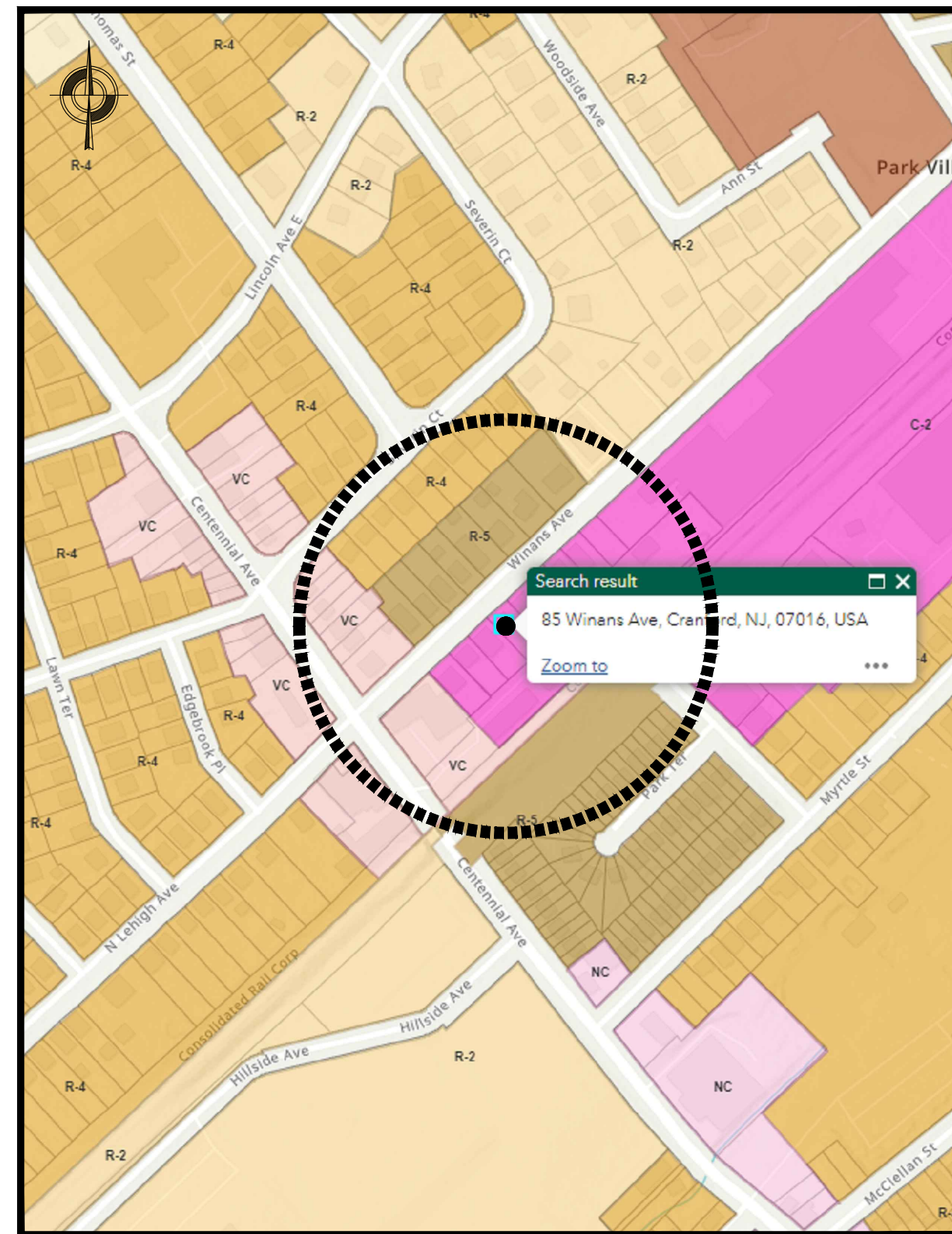
