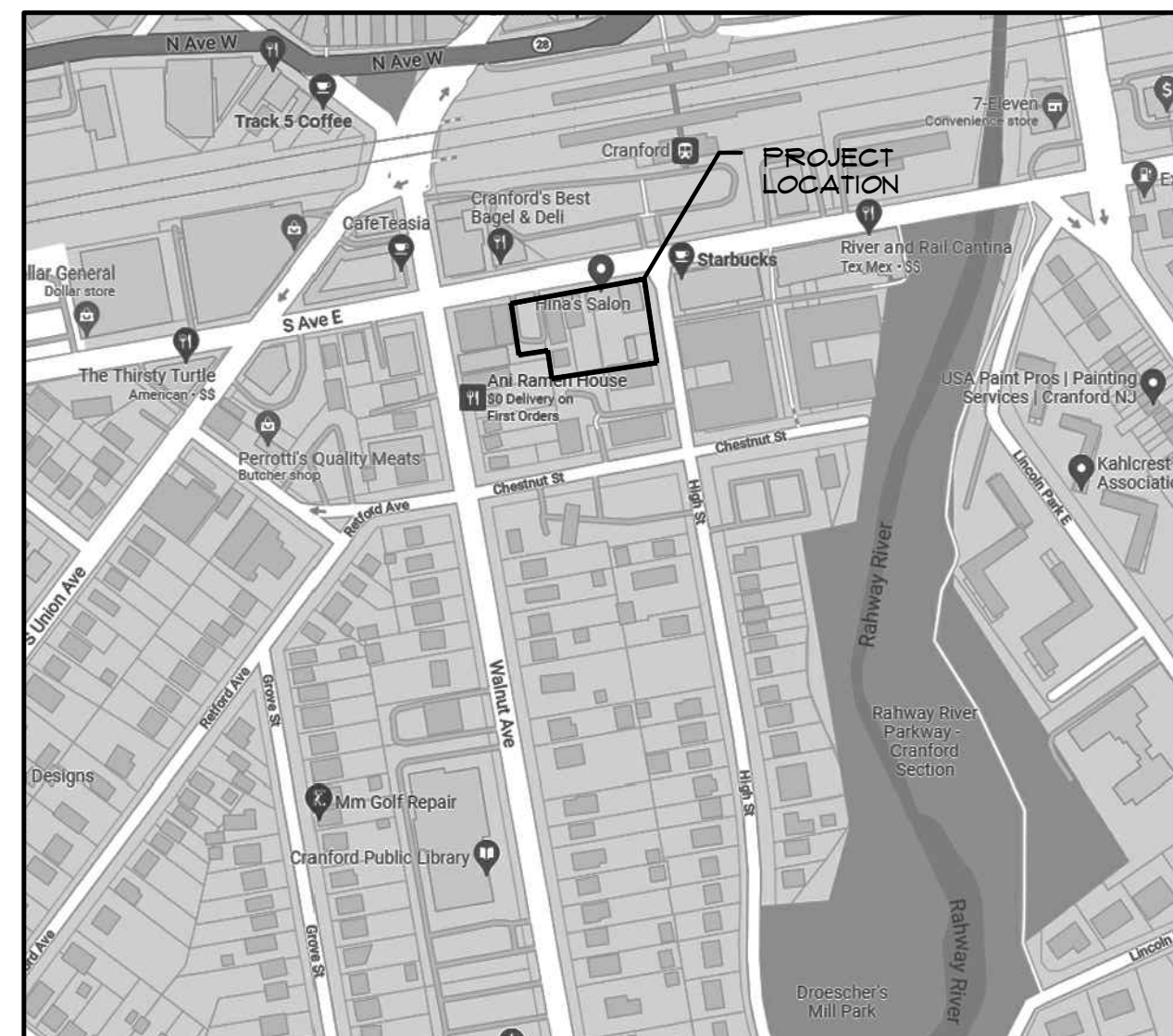


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PO BOX 5943
NEWARK, NEW JERSEY 07105
CERT. OF AUTHORIZATION 21AC00099200

PROPOSED
MIXED USE DEVELOPMENT
SOUTH AVE & HIGH STREET
CRANFORD, NEW JERSEY

VICINITY MAP

DIAGRAMMATIC FOR LOCATION REFERENCE ONLY (SEE CIVIL DRAWINGS)



PROJECT INFORMATION

LOCATION:
108-126 SOUTH AVENUE EAST,
32 HIGH STREET
BLOCK 47B, LOTS 2, 3, 4, 5 & 6
TOWNSHIP OF CRANFORD
UNION COUNTY, NEW JERSEY

CIVIL ENGINEER:
FRENCH & PARRELLO ASSOCIATES
1800 ROUTE 94, SUITE 101
MALL, NEW JERSEY 07114
732.312.9800

DRAWING INDEX

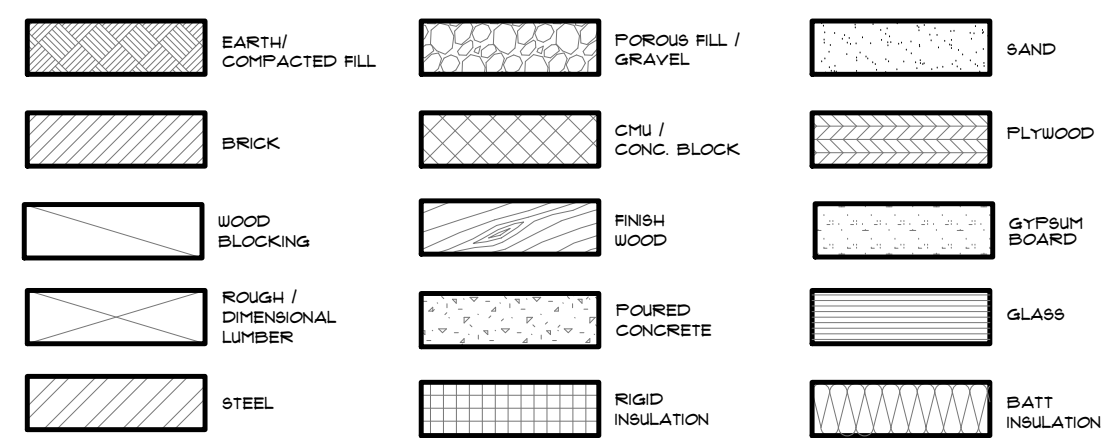
ARCHITECTURAL		
DRWG. SHEET NAME	DATE	
T-1	TITLE SHEET	2-23-2023
A-01	GROUND FLOOR PLAN	2-23-2023
A-02	FIRST FLOOR PLAN	2-23-2023
A-03	SECOND FLOOR PLAN	2-23-2023
A-04	THIRD FLOOR PLAN	2-23-2023
A-05	ROOF PLAN	2-23-2023
A-06	EXTERIOR ELEVATIONS	2-23-2023
A-07	EXTERIOR ELEVATIONS	2-23-2023
A-08	EXTERIOR ELEVATIONS	2-23-2023

BUILDING MATRIX

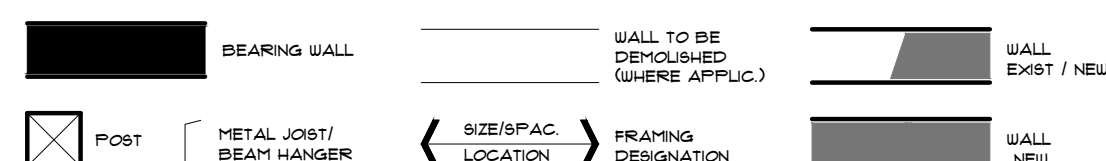
TOTAL					
Story	1 bed	1bed+den	2 bed	3 bed	Total
Average Areas	848 sf	1,078 sf	1,266 sf	1,177 sf	
2	8	2	7	1	18
3	7	6	7	1	21
4	9	0	7	0	16
Total	24	8	21	2	55
COAH	1	0	6	2	9
MARKET	23	8	15	0	46

