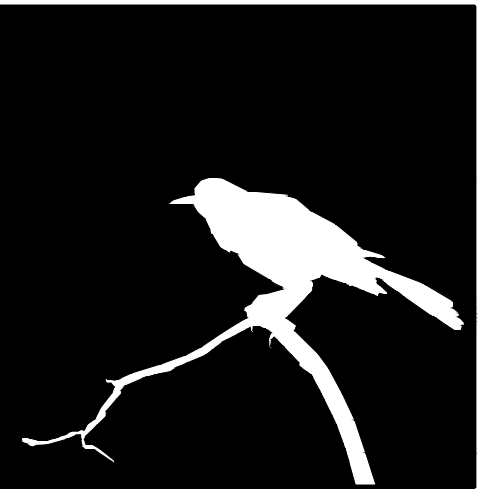


# PROPOSED MIXED USE DEVELOPMENT

## SOUTH AVE & HIGH STREET TOWNSHIP OF CRANFORD UNION COUNTY, NEW JERSEY

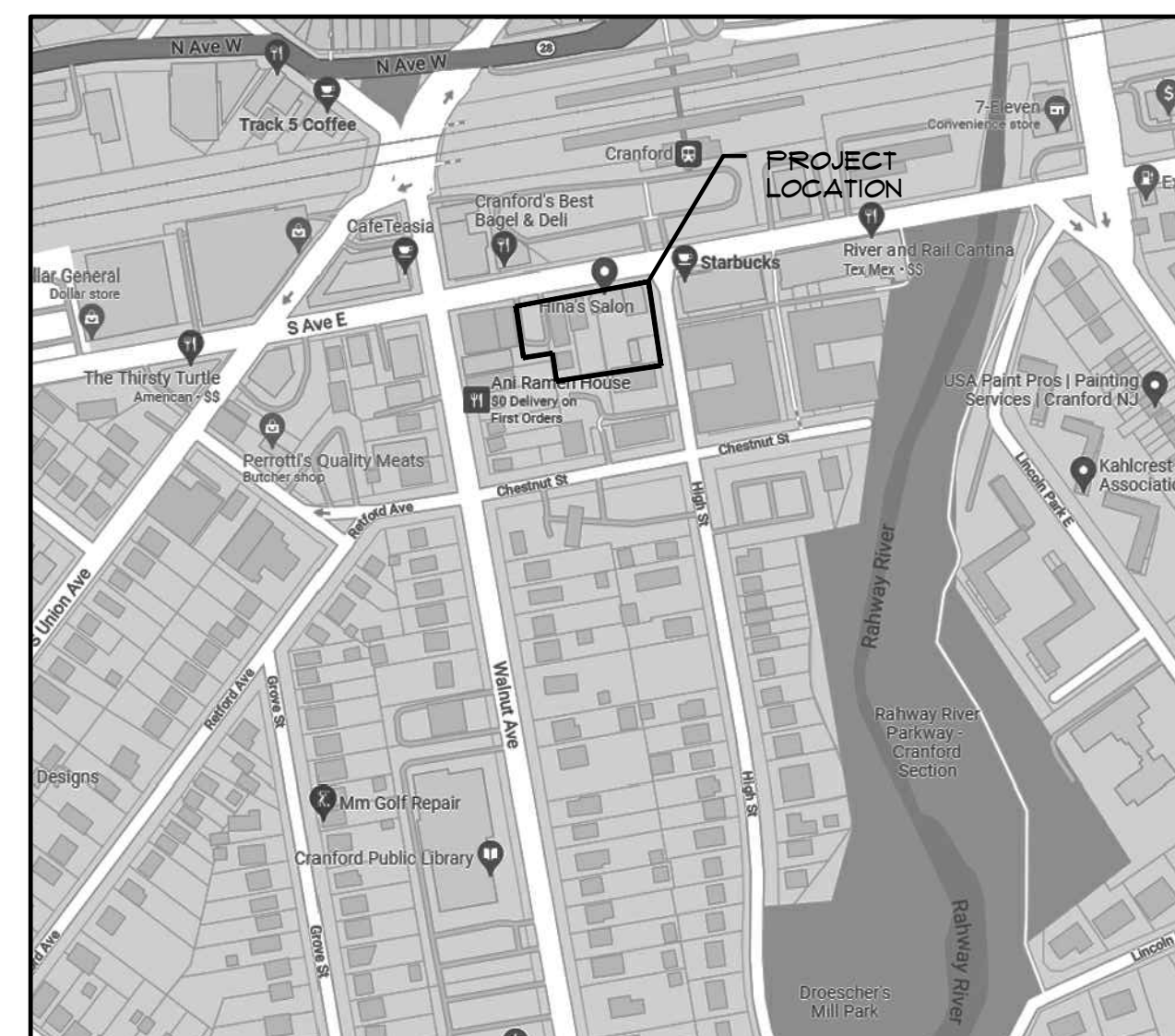


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TEL: 973.954.4650  
PO BOX 5943  
NEWARK, NEW JERSEY 07105  
CERT. OF AUTHORIZATION 21AC00099200

**PROPOSED MIXED USE DEVELOPMENT**  
 SOUTH AVE & HIGH STREET  
 CRANFORD, NEW JERSEY

### VICINITY MAP

DIAGRAMMATIC FOR LOCATION REFERENCE ONLY (SEE CIVIL DRAWINGS)



### PROJECT INFORMATION

**LOCATION:**  
100-126 SOUTH AVENUE EAST,  
32 HIGH STREET  
BLOCK 47B, LOTS 2, 3, 4, 5 & 6  
TOWNSHIP OF CRANFORD  
UNION COUNTY, NEW JERSEY

**CIVIL ENGINEER:**  
FRENCH & PARRELLO ASSOCIATES  
1800 ROUTE 94, SUITE 101  
MALL, NEW JERSEY 07114  
732.312.9800

### DRAWING INDEX

#### ARCHITECTURAL

DRWG. SHEET NAME	DATE
T-1 TITLE SHEET	3-1-2023
A-01 GROUND FLOOR PLAN	3-1-2023
A-02 FIRST FLOOR PLAN	3-1-2023
A-03 SECOND FLOOR PLAN	3-1-2023
A-04 THIRD FLOOR PLAN	3-1-2023
A-05 ROOF PLAN	3-1-2023
A-06 EXTERIOR ELEVATIONS	3-1-2023
A-07 EXTERIOR ELEVATIONS	3-1-2023
A-08 EXTERIOR ELEVATIONS	3-1-2023