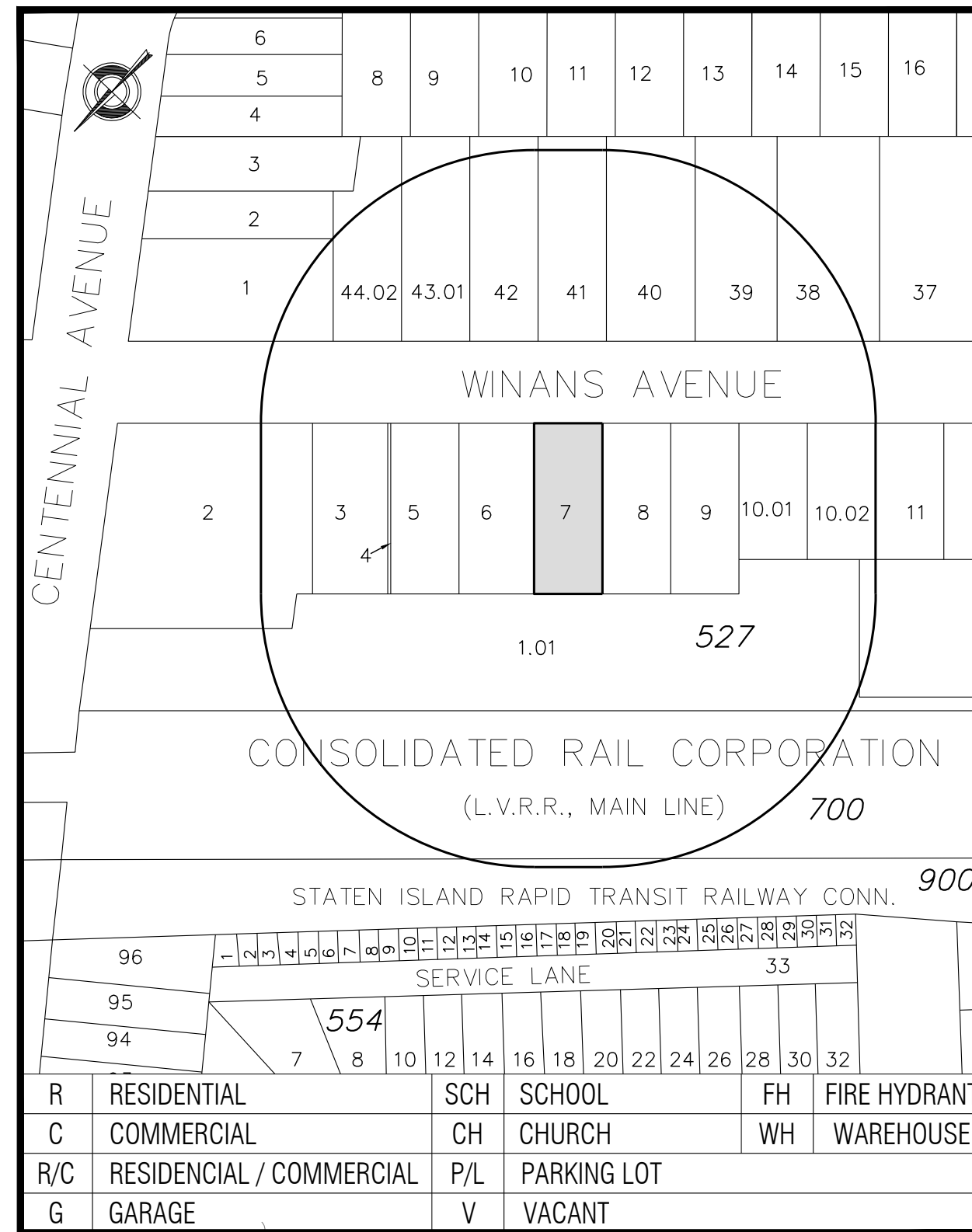