LATEST REVISION	DATE
6	ISSUE FOR APPROVALS 2-23-2023

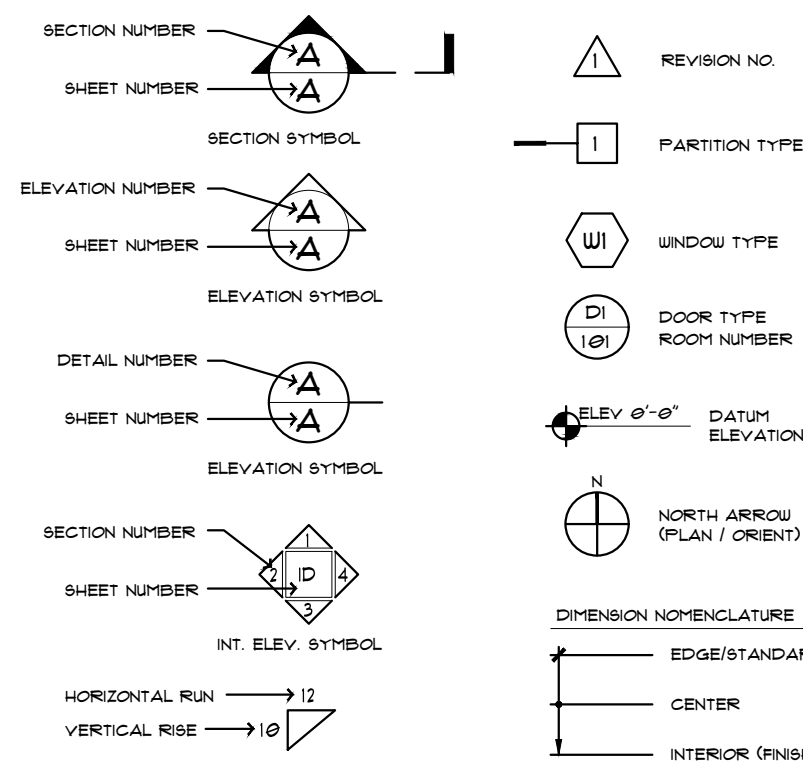
ARCHITECTURAL MATERIALS LEGEND



PLAN SYMBOLS LEGEND



GRAPHIC SYMBOLS LEGEND



ABBREVIATIONS

ADJ _____ ADJACENT	HM _____ HOLLOW METAL
AFF _____ ABOVE FINISHED FLOOR	LAV _____ LAVATORY
ALUM _____ ALUMINUM	INSUL _____ INSULATION
APVD _____ APPROVED	MEP _____ MECHANICAL, ELECTRICAL & PLUMBING
BO _____ BOTTOM OF	MFR _____ MANUFACTURER
CL _____ CLOSET	MS _____ MISCELLANEOUS
CLG _____ CEILING	MO _____ MASONRY OPENING
CONC _____ CONCRETE	MR _____ MOISTURE RESISTANT
CO _____ CARBON MONOXIDE	MTL _____ METAL
COORD _____ COORDINATE	N/A _____ NON-APPLICABLE
CONT _____ CONTINUOUS	NC _____ NOT IN CONTRACT
DET _____ DETAIL	NOH _____ NOMINAL
DN _____ DOWN	OAE _____ OR APPROVED EQUAL
DO _____ REPEAT STRUCT.	OC _____ ON CENTER
DWG(S) _____ DRAWING(S)	OFI _____ OWNER FURNISHED AND INSTALLED
ELEC _____ ELECTRICAL	OFI _____ OWNER FURN, CONTRACTOR INSTALLED
EXIST _____ EXISTING	OPF _____ OPPOSITE
FD _____ FLOOR DRAIN	PAR _____ PARALLEL BEAM (P&L)
FE _____ FIRE EXTINGUISHER	PTD _____ PRESSURE TREATED
FF _____ FINISHED FLOOR	PR _____ PAINTED
FN _____ FINISHED	RCP _____ REFLECTED CEILING PLAN
FL _____ FLOOR	REQD _____ REQUIRED
FO _____ FACE OF	STRUCT _____ STRUCTURE/STRUCTURAL
FR _____ FIRE RATED	TO _____ TOP OF
FS _____ FIRE STOP	TYFF _____ TYPICAL
GC _____ GENERAL CONTRACTOR	UNO _____ UNLESS NOTED OTHERWISE
GWB _____ GYPSUM WALL BOARD	VER _____ VERIFY IN FIELD
HC _____ HANDICAP	WC _____ WATER CLOSET
HDR _____ HEADER	WD _____ WOOD
HT _____ HEIGHT	WR _____ WATER RESISTANT

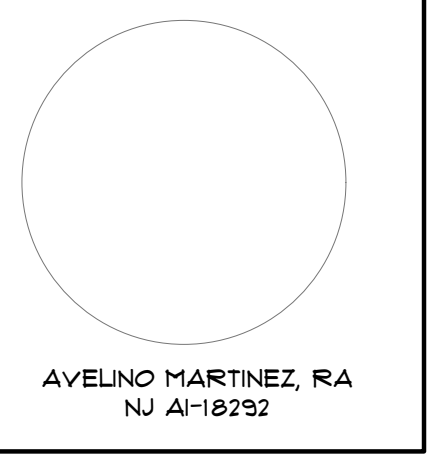
GENERAL NOTES

COPYRIGHT OF THESE DRAWINGS REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED IN ANY FORM OR IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT. IF REPRODUCED WITHOUT PERMISSION, THE ARCHITECT SHALL BE INDEMNIFIED AND HELD HARMLESS FROM ALL LIABILITY, LEGAL EXPENSE, CLAIMS, DAMAGES, LOSSES AND EXPENSES. THE OWNER AND CONTRACTOR SHALL INDEMNIFY AND HOLD THE ARCHITECT AND ITS CONSULTANTS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE RESPECTIVE CODES AND STANDARDS APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE PERTINENT VERSIONS OF LOCAL, STATE AND FEDERAL CODES. DO NOT SCALE DRAWINGS. ALL DIMENSIONS NOTED SHALL GOVERN AND REPRESENT THE GENERAL ARRANGEMENT OF THE WORK. THE CONTRACTOR SHALL CONFIRM DIMENSION AND FIELD CONDITIONS PRIOR TO EXECUTION OF ANY WORK. WHERE ANY DISCREPANCY IS FOUND TO EXIST WITH OR BETWEEN DRAWINGS AND/OR DOCUMENTS, THEY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. WHERE THE CONTRACTOR MUST MAKE MODIFICATIONS TO MAKE PARTS ALIGN IN ACCORDANCE WITH DESIGN INTENT, SUCH MODIFICATION SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

INFORMATION CONTAINED ON THESE DRAWINGS IS INTENDED FOR PURPOSES OF ILLUSTRATING DESIGN INTENT AND ZONING / LAND USE CHARACTERISTICS. FINAL DETAILING, INTERIOR LAYOUTS, AND SPECIFIC CONDITIONS ARE SUBJECT TO FURTHER PROJECT DEVELOPMENT.