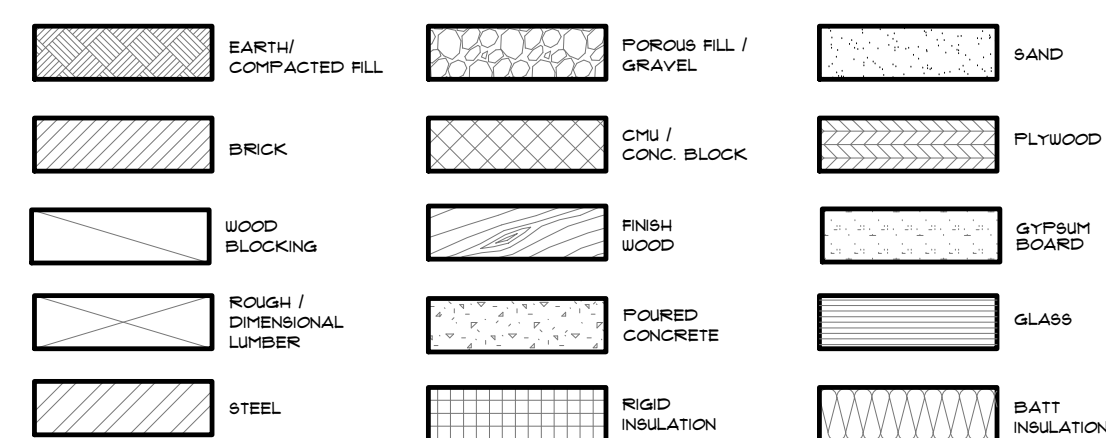
### BUILDING MATRIX

Unit	Type	Est. Area	MARKET	STORY			Total	% Total
				1	2	3		
1A	1 Bed	897	MARKET	1	1	1	3	5.45%
1A.1	1 Bed	801	MARKET	0	0	1	1	1.82%
1A.1.1	1 Bed	849	MARKET	1	1	0	2	3.64%
1A.1.2	1 Bed	832	MARKET	0	0	1	1	1.8%
1A.2	1 Bed	772	MARKET	0	0	1	1	1.82%
1A.2.1	1 Bed	853	MARKET	0	0	2	2	3.64%
1A.3	1 Bed	867	MARKET	1	1	0	2	3.6%
1A.4	1 Bed	820	MARKET	2	2	0	4	7.27%
1A.5	1 Bed + Den	1,027	MARKET	0	2	0	2	3.64%
1A.5.1	1 Bed + Den	1,031	MARKET	2	0	0	2	3.6%
1A.6	1 Bed	890	MARKET	0	0	1	1	1.82%
1A.7	1 Bed	875	MARKET	2	2	0	4	7.27%
1A.8	1 Bed	890	MARKET	1	1	0	2	3.6%
1A.9.1	1 Bed	939	MARKET	0	0	1	1	1.82%
1A.10	1 Bed	787	COAH	0	0	1	1	1.82%
1B.1	1 Bed + Den	1,064	MARKET	0	2	0	2	3.6%
1B.2	1 Bed	866	COAH	0	1	0	1	1.8%
2A	2 Bed	1,296	MARKET	2	2	1	5	9.1%
2A.1	2 Bed	1,222	MARKET	0	0	1	1	1.8%
2A.2	2 Bed	1,145	MARKET/COAH	1	1	1	3	5.5%
2A.3	2 Bed	1,269	MARKET	0	0	1	1	1.8%
2A.4	2 Bed	1,231	MARKET	0	0	1	1	1.8%
2B	2 Bed	1,288	MARKET/COAH	1	1	0	2	3.6%
2B.1	2 Bed	1,276	MARKET	1	1	0	2	3.6%
2B.2	2 Bed	1,216	MARKET/COAH	1	1	1	3	5.5%
2B.3	2 Bed	1,263	MARKET	0	0	1	1	1.8%
2C	2 Bed	1,418	MARKET	1	1	0	2	3.6%
3A	3 Bed	1,227	COAH	1	1	0	2	3.6%
<b>TOTAL</b>				<b>18</b>	<b>21</b>	<b>16</b>	<b>55</b>	<b>100.0%</b>

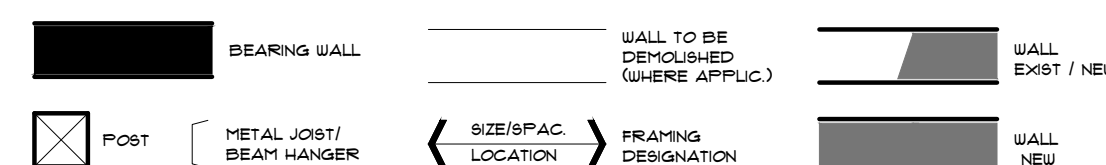
MARKET		AFFORD.		TOTAL
1 BED	30	1 BED	2	32
2 BED	16	2 BED	5	21
3 BED	0	3 BED	2	2
<b>TOTAL</b>	<b>46</b>	<b>TOTAL</b>	<b>9</b>	<b>55</b>

LATEST REVISION	DATE
1	ISSUE FOR APPROVALS 3-1-2023

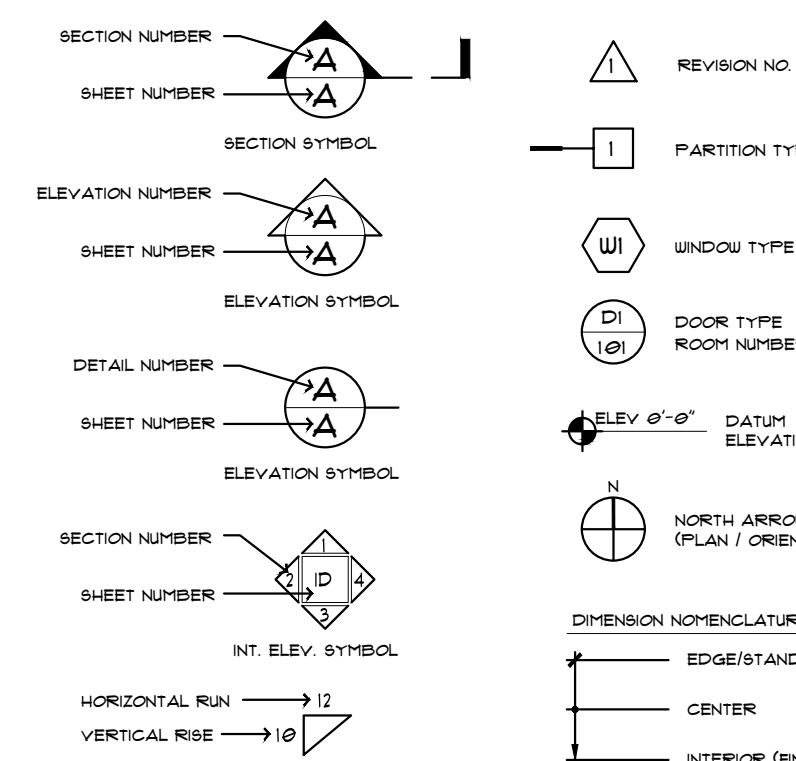
### ARCHITECTURAL MATERIALS LEGEND



### PLAN SYMBOLS LEGEND



### GRAPHIC SYMBOLS LEGEND



### ABBREVIATIONS

ADJ	ADJACENT	HM	HOLLOW METAL
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
ALUM	ALUMINUM	INSUL	INSULATION
APVD	APPROVED	MEP	MECHANICAL, ELECTRICAL & PLUMBING
BO	BOTTOM OF	MFR	MANUFACTURER
CL	CLOSET	MS	MICROSLAN BEAM (LVL)
CLG	CILING	MISC	MISCELLANEOUS
CONC	CONCRETE	MO	MASONRY OPENING
CO	CARBON MONOXIDE	MR	MOISTURE RESISTANT
COORD	COORDINATE	MTL	METAL
CONT	CONTINUOUS	N/A	NON-APPLICABLE
DET	DETAIL	NC	NOT IN CONTRACT
DWG(S)	DRAWING(S)	NOI	NOMINAL
ELEC	ELECTRICAL	OAE	OR APPROVED EQUAL
EXIST	EXISTING	OC	ON CENTER
FD	FLOOR DRAIN	OPI	OWNER FURNISHED AND INSTALLED
FE	FIRE EXTINGUISHER	OPC	OWNER FURN, CONTRACTOR INSTALLED
FF	FINISHED FLOOR	OPP	OPPOSITE
FN	FINISHED	FLB	PARALLEL BEAM (P&L)
FL	FLOOR	FTD	PRESSURE TREATED
FO	FACE OF	FR	FRAMED
FR	FIRE RATED	RCP	REFLECTED CEILING PLAN
FS	FIRE STOP	REQD	REQUIRED
GC	GENERAL CONTRACTOR	STRUCT	STRUCTURE/STRUCTURAL
GRUB	GYPSUM WALL BOARD	TOP OF	TOP OF
HC	HANDICAP	TYF	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HT	HEIGHT	VF	VERIFY IN FIELD
		WC	WATER CLOSET
		WD	WOOD
		WR	WATER RESISTANT

### GENERAL NOTES

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INFORMATION CONTAINED ON THESE DRAWINGS IS INTENDED FOR PURPOSES OF ILLUSTRATING DESIGN INTENT AND ZONING / LAND USE CHARACTERISTICS. FINAL DETAILING, INTERIOR LAYOUTS, AND SPECIFIC CONDITIONS ARE SUBJECT TO FURTHER PROJECT DEVELOPMENT.