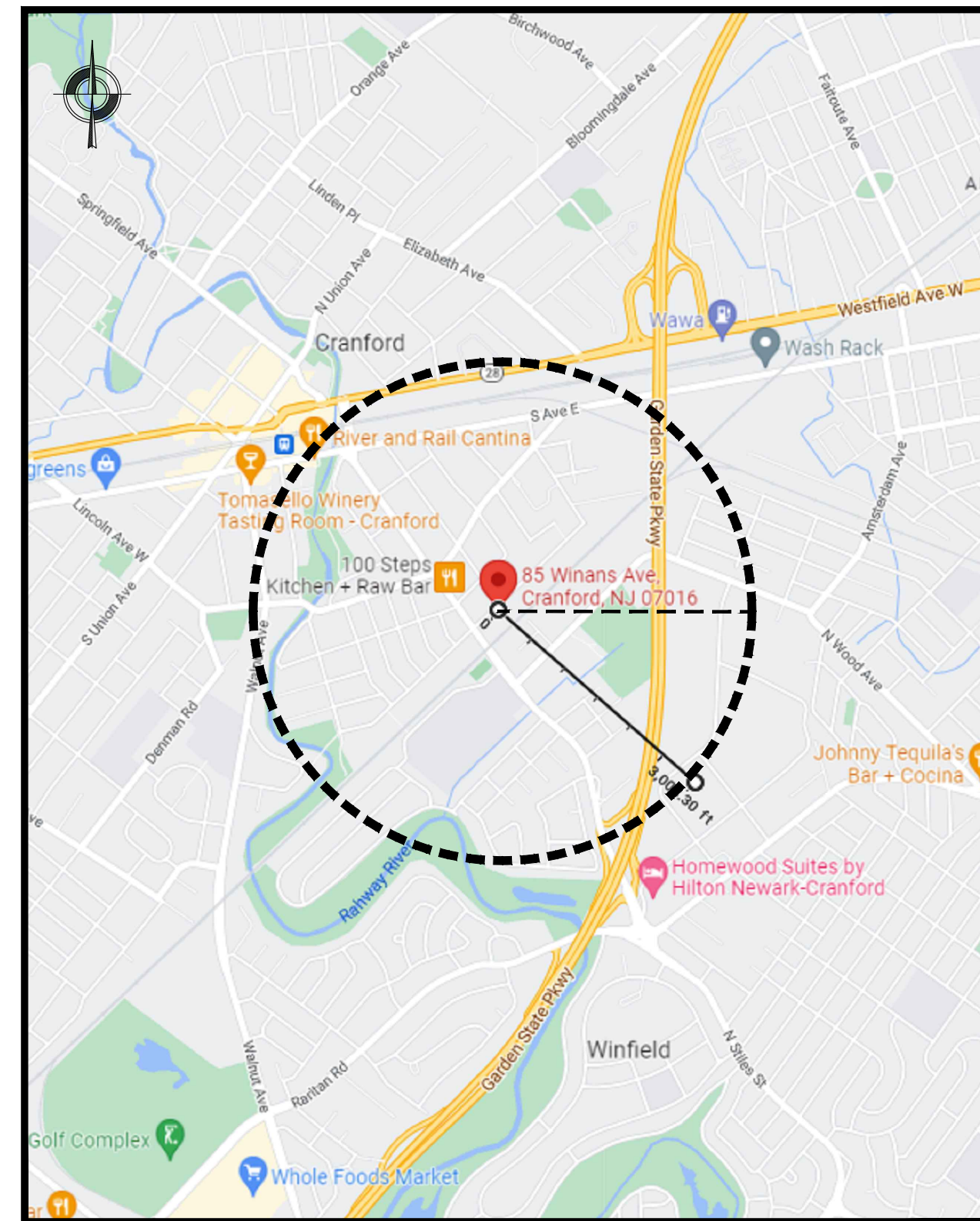