PRELIMINARY BUILDING CODE DATA

- | | |
|----------------------------------|--|
| 1. USE GROUP _____ | R-2 (RESIDENTIAL APARTMENTS)
S-2 (PRIVATE GARAGE)
M (MERCANTILE) |
| 2. CONSTRUCTION TYPE _____ | POPULM CONSTRUCTION (NBC 510)
TYPE V (ABOVE)
TYPE I (BELOW) |
| 3. HANDICAP ACCESSIBILITY: _____ | NJ BARRIER FREE SUBCODE/FHA |
| 4. FIRE PROTECTION SYSTEM: _____ | NFPA 13/3R |



TITLE SHEET

DRAWING NO.
T-1

PROJ. NO.: | 6121



BLACKBIRD GROUP ARCHITECTS LLC
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PROPOSED
MIXED USE DEVELOPMENT
 SOUTH AVE & HIGH STREET
 CRANFORD, NEW JERSEY

LATEST REVISION	DATE
11	ISSUE FOR APPROVALS 2-23-2023

Avelino Martinez
 AVELINO MARTINEZ, RA
 NJ AI-18292

GROUND FLOOR PLAN

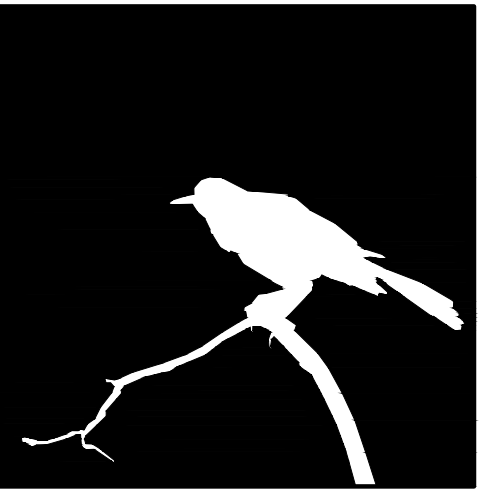
DRAWING NO.

A-01

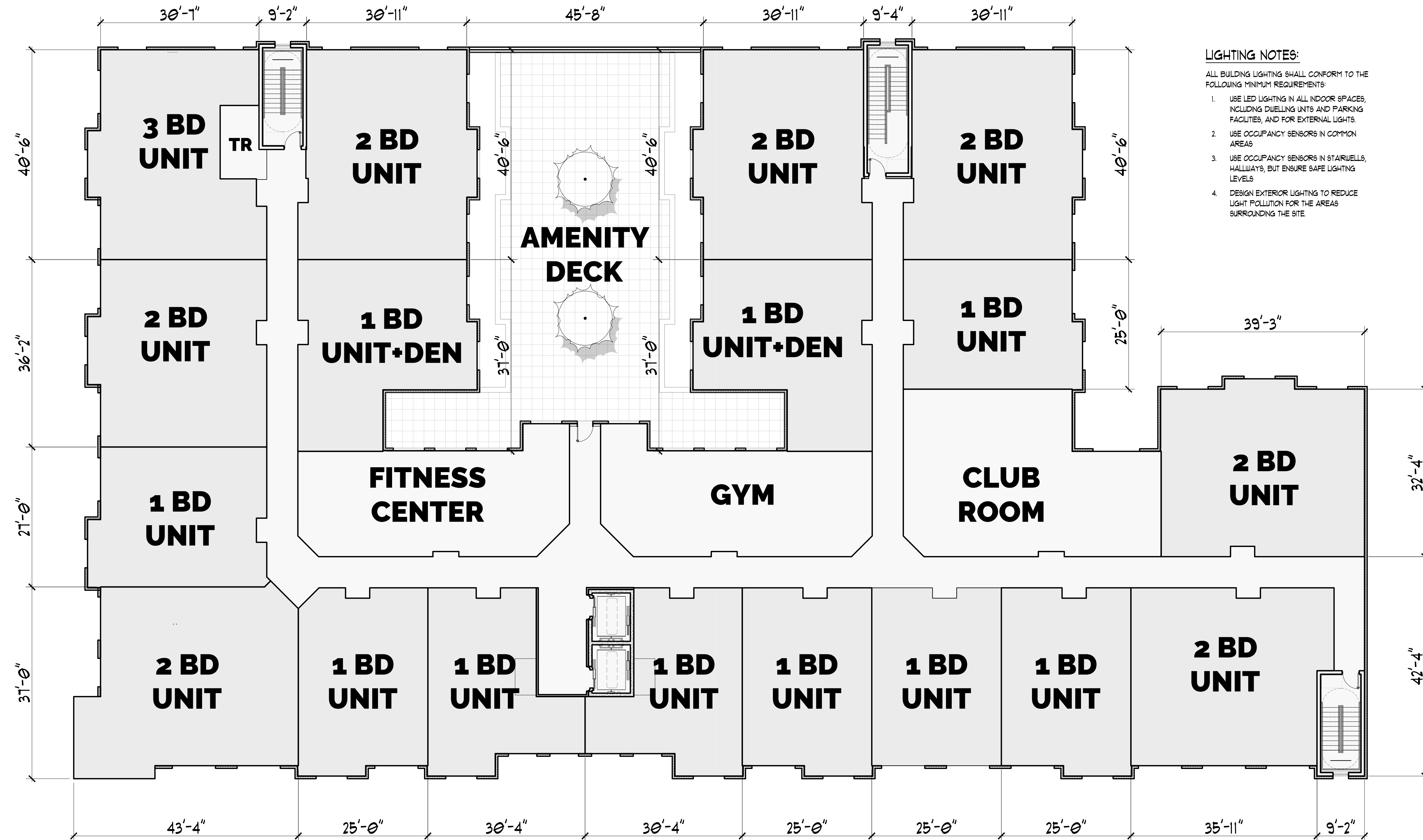
PROJ. NO.: 16121



A
A-01
 GROUND FLOOR PLAN
 SCALE: 3/32"=1'-0"



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LIGHTING NOTES:

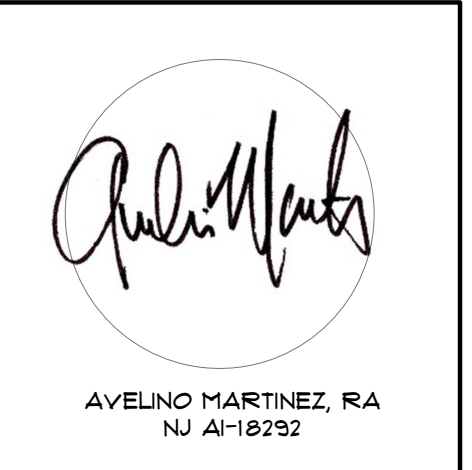
ALL BUILDING LIGHTING SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. USE LED LIGHTING IN ALL INDOOR SPACES, INCLUDING DWELLING UNITS AND PARKING FACILITIES, AND FOR EXTERNAL LIGHTS.
2. USE OCCUPANCY SENSORS IN COMMON AREAS.
3. USE OCCUPANCY SENSORS IN STAIRWELLS, HALLWAYS, BUT ENSURE SAFE LIGHTING LEVELS.
4. DESIGN EXTERIOR LIGHTING TO REDUCE LIGHT POLLUTION FOR THE AREAS SURROUNDING THE SITE.

B FIRST FLOOR PLAN
A-02 SCALE: 3/32"=1'-0"