### PRELIMINARY BUILDING CODE DATA

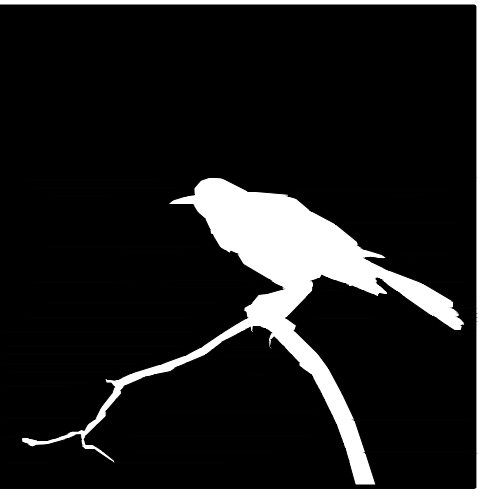
- USE GROUP: \_\_\_\_\_ R-2 (RESIDENTIAL APARTMENTS) S-2 (PRIVATE GARAGE) I1 (RETAIL)
- CONSTRUCTION TYPE: \_\_\_\_\_ POPULM CONSTRUCTION (NBC 510) TYPE V (ABOVE) TYPE I (BELOW)
- HANDICAP ACCESSIBILITY: \_\_\_\_\_ NJ BARRIER FREE SUBCODE/FHA
- FIRE PROTECTION SYSTEM: \_\_\_\_\_ NFPA 13/3R

*Avelino Martinez*  
 AVELINO MARTINEZ, RA  
 NJ A118292

### TITLE SHEET

DRAWING NO.  
**T-1**

PROJ. NO.: | 6121



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**PROPOSED  
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 SOUTH AVE & HIGH STREET  
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LATEST REVISION	DATE
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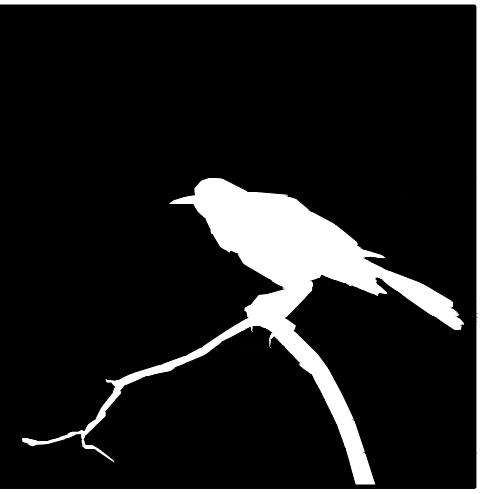
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**GROUND FLOOR  
 PLAN**

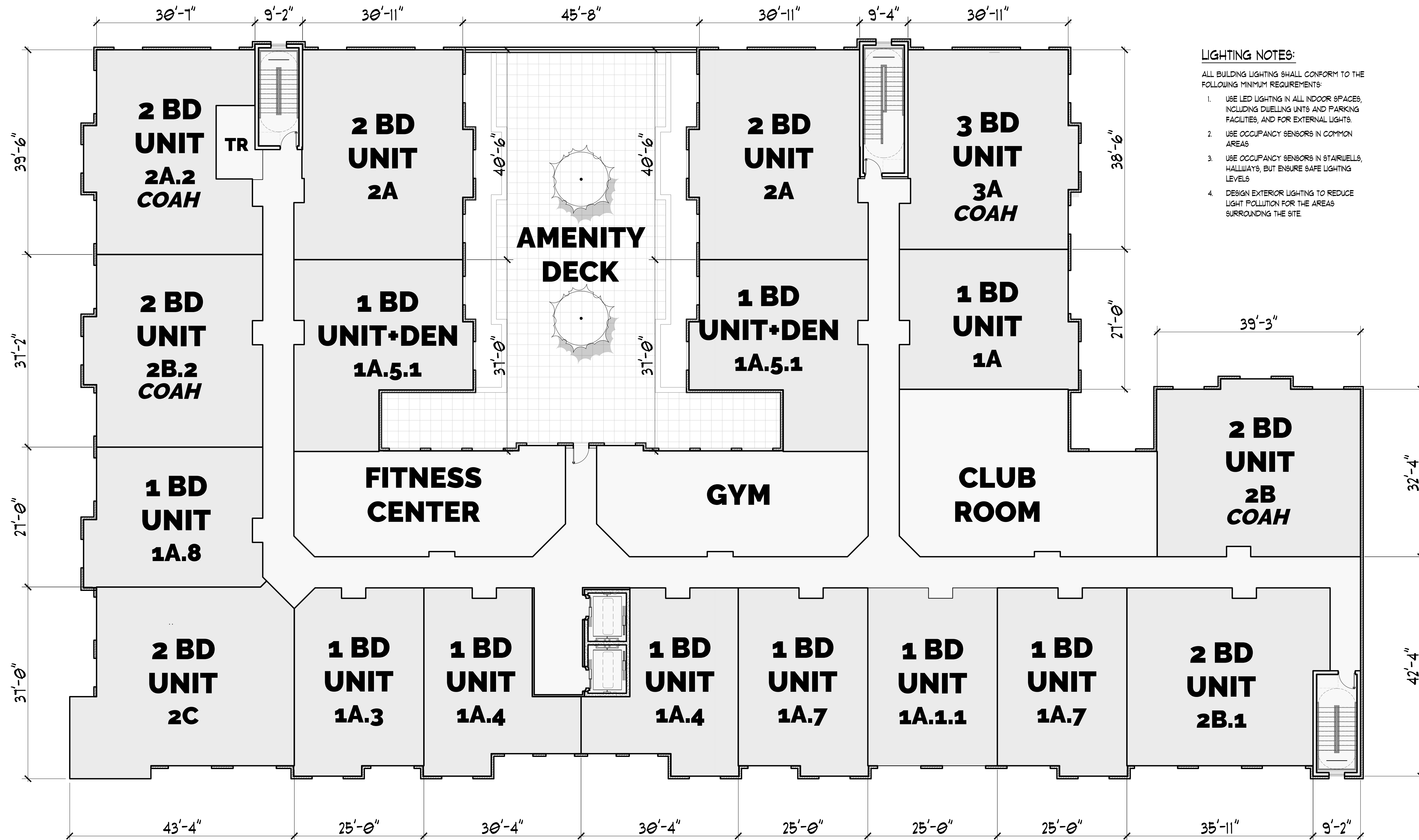
DRAWING NO.  
**A-01**  
 PROJ. NO.: 16121



**A**  
**A-01** GROUND FLOOR PLAN  
 SCALE: 3/32"=1'-0"



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**LIGHTING NOTES:**

ALL BUILDING LIGHTING SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. USE LED LIGHTING IN ALL INDOOR SPACES, INCLUDING DWELLING UNITS AND PARKING FACILITIES, AND FOR EXTERNAL LIGHTS.
2. USE OCCUPANCY SENSORS IN COMMON AREAS.
3. USE OCCUPANCY SENSORS IN STAIRWELLS, HALLWAYS, BUT ENSURE SAFE LIGHTING LEVELS.
4. DESIGN EXTERIOR LIGHTING TO REDUCE LIGHT POLLUTION FOR THE AREAS SURROUNDING THE SITE.