# PROPOSED NEW (2) TWO FAMILY DWELLINGS 85 WINANS AVENUE CRANFORD, NJ LOTS #1, BLOCK #527

REVISIONS:



ZONING MAP C-2 COMMERCIAL 2 KEY MAP 300 FEET  
ZONE: R-5 (1-2 FAMILY RESIDENCE DISTRICT (TWO FAMILY))



200' DIAGRAM

ADDRESS: 85 WINANS AVENUE, CRANFORD, NJ  
BLOCK: 527  
LOT: 7  
PROPOSED LOT: 7  
PROPOSED USE: (2) TWO FAMILY DWELLING

PROJECT DESCRIPTION:  
PROPOSED TWO NEW TWO FAMILY DWELLING ATTACHED.

LOT AREA: 6,250.00 SQ.FT.

LOT #	7
GROUND FLOOR AREA	2,014.13 SQ.FT
LANDSCAPE	3,175.15 SQ.FT
CIRCULATION	1,060.72 SQ.FT
PARKING	N/A
TOTAL	6,250.00 SQ.FT.

PARKING SPACES  
REQUIRED : 2  
PROVIDED : 2

ZONING: R-5 - 1 & 2 FAMILY RESIDENTIAL  
GENERAL NOTES:  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND NOTIFICATION REQUIRED FOR ALL CONSTRUCTION PRIOR TO THE START OF ANY WORK.  
2. ALL UTILITY COMPANIES ARE TO BE NOTIFIED FOR MARK UP PRIOR TO THE COMMENCEMENTS OF CONSTRUCTION BY THE CONTRACTOR.  
3. ALL LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

### SCOPE OF WORK:

PROPOSED NEW CONSTRUCTION OF 2 STORY ATTACHED TWO FAMILY DWELLINGS W/ ATTACHED GARAGE.

### GENERAL BUILDING DATA

LOT. 7	
USE GROUP	R-2- RESIDENTIAL
CONSTRUCTION TYPE	5A- PROTECTED
NO OF STORIES/ HEIGHT	2 STORIES/ 29.5'
LARGEST FLR AREA	2,166.46 S.F.
AREA ALL FLOORS TOTAL SQ. FT.	5,250.28 S.F.
VOLUME	+/- 59,210.21 Cb. Ft.
LAND DISTURBED TOTAL SQ. FT.	7,505.30 S.F.

### LIST OF APPLICABLE CODES

- INTERNATIONAL RESIDENTIAL CODE (IRC), 2018, NJ EDITION
- NATIONAL ELECTRICAL CODE (NFPA 70), 2017
- NATIONAL STANDARD PLUMBING CODE, 2018
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018, NJ EDITION
- INTERNATIONAL MECHANICAL CODE, 2018
- INTERNATIONAL FUEL GAS CODE, 2018
- INTERNATIONAL FIRE CODE, 2018

### R-5 (TWO FAMILY)

SCHEDULE 1: GENERAL BULK & DESIGN STANDARDS

USE:	REQUIRED	PROVIDED	NOTES
USE:	ONE & TWO FAMILY DWELLING	TWO FAMILY	OK
MIN. LOT AREA	7,000.0 S.F.	6,250.00 S.F.	VARIANCE
MIN. LOT WIDTH	70.0'	50.00'	VARIANCE
MIN. LOT DEPTH	100.0'	102.16'	OK
FRONT YARD	25.00' MIN. 20.00'	20.00'	OK
MIN. REAR YARD	30% OF THE FIRST 100.00', 45% NEXT 50.0' OF LOT DEPTH - 41.25'	41.25'	OK
MIN. SIDE YARD	ONE 10% (MIN. 7.0') BOTH 30% OF LOT WIDTH	7.5' / 15.00' BOTH	OK
MAX. LOT IMPERVIOUS COVERAGE	50%	49.19%	OK
MAX. BUILDING COVERAGE	30%	32.21%	VARIANCE
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES- 32.00'	2 STORIES- 29.50'	OK
MAXIMUM DISTANCE FROM FRONT STREET RIGHT-OF-WAY	100.00'	100.00'	OK
PARKING REQUIREMENTS	2 PARKING PER DWELLING	2	OK