**PROPOSED
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 CRANFORD, NEW JERSEY

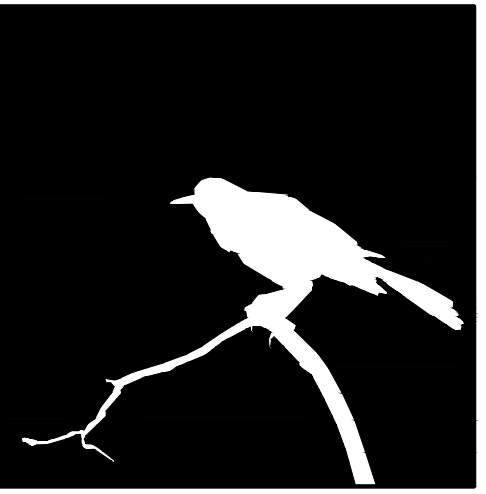
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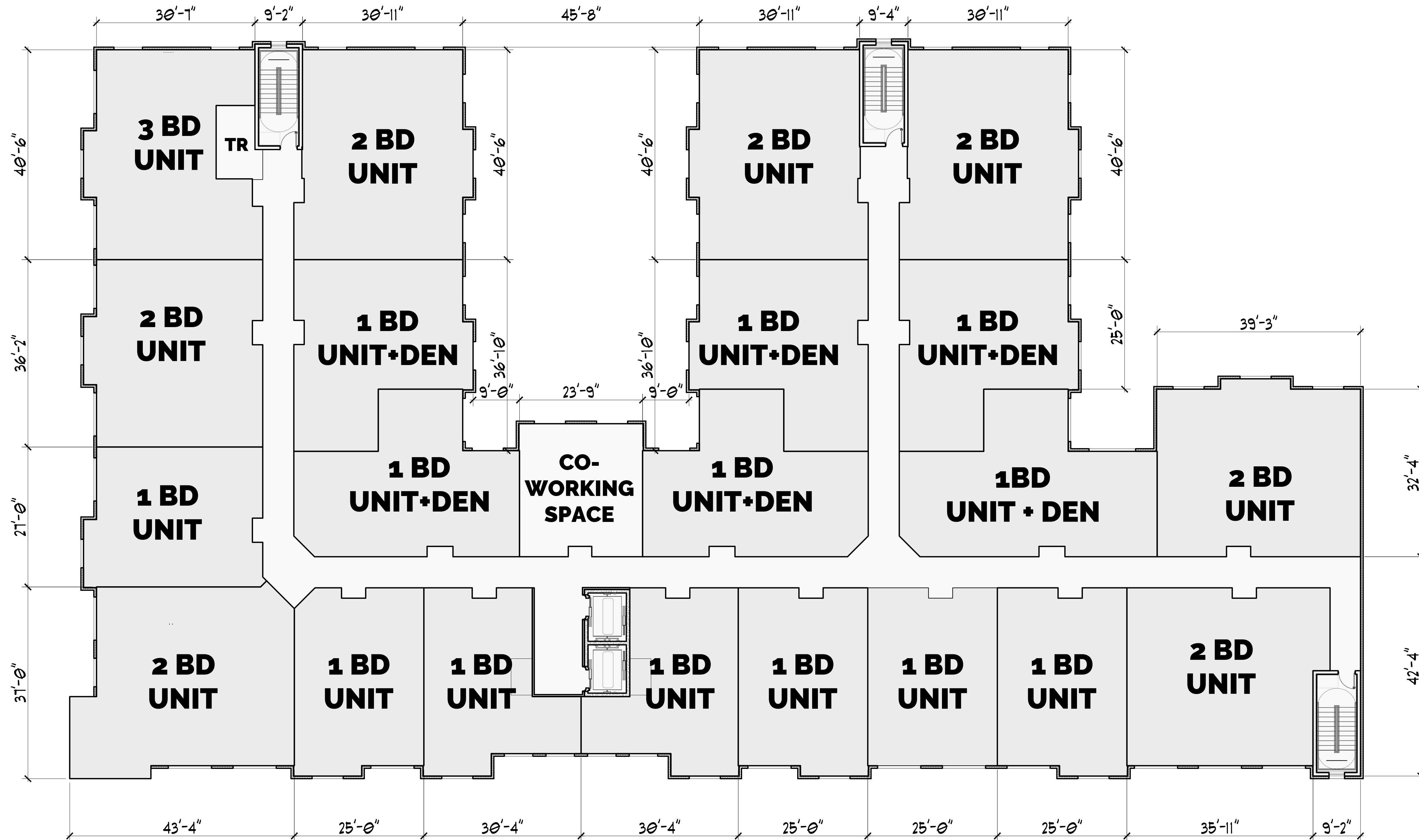
**FIRST FLOOR
 PLAN**

DRAWING NO.
A-02

PROJ. NO.: 16121



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C SECOND FLOOR PLAN
 A-03 SCALE: 3/32"=1'-0"

PROPOSED
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 SOUTH AVE & HIGH STREET
 CRANFORD, NEW JERSEY

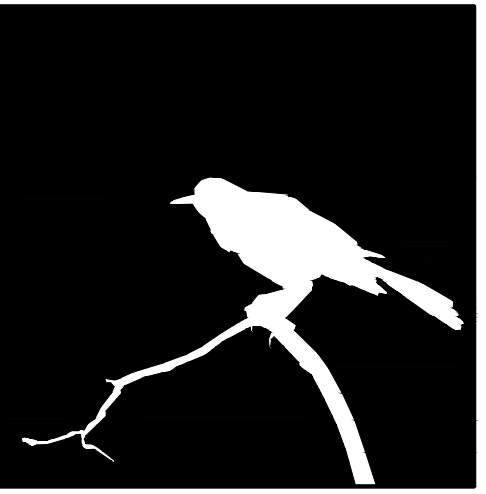
LATEST REVISION	DATE
10 ISSUE FOR APPROVALS	2-23-2023

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 AVELINO MARTINEZ, RA
 NJ A#18292

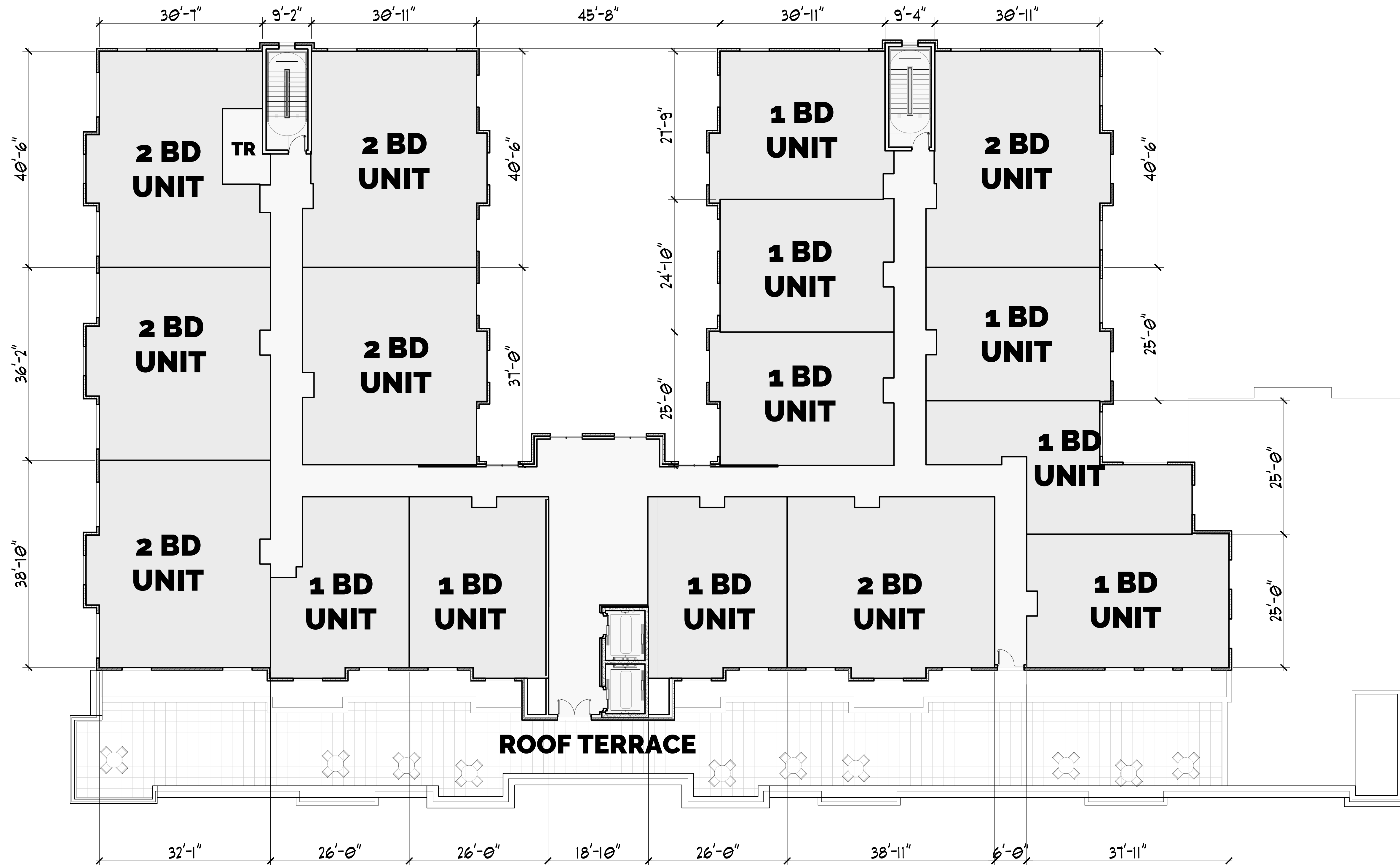
SECOND FLOOR
 PLAN

DRAWING NO.
A-03

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D THIRD FLOOR PLAN
 A-04 SCALE: 3/32"=1'-0"