**B** FIRST FLOOR PLAN  
**A-02** SCALE: 3/32"=1'-0"

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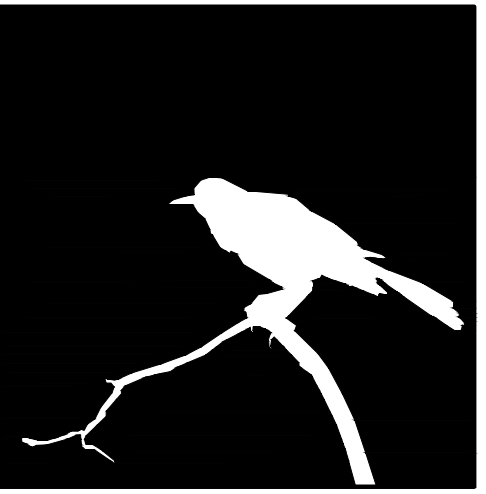
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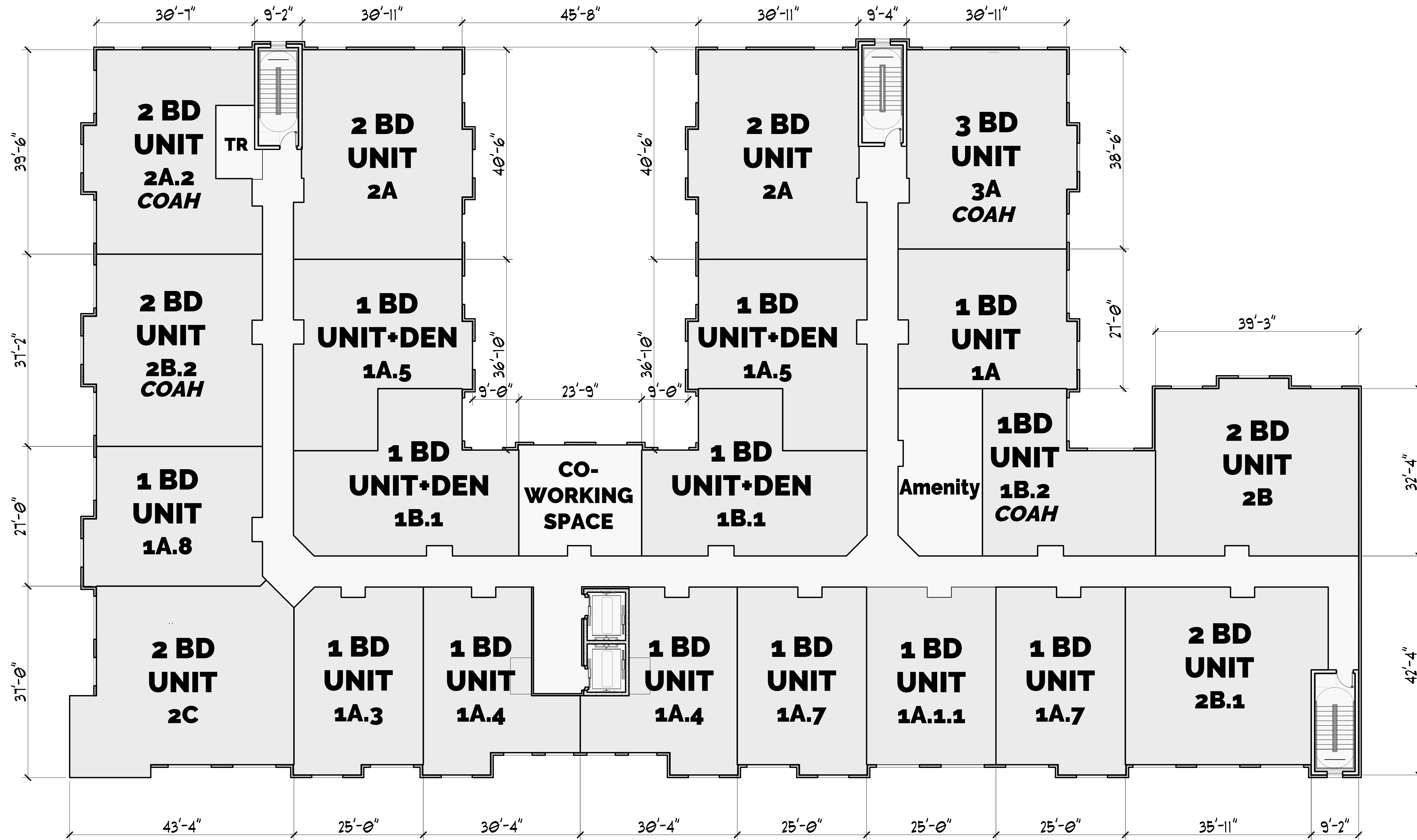
**FIRST FLOOR  
 PLAN**

DRAWING NO.  
**A-02**

PROJ. NO.: 16121



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C SECOND FLOOR PLAN  
 A-03 SCALE: 3/32"=1'-0"

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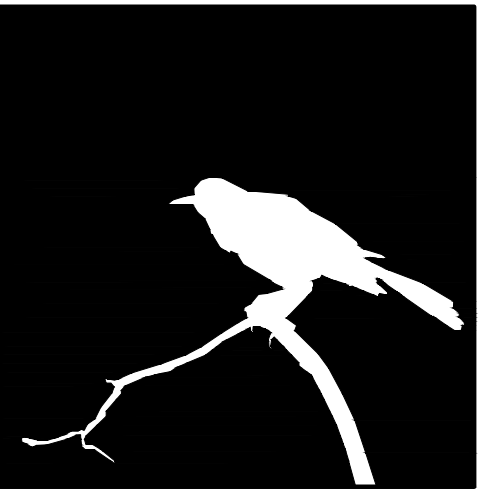
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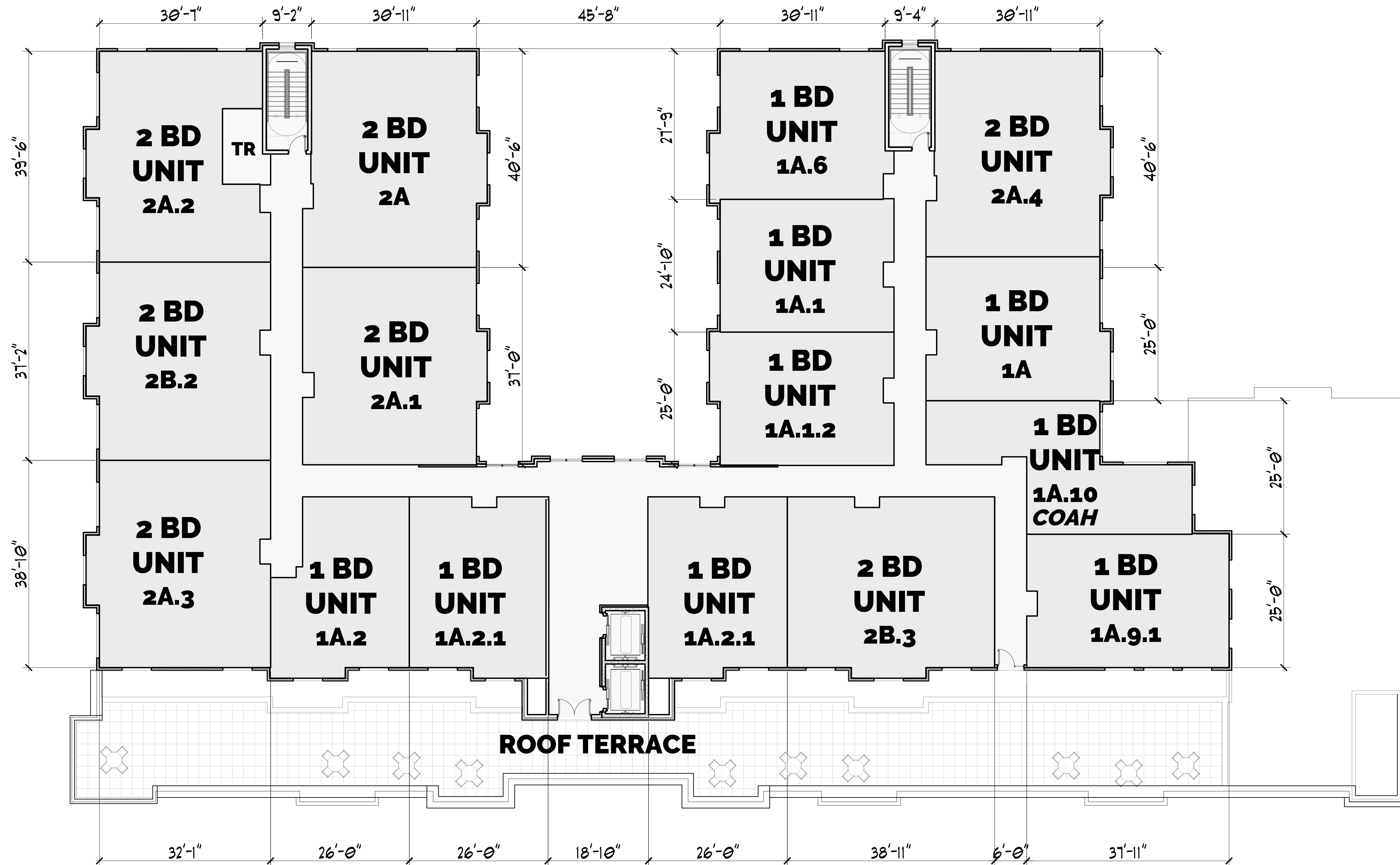
SECOND FLOOR  
 PLAN