### C-2 - COMMERCIAL

SCHEDULE 1: GENERAL BULK & DESIGN STANDARDS

USE:	REQUIRED	PROVIDED	NOTES
USE:	COMMERCIAL - AFTER 2014	TWO FAMILY	VARIANCE
MIN. LOT AREA	10,000.0 S.F.	6,250.00 S.F.	VARIANCE
MIN. LOT WIDTH	70.0'	50.00'	VARIANCE
MIN. LOT DEPTH	75.0'	102.16'	OK
FRONT YARD	20.00'	20.00'	OK
REAR YARD	25.00'	41.25'	OK
MIN. SIDE YARD	ONE 10% (MIN. 10.0) BOTH 20% OF LOT WIDTH (MIN. 20.0)	7.5' / 15.00' BOTH	VARIANCE
MAX. FLOOR AREA RATIO (FAR)	0.6	0.84	VARIANCE
MAX. LOT IMPERVIOUS COVERAGE	75%	49.19%	OK
MAX. BUILDING COVERAGE	40%	32.22%	OK
MAXIMUM BUILDING HEIGHT	3 STORIES- 45.00'	2 STORIES- 29.50'	OK
MAXIMUM DISTANCE FROM FRONT STREET RIGHT-OF-WAY	10.00'	100.00'	OK
MINIMUM DISTANCE FROM FRONT STREET RIGHT-OF-WAY	25.00'	100.00'	OK



81-83 WINANS AVENUE



85 WINANS AVENUE - SITE



87-89 WINANS AVENUE

### RESIDENTIAL BREAKDOWN

AREAS PER FLOOR / APT.	GROSS AREA TOTAL	NET ST.85 -A	NET ST.85 -B	NET AREA TOTAL
<b>BASEMENT FLOOR</b>				
RECREATION AREA - 1/2 BATHROOM - MECHANICAL ROOM	1,541.91	575.93	575.93	1,151.86
<b>SECOND FLOOR</b>				
FAMILY / LIVING ROOM - KITCHEN - DINING ROOM - 1/2 BATHROOM - PANTRY - BAR - 2 CAR GARAGE - STORAGE	1,541.91	626.13	626.13	1,252.26
<b>THIRD FLOOR</b>				
MASTER BEDROOM W/ W.I.C. & MASTER BATHROOM - BATHROOM - 2 BEDROOMS - LAUNDRY - LINEN CLOSET	2,166.46	957.48	952.70	1,910.18
<b>TOTAL</b>	<b>5,250.28</b>	<b>2,159.54</b>	<b>2,154.76</b>	<b>4,314.30</b>

**NOTES:**  
NEW CURBS AND SIDEWALKS SHALL BE CONSTRUCTED AT ALL PROPERTY FRONTAGES WITH THE FINAL DETERMINATION BY THE DEPARTMENT OF ENGINEERING OF THE CITY OF NEWARK. ALL WORK SHALL CONFORM TO CITY STANDARDS. ADDRESSES SHALL BE DISPLAYED SO AS IN CONFORMANCE WITH THE CITY'S 911 LOCATABLE ADDRESS ORDINANCE.

**FLOOD HAZARD DETERMINATION**  
• THIS PROPERTY IS LOCATED ON FLOOD HAZARD ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2 % CHANCE FLOOD PLAN.  
• The flood map for the selected area is number 34039C0032F, effective on 09/20/2006.

877 BROAD STREET  
NEWARK, NJ 07102  
TEL: (973) 824-0022  
FAX: (973) 824-7447

ARTEK  
STUDIO, LLC.