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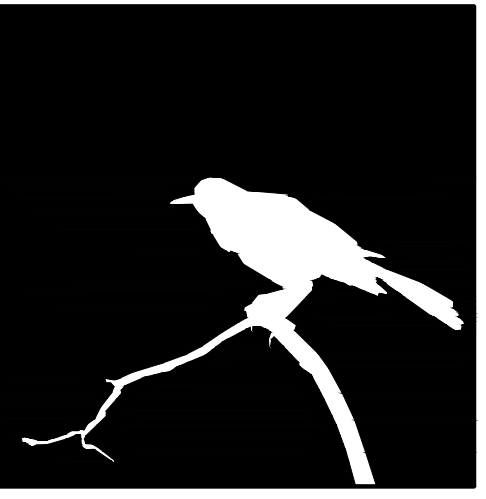
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 NJ AI-18292

THIRD FLOOR
 PLAN

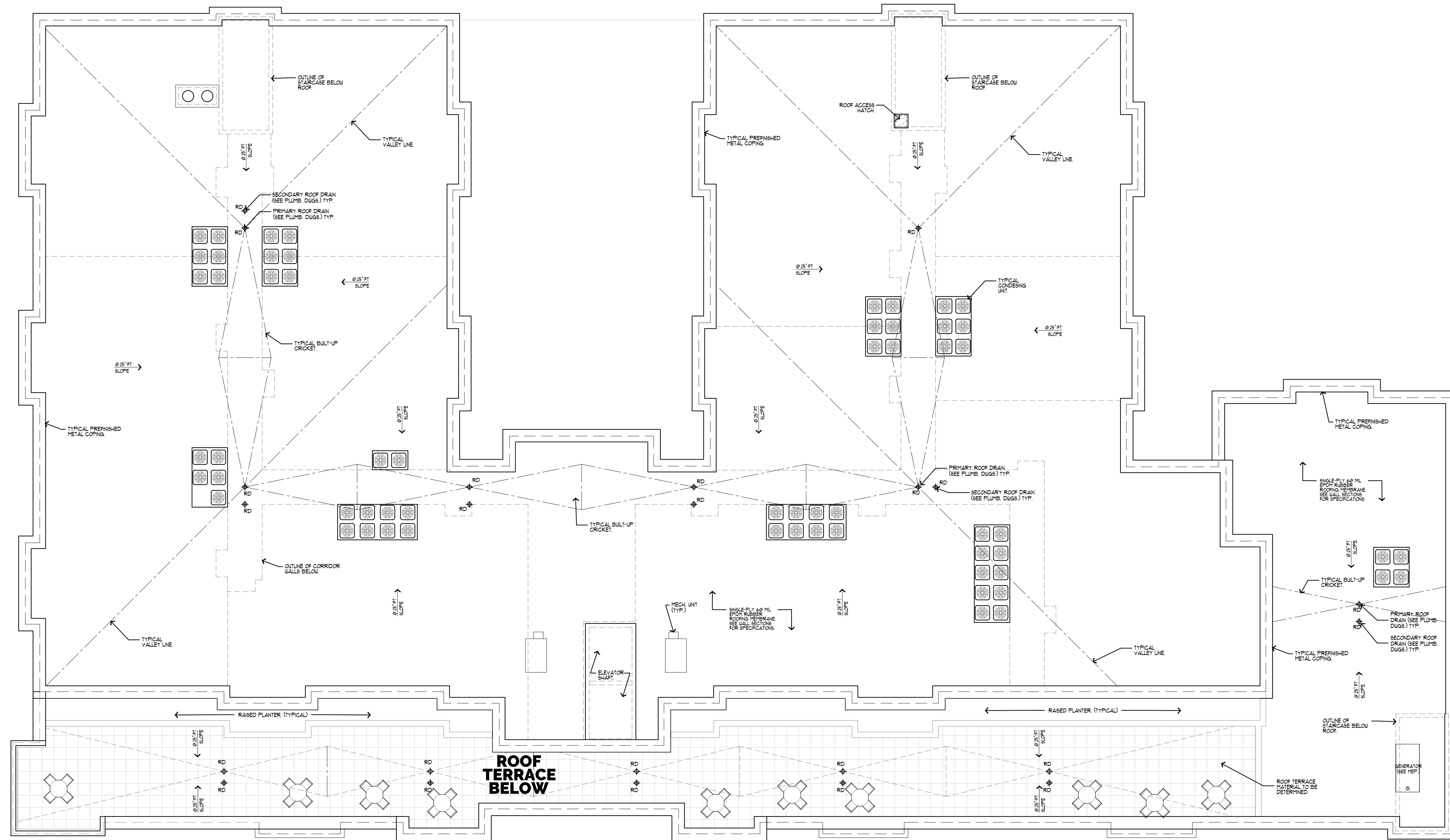
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PROJ. NO.: 16121



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D ROOF PLAN
A-05 SCALE: 3/32"=1'-0"

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ROOF PLAN

DRAWING NO.
A-05

PROJ. NO.: 16121



A FRONT ELEVATION
A-06 SCALE: 3/32"=1'-0"

- EXTERIOR FINISH LEGEND**
- 1 BRICK (COLOR 1)
 - 2 BRICK (COLOR 2)
 - 3 PRECAST STONE VENEER
 - 4 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 1
 - 5 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 2
 - 6 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 3
 - 7 TRIM FASCIA BOARD, FRIEZE BOARD (FIBER CEMENT OR ACM) COLOR AS SELECTED BY OWNER
 - 8 PRECAST STONE TRIM, BAND, CROWN, COLOR 2
 - 9 INSULATING WINDOW TRANSOMS AS SPEC'D.
 - 10 INSULATING SLIDING PATIO DOORS AS SPEC'D.
 - 11 ALUMINUM & GLASS STOREFRONT WITH CLEAR INSULATING GLASS. SEE SHOP DWGS.
 - 12 INSULATING METAL FLUSH DOOR
 - 13 FINISHED METAL RAILING SYSTEM
 - 14 PREFINISHED, PREFABRICATED METAL CANOPY. SEE SHOP DWGS.
 - 15 PREFINISHED METAL COPING
 - 16 PAINTED CONCRETE COLUMNS
 - 17 PAINTED CONCRETE STAIR
 - 18 WALL MOUNTED LIGHT FIXTURE (SEE LIGHTING PLANS)
 - 19 PREFABRICATED, PREFINISHED METAL GRILLE. SEE SHOP DWGS.
 - 20 EXISTING BUILDING SIGNAGE (FINAL SIGNAGE TO BE COORDINATED WITH ACTUAL TENANT)
- TRANSPARENCY (PRIMARY FACADE)**
 GROUND FLOOR: 40.68%
 UPPER STORES: 32.1%