DRAWING NO.  
**A-03**

PROJ. NO.: 16121



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D THIRD FLOOR PLAN  
 A-04 SCALE: 3/32"=1'-0"

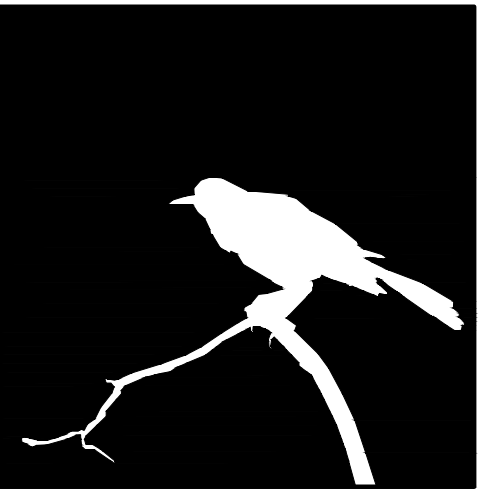
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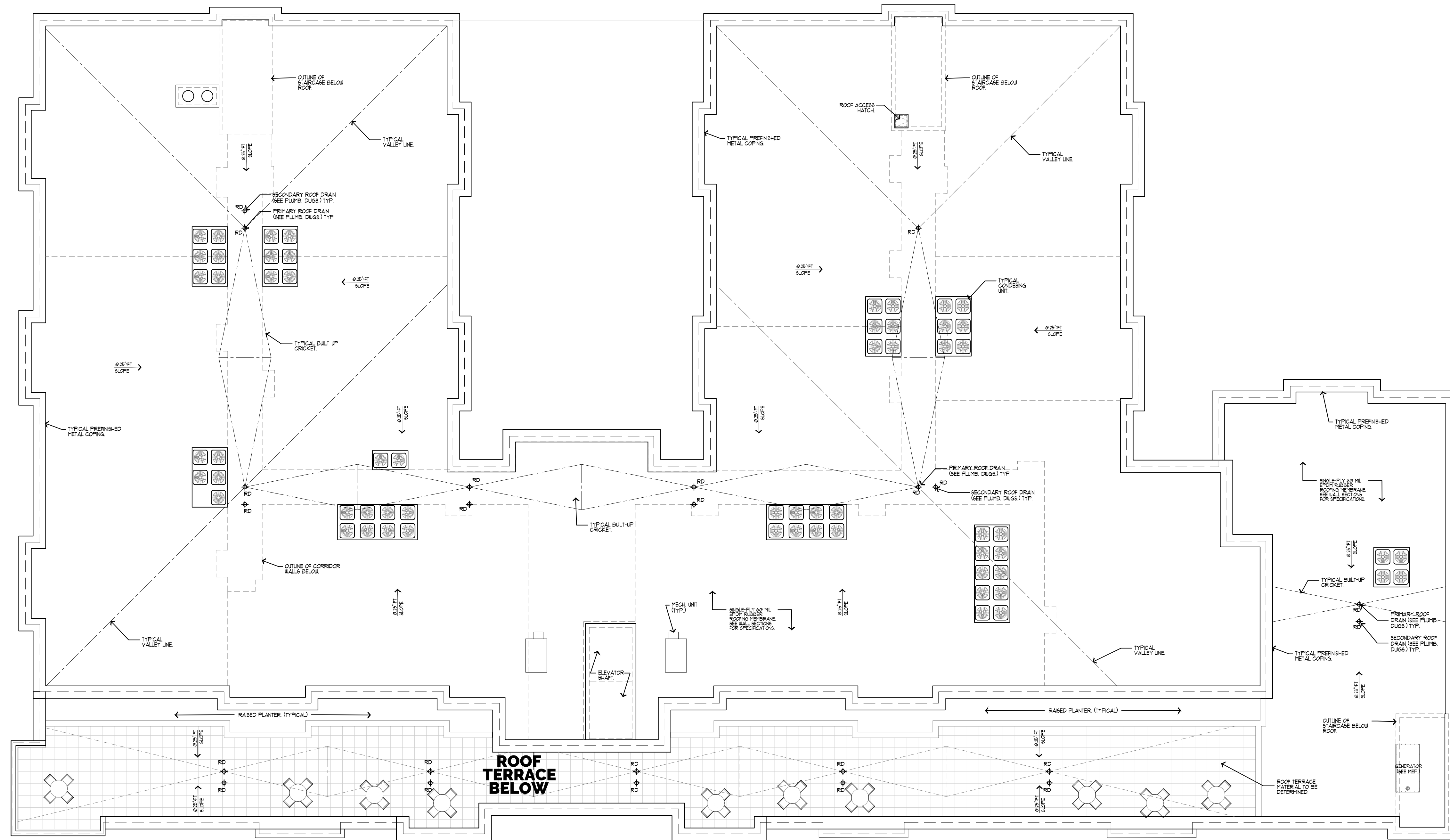
THIRD FLOOR  
 PLAN

DRAWING NO.  
**A-04**  
 PROJ. NO.: 16121



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**D** ROOF PLAN  
 A-05 SCALE: 3/32"=1'-0"

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**ROOF PLAN**

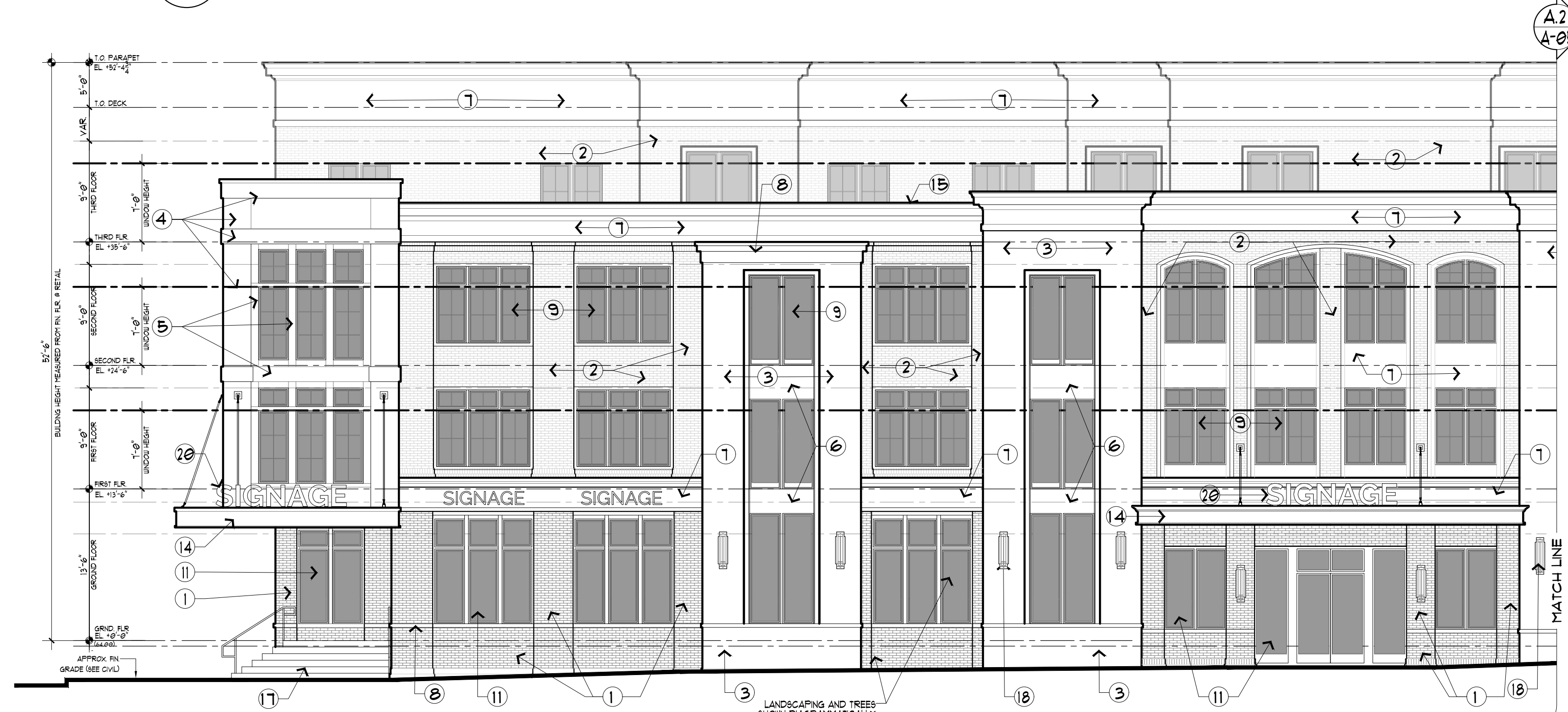
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PROJ. NO: | 6121