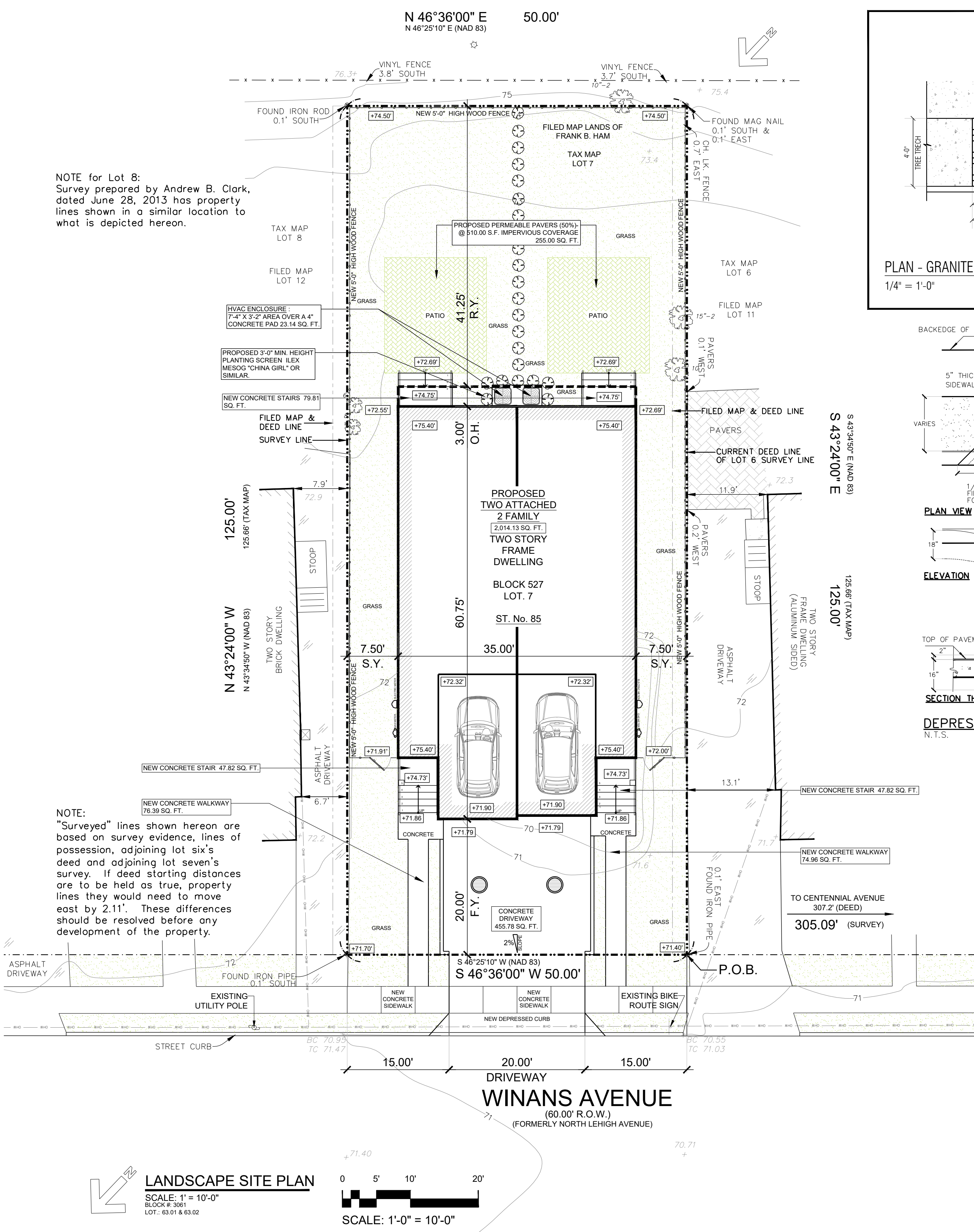
Daniel A. Romo, R.A.  
Registered Architect  
NJ License No. 17915  
NY License No. 030082-1

BLOCK #: 527  
LOT: 7

APPLICANT: COLD RIVER REALTY CORP  
85 WINANS AVENUE  
CRANFORD, NJ  
PROPOSED NEW TWO FAMILY DWELLING.