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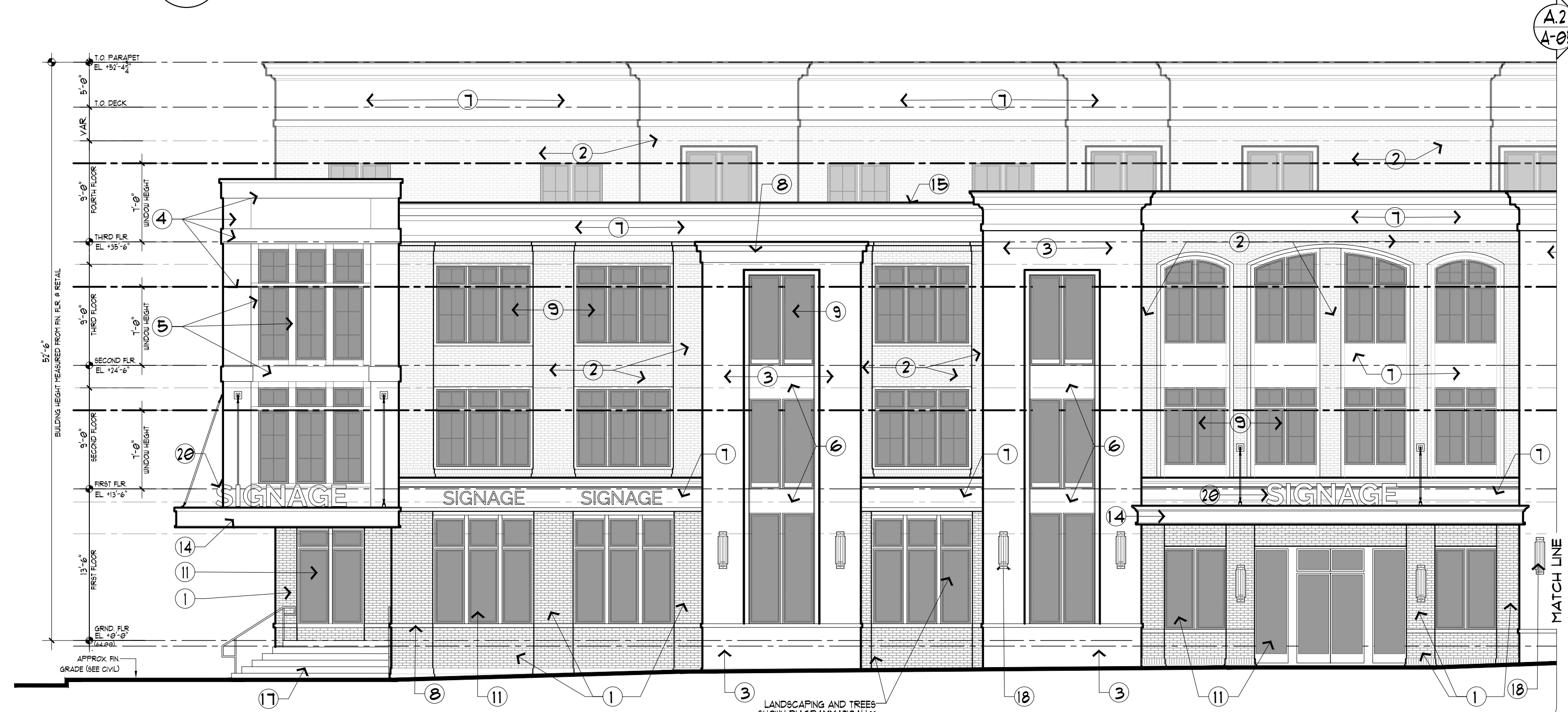
PROPOSED MIXED USE DEVELOPMENT
 SOUTH AVE & HIGH STREET
 CRANFORD, NEW JERSEY

LATEST REVISION	DATE
6 ISSUE FOR APPROVALS	2-23-2023

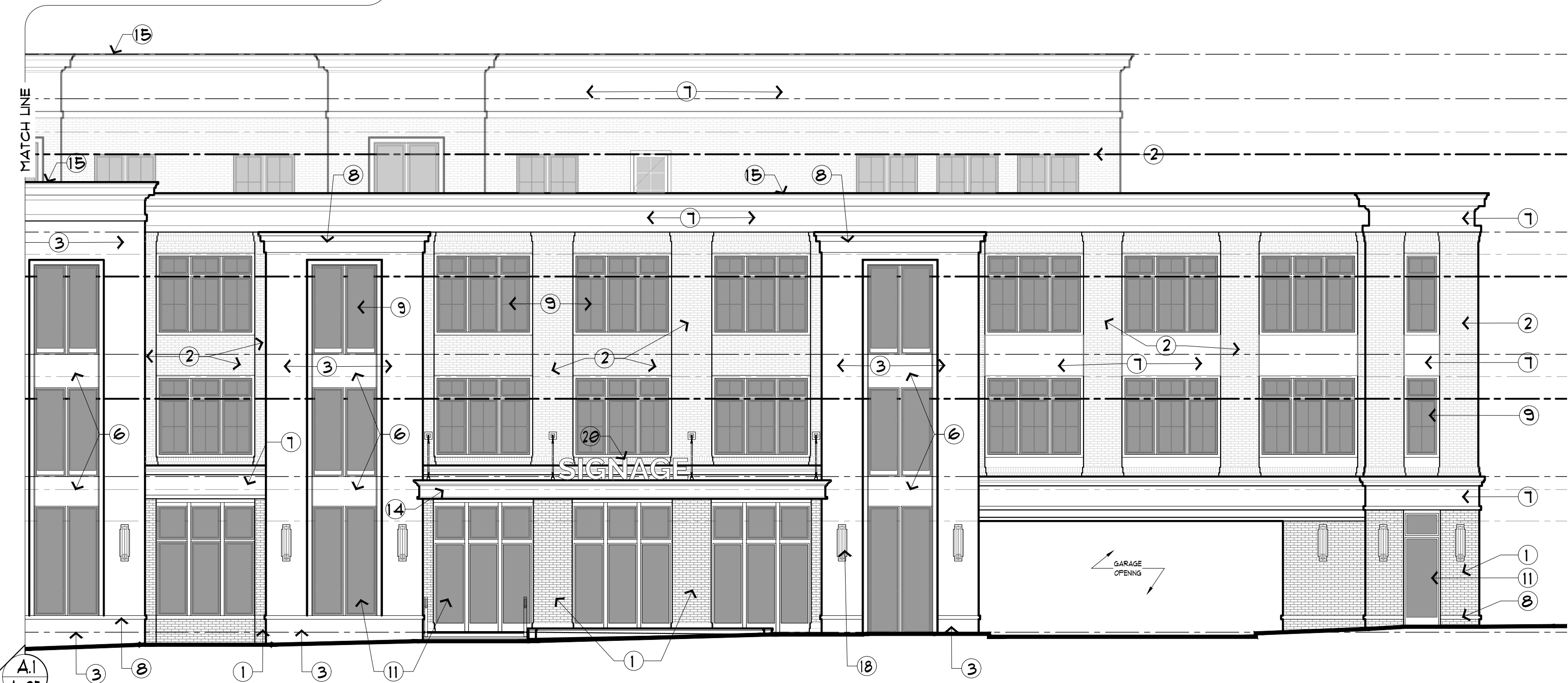
Avelino Martinez
 AVELINO MARTINEZ, RA
 NJ A#18292

EXTERIOR ELEVATIONS

DRAWING NO.
A-06
 PROJ. NO.: 16121



A.1 FRONT ELEVATION
A-06 SCALE: 1/8"=1'-0"