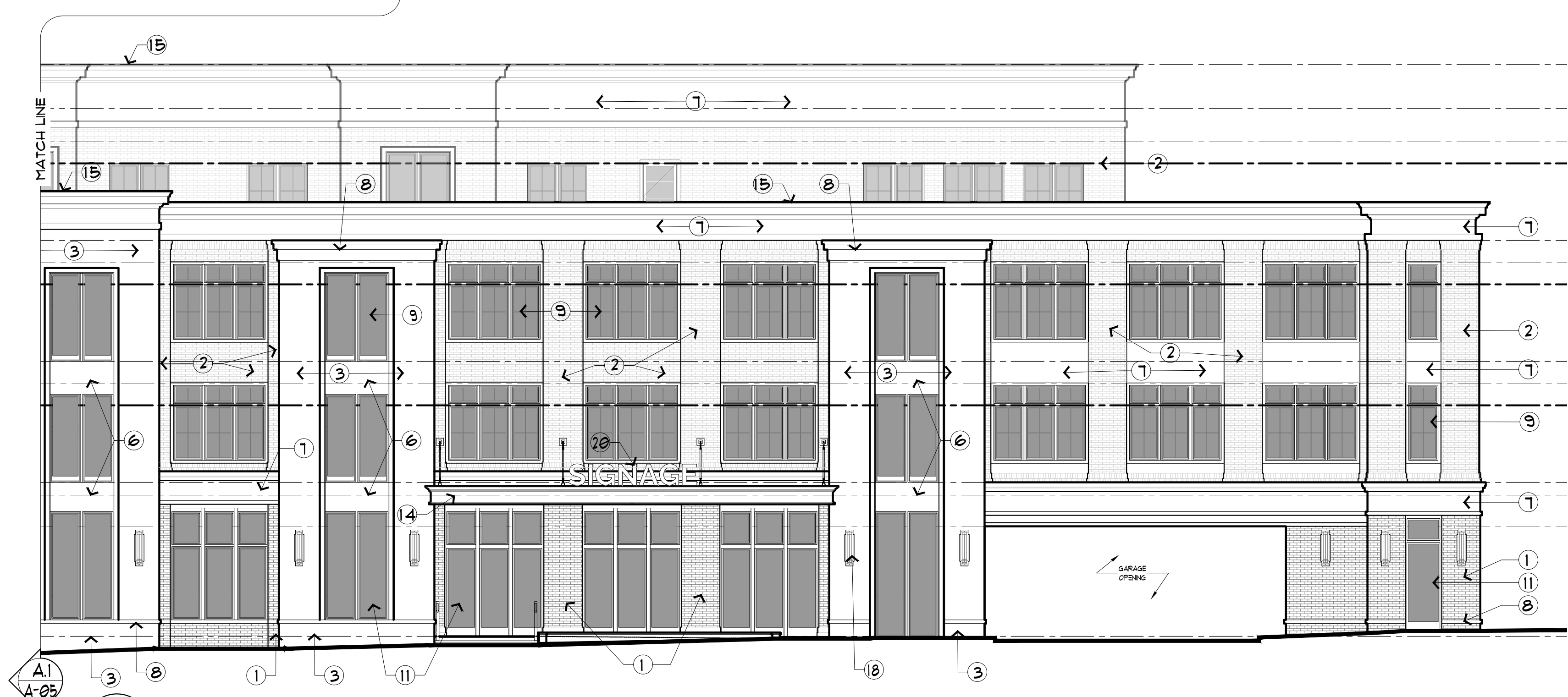


**A** FRONT ELEVATION  
**A-06** SCALE: 3/32"=1'-0"

- EXTERIOR FINISH LEGEND**
- 1 BRICK (COLOR 1)
  - 2 BRICK (COLOR 2)
  - 3 PRECAST STONE VENEER
  - 4 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 1
  - 5 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 2
  - 6 TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 3
  - 7 TRIM FASCIA BOARD, FRIEZE BOARD (FIBER CEMENT OR ACM) COLOR AS SELECTED BY OWNER
  - 8 PRECAST STONE TRIM, BAND, CROWN, COLOR 2
  - 9 INSULATING WINDOW TRANSOMS AS SPEC'D.
  - 10 INSULATING SLIDING PATIO DOORS AS SPEC'D.
  - 11 ALUMINUM & GLASS STOREFRONT WITH CLEAR INSULATING GLASS. SEE SHOP DWGS.
  - 12 INSULATING METAL FLUSH DOOR
  - 13 PREFINISHED METAL RAILING SYSTEM
  - 14 PREFINISHED, PREFABRICATED METAL CANOPY. SEE SHOP DWGS.
  - 15 PREFINISHED METAL COPING
  - 16 PAINTED CONCRETE COLUMNS
  - 17 PAINTED CONCRETE STAIR
  - 18 WALL MOUNTED LIGHT FIXTURE (SEE LIGHTING PLANS)
  - 19 PREFABRICATED, PREFINISHED METAL GRILLE. SEE SHOP DWGS.
  - 20 EXAMPLE BUILDING SIGNAGE (FINAL SIGNAGE TO BE COORDINATED WITH ACTUAL TENANT)
- TRANSPARENCY (PRIMARY FACADE)**  
 GROUND FLOOR: 48.68%  
 UPPER STORES: 32.1%



**A.1** FRONT ELEVATION  
**A-06** SCALE: 1/8"=1'-0"



**A.2** FRONT ELEVATION  
**A-06** SCALE: 1/8"=1'-0"



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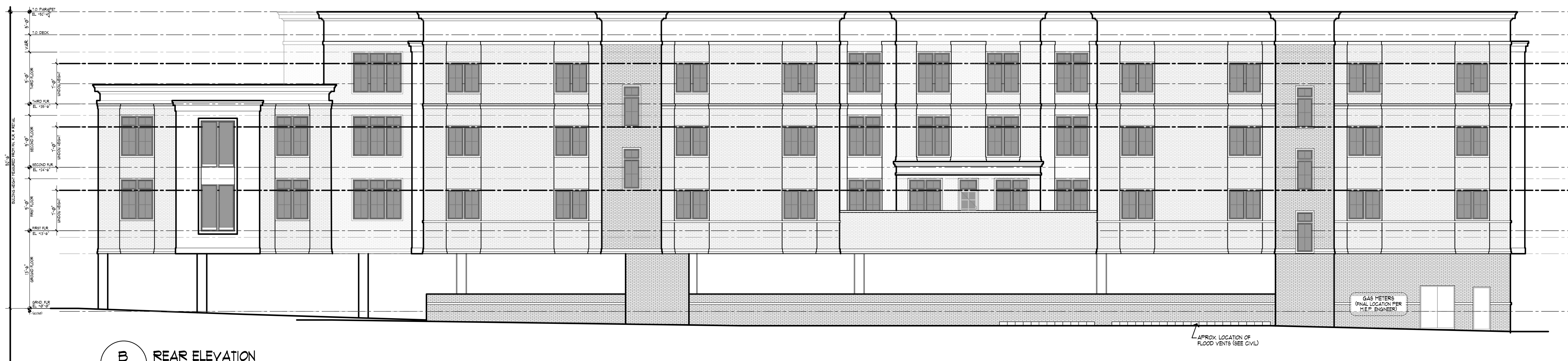
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 NJ A1-18292