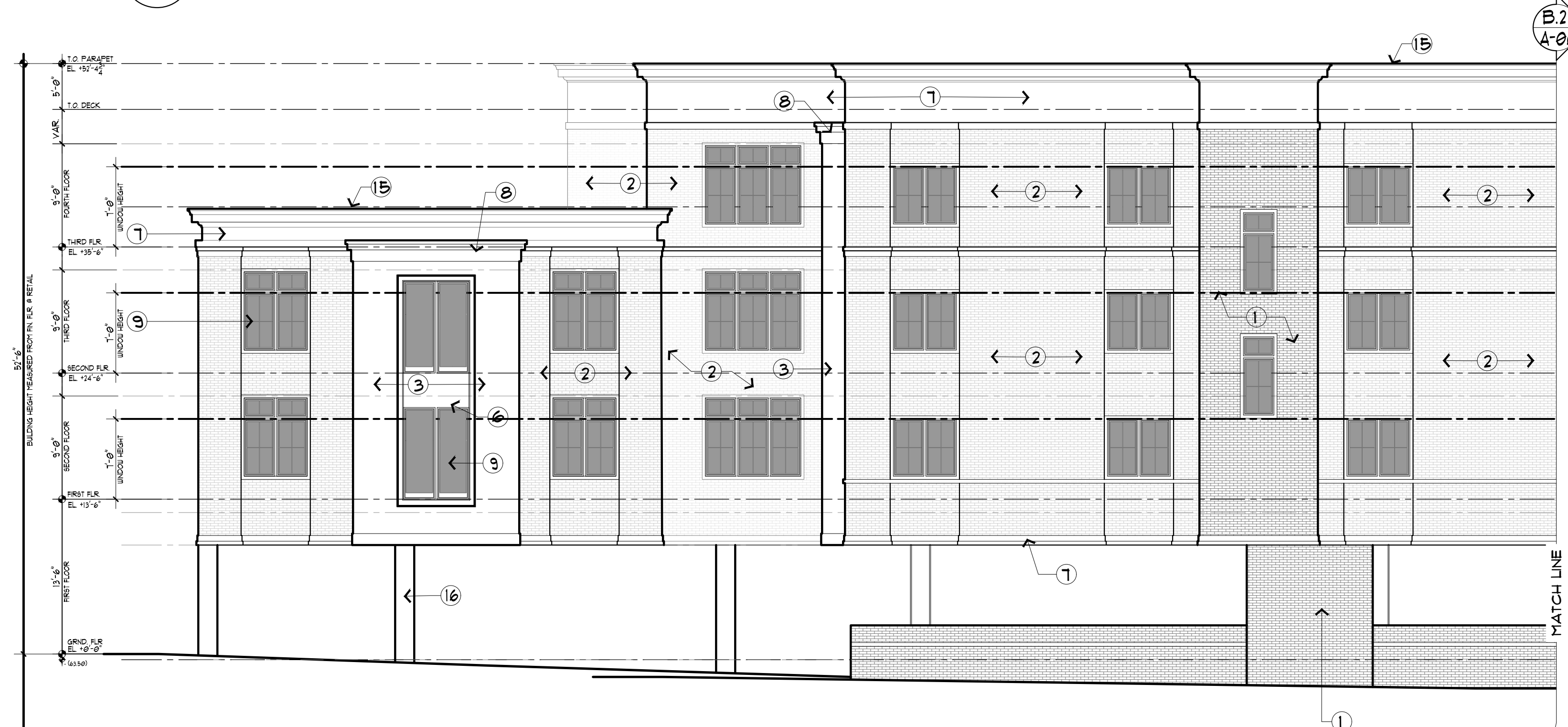


A.2 FRONT ELEVATION
A-06 SCALE: 1/8"=1'-0"

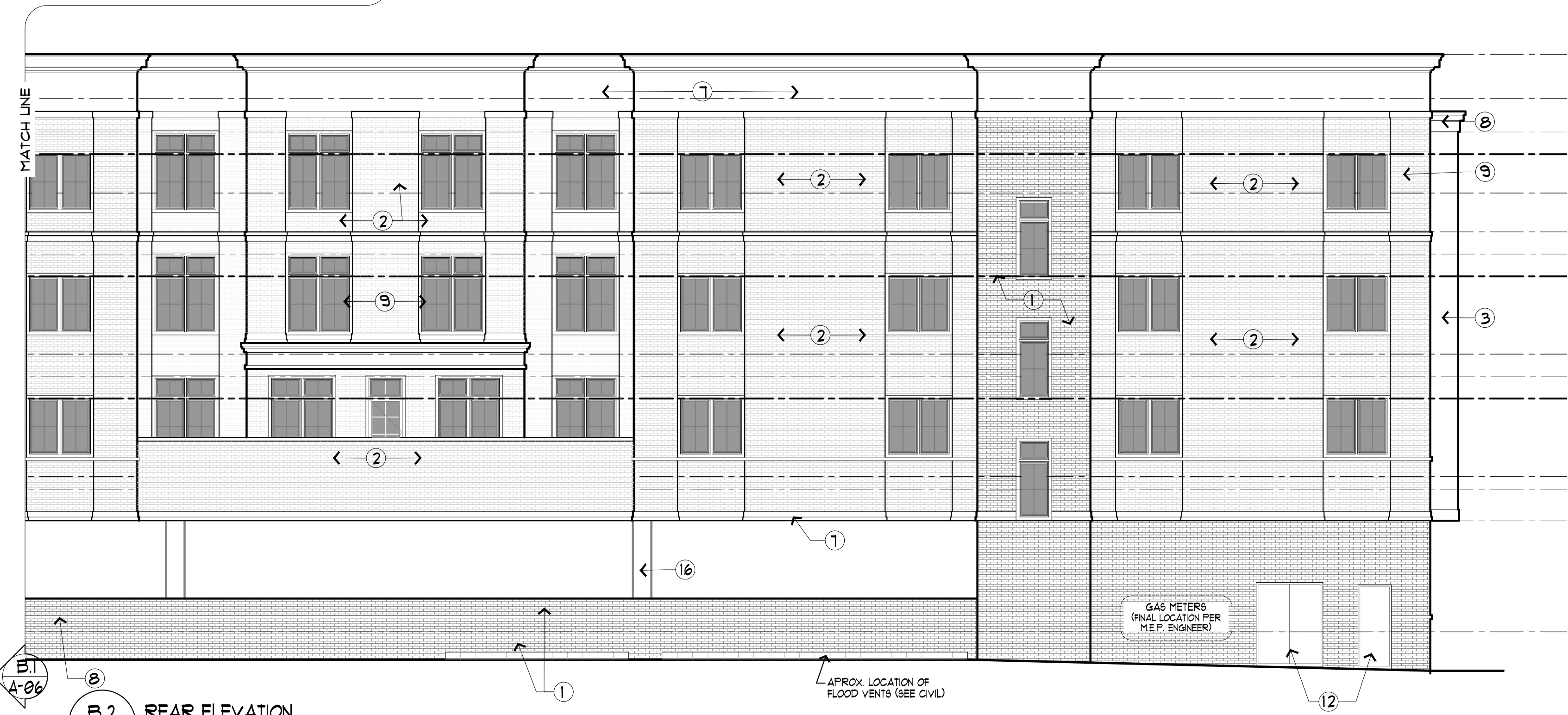


B
A-01 REAR ELEVATION
SCALE: 3/32"=1'-0"

- EXTERIOR FINISH LEGEND**
- ① BRICK (COLOR 1)
 - ② BRICK (COLOR 2)
 - ③ PRECAST STONE VENEER
 - ④ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 1
 - ⑤ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 2
 - ⑥ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 3
 - ⑦ TRIM FASCIA BOARD, FRIEZE BOARD (FIBER CEMENT OR ACM) COLOR AS SELECTED BY OWNER
 - ⑧ PRECAST STONE TRIM, BAND, CROWN, COLOR 2
 - ⑨ INSULATING WINDOW TRANSOMS AS SPEC'D.
 - ⑩ INSULATING SLIDING PATIO DOORS AS SPEC'D.
 - ⑪ ALUMINUM & GLASS STOREFRONT WITH CLEAR INSULATING GLASS. SEE SHOP DWGS.
 - ⑫ INSULATING METAL FLUSH DOOR
 - ⑬ FINISHED METAL RAILING SYSTEM
 - ⑭ FINISHED, PREFABRICATED METAL CANOPY. SEE SHOP DWGS.
 - ⑮ FINISHED METAL COPING
 - ⑯ PAINTED CONCRETE COLUMNS
 - ⑰ PAINTED CONCRETE STAIR
 - ⑱ WALL MOUNTED LIGHT FIXTURE (SEE LIGHTING PLANS)
 - ⑲ PREFABRICATED, FINISHED METAL GRILLE. SEE SHOP DWGS.
 - ⑳ EXAMPLE BUILDING SIGNAGE (FINAL SIGNAGE TO BE COORDINATED WITH ACTUAL TENANT)



B.1
A-01 REAR ELEVATION
SCALE: 1/8"=1'-0"



B.2
A-01 REAR ELEVATION
SCALE: 1/8"=1'-0"



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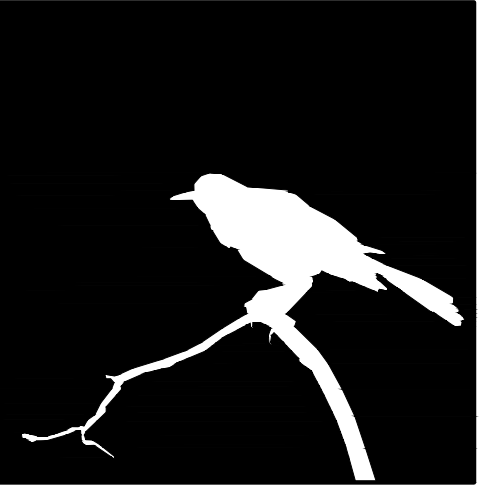
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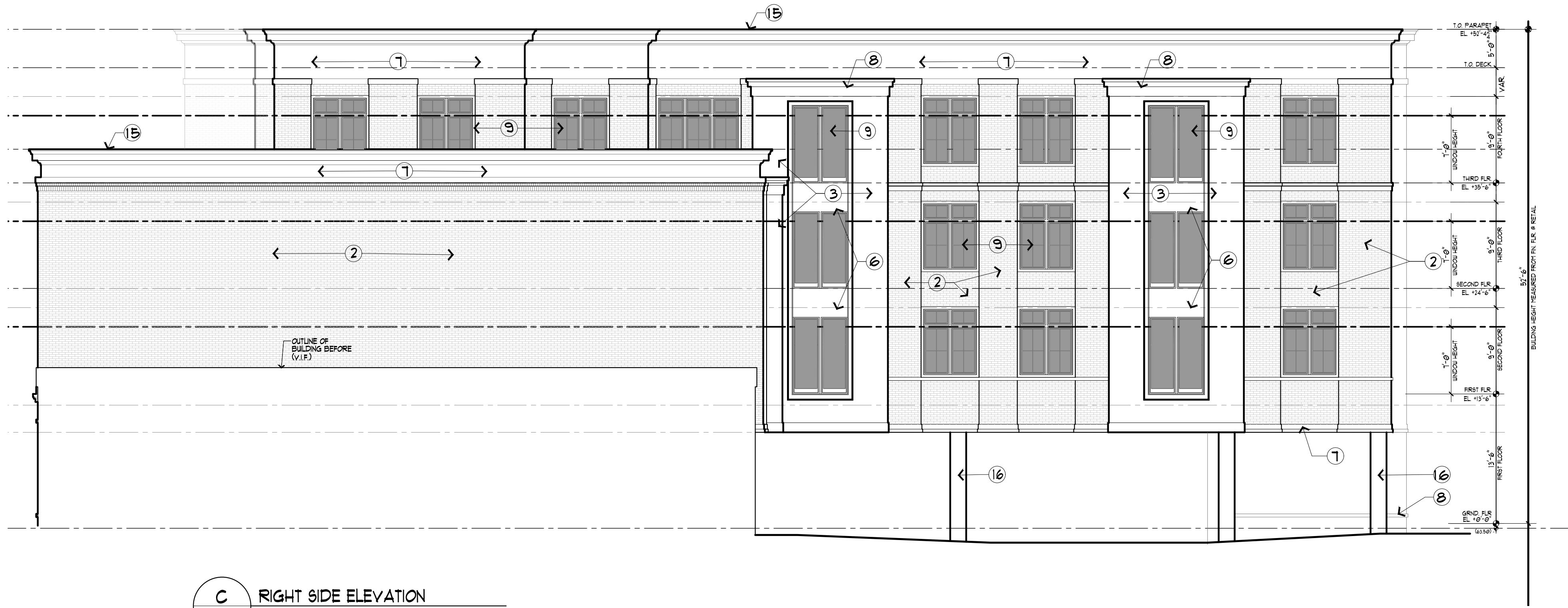
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 NJ AI-18292

EXTERIOR ELEVATIONS

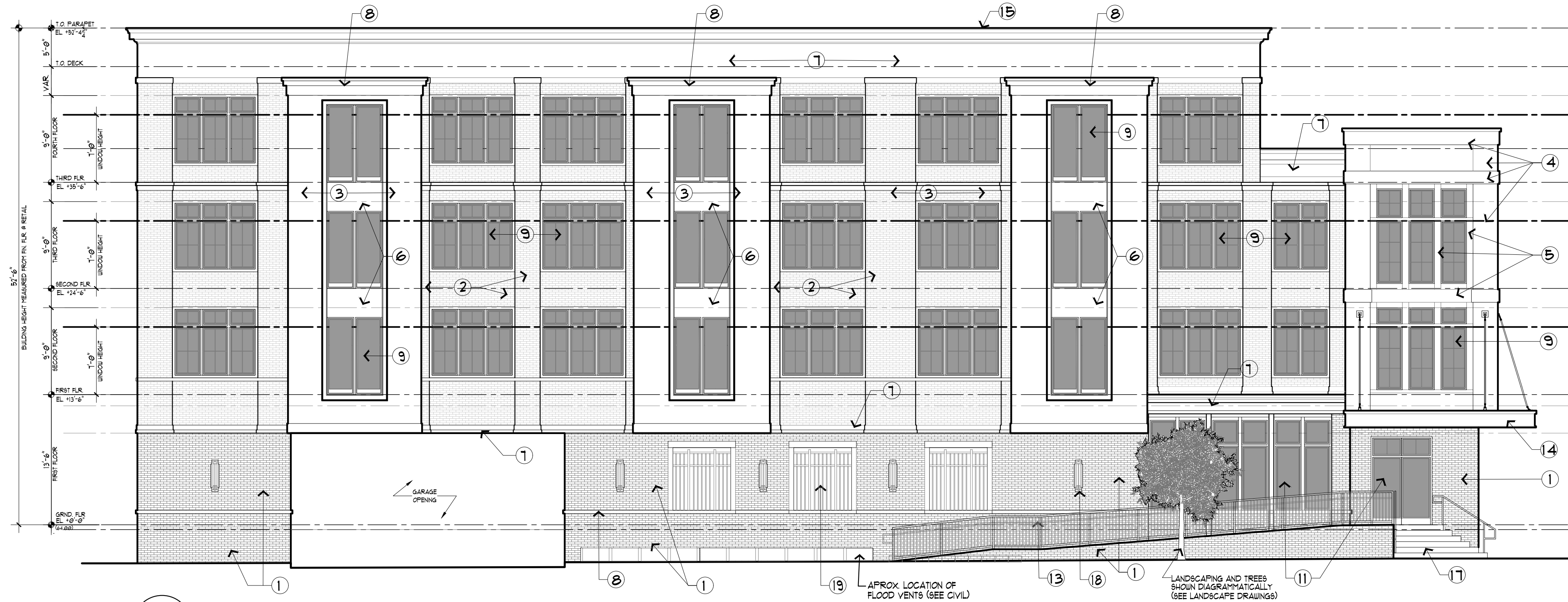
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A-07
 PROJ. NO.: 16121



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C RIGHT SIDE ELEVATION
A-08 SCALE: 1/8"=1'-0"



D LEFT SIDE ELEVATION
A-08 SCALE: 1/8"=1'-0"

PROPOSED
MIXED USE DEVELOPMENT
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EXTERIOR
 ELEVATIONS

DRAWING NO.
A-08

PROJ. NO.: 16121