**EXTERIOR  
 ELEVATIONS**

DRAWING NO.  
**A-06**  
 PROJ. NO.: 16121



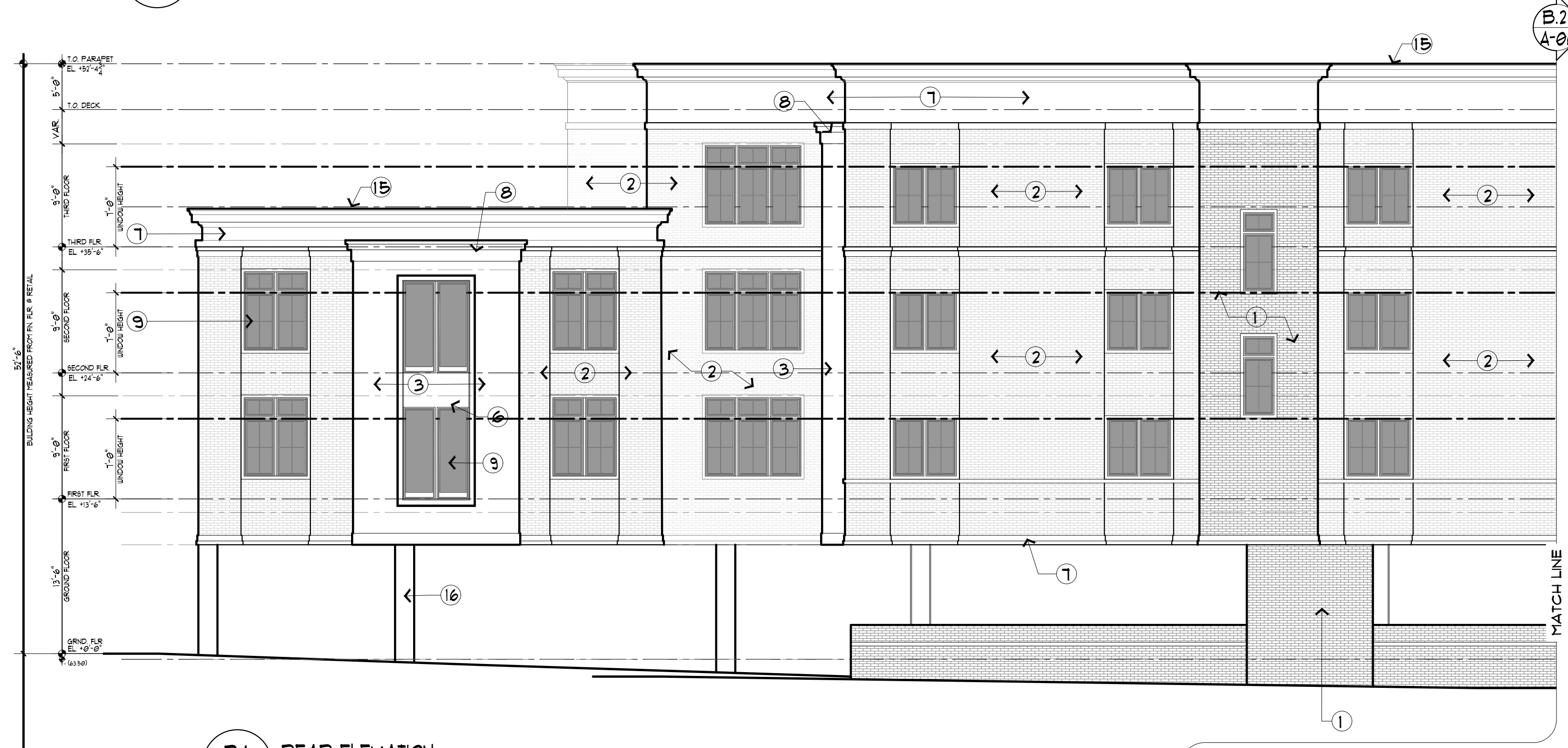
**B**  
A-01 REAR ELEVATION  
SCALE: 3/32"=1'-0"

- EXTERIOR FINISH LEGEND**
- ① BRICK (COLOR 1)
  - ② BRICK (COLOR 2)
  - ③ PRECAST STONE VENEER
  - ④ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 1
  - ⑤ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 2
  - ⑥ TRIM PANELS (FIBER CEMENT OR ACM) - COLOR 3
  - ⑦ TRIM FASCIA BOARD, FRIEZE BOARD (FIBER CEMENT OR ACM) COLOR AS SELECTED BY OWNER
  - ⑧ PRECAST STONE TRIM, BAND, CROWN, COLOR 2
  - ⑨ INSULATING WINDOWS / TRANSOMS AS SPEC'D.
  - ⑩ INSULATING SLIDING PATIO DOORS AS SPEC'D.
  - ⑪ ALUMINUM & GLASS STOREFRONT WITH CLEAR INSULATING GLASS. SEE SHOP DWGS.
  - ⑫ INSULATING METAL FLUSH DOOR
  - ⑬ PREFINISHED METAL RAILING SYSTEM
  - ⑭ PREFINISHED, PREFABRICATED METAL CANOPY. SEE SHOP DWGS.
  - ⑮ PREFINISHED METAL COPING
  - ⑯ PAINTED CONCRETE COLUMNS
  - ⑰ PAINTED CONCRETE STAIR
  - ⑱ WALL MOUNTED LIGHT FIXTURE (SEE LIGHTING PLANS)
  - ⑲ PREFABRICATED, PREFINISHED METAL GRILLE. SEE SHOP DWGS.
  - ⑳ EXAMPLE BUILDING SIGNAGE (FINAL SIGNAGE TO BE COORDINATED WITH ACTUAL TENANT)

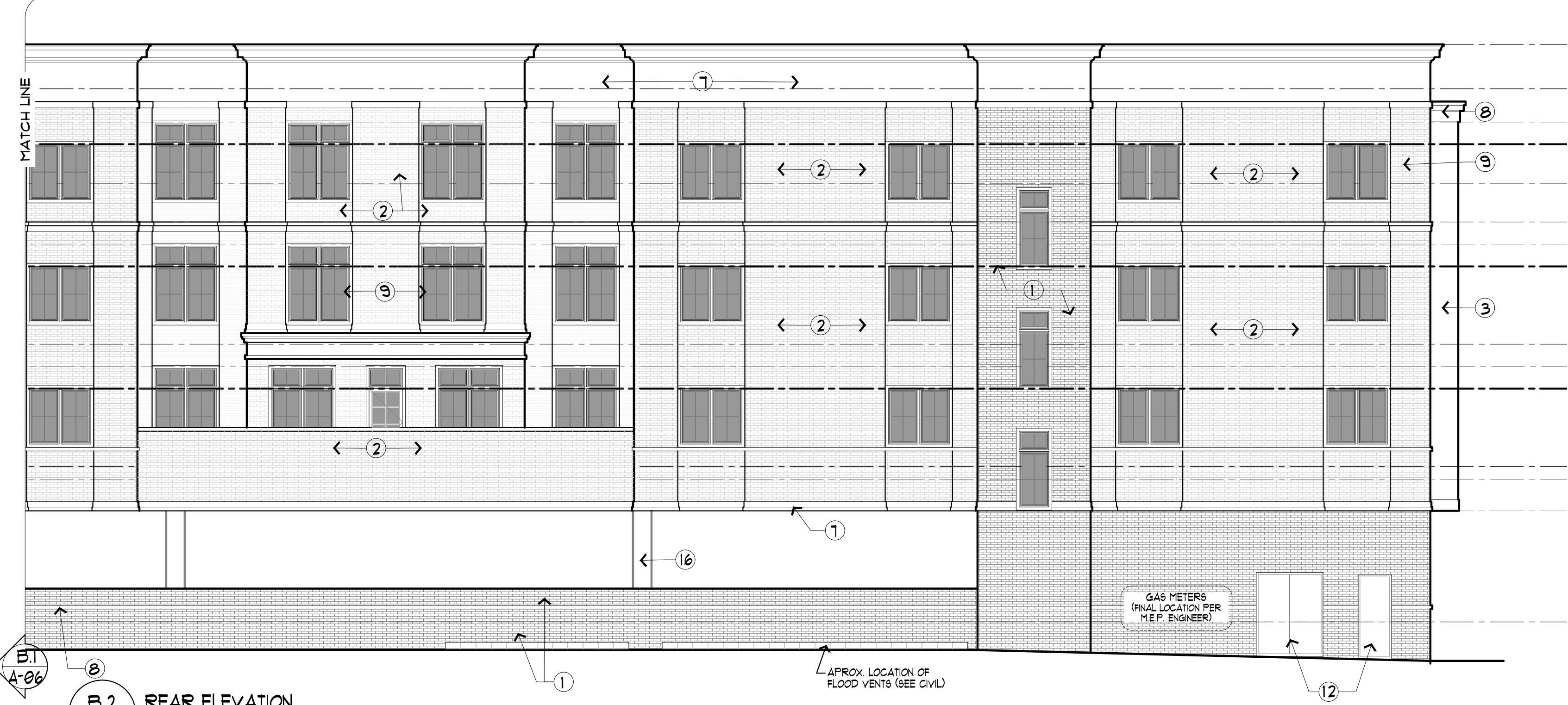
APPROX. LOCATION OF FLOOD VENTS (SEE CIVIL)

GAS METERS (FINAL LOCATION PER M.E.P. ENGINEER)

**B.2**  
A-06



**B.1**  
A-01 REAR ELEVATION  
SCALE: 1/8"=1'-0"



**B.2**  
A-01 REAR ELEVATION  
SCALE: 1/8"=1'-0"

APPROX. LOCATION OF FLOOD VENTS (SEE CIVIL)

GAS METERS (FINAL LOCATION PER M.E.P. ENGINEER)



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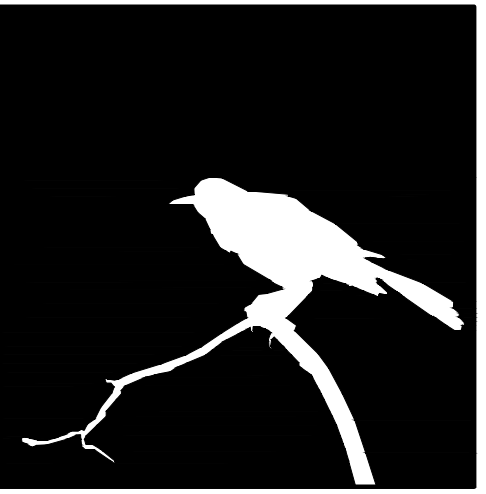
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**EXTERIOR  
ELEVATIONS**

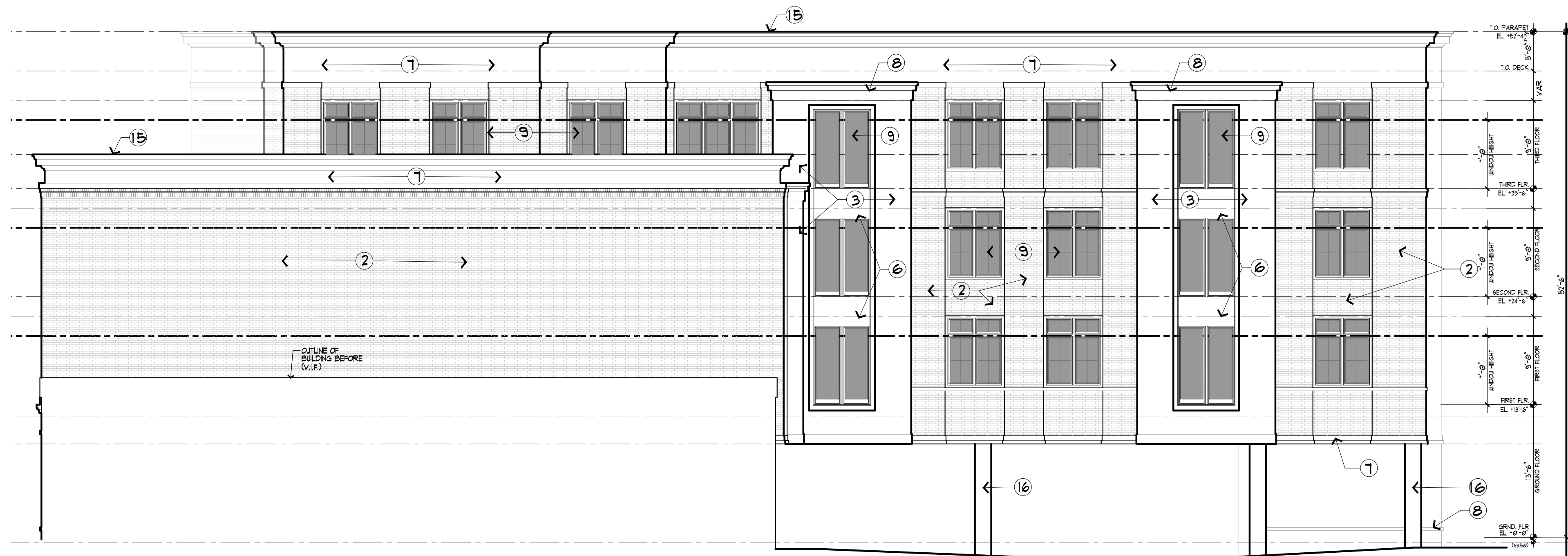
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**A-07**  
PROJ. NO.: 16121



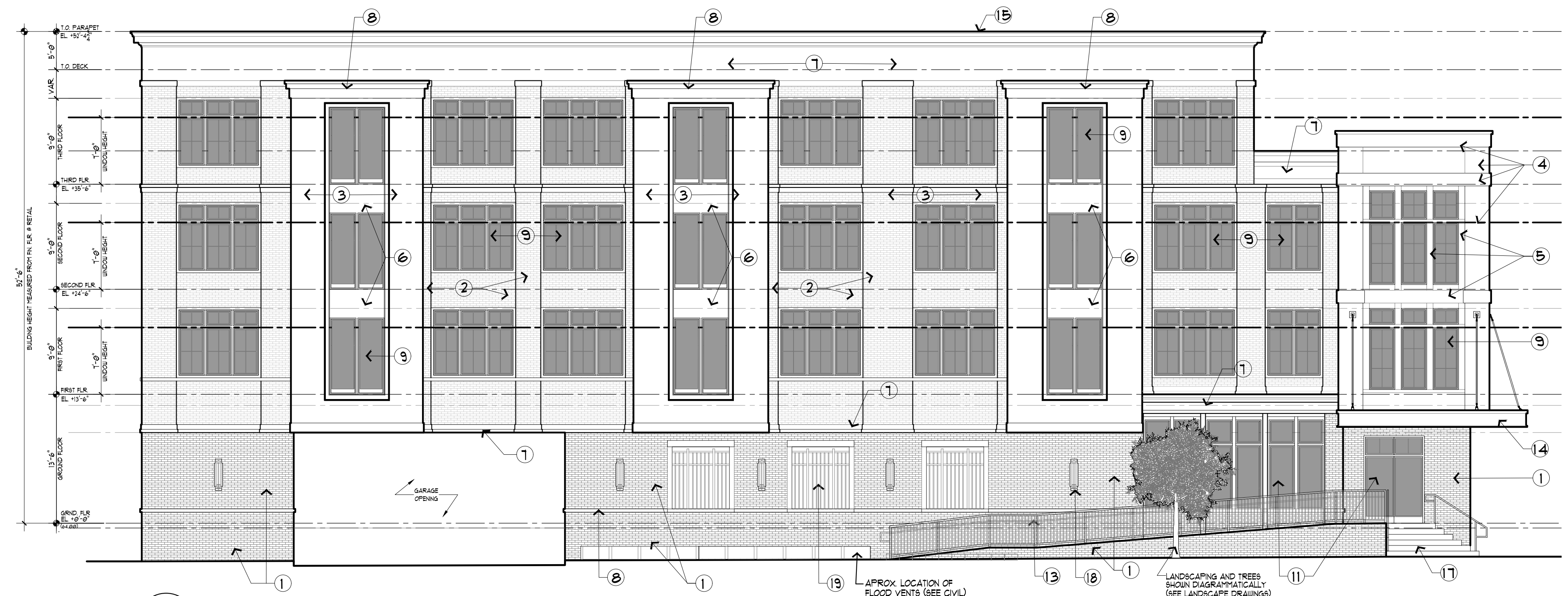


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**PROPOSED  
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**C** RIGHT SIDE ELEVATION  
**A-08** SCALE: 1/8"=1'-0"



**D** LEFT SIDE ELEVATION  
**A-08** SCALE: 1/8"=1'-0"

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**EXTERIOR  
 ELEVATIONS**

DRAWING NO.  
**A-08**  
 PROJ. NO.: 16121