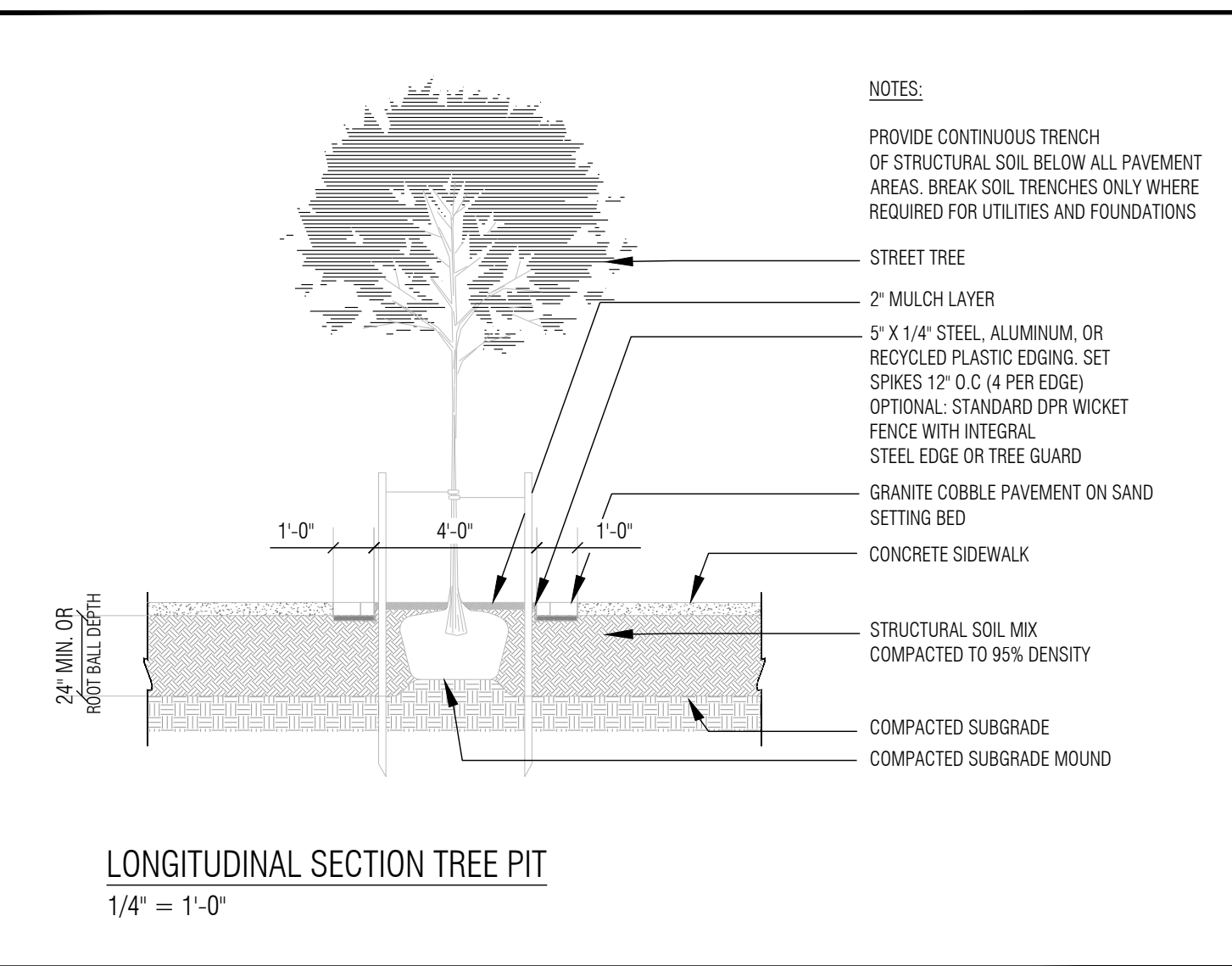
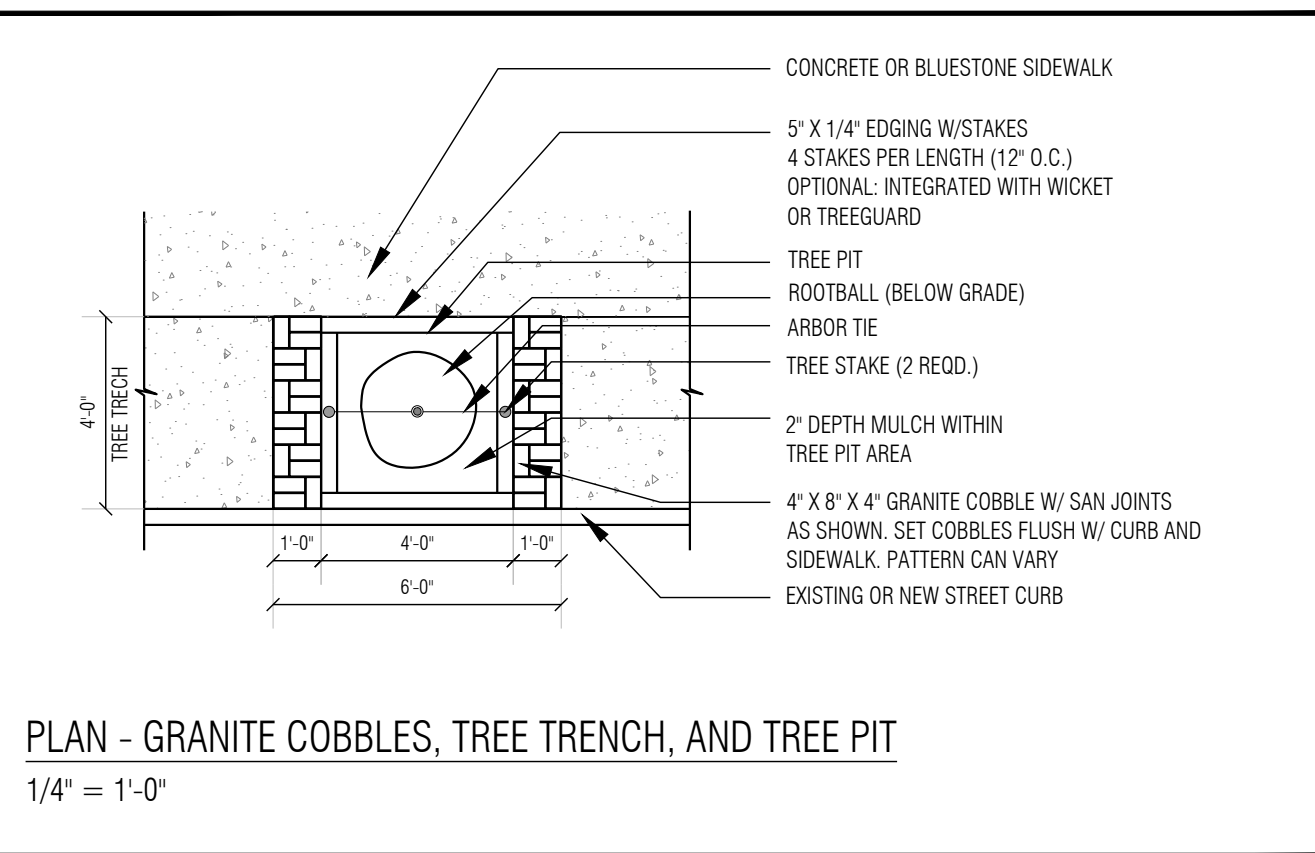
DATE: 08/23/2022  
DRAWN BY: ER  
CHECKED BY: DAR

PROJECT: 21035  
DRAWING: T-100  
1 OF 7



NOTE for Lot 8:  
 Survey prepared by Andrew B. Clark, dated June 28, 2013 has property lines shown in a similar location to what is depicted hereon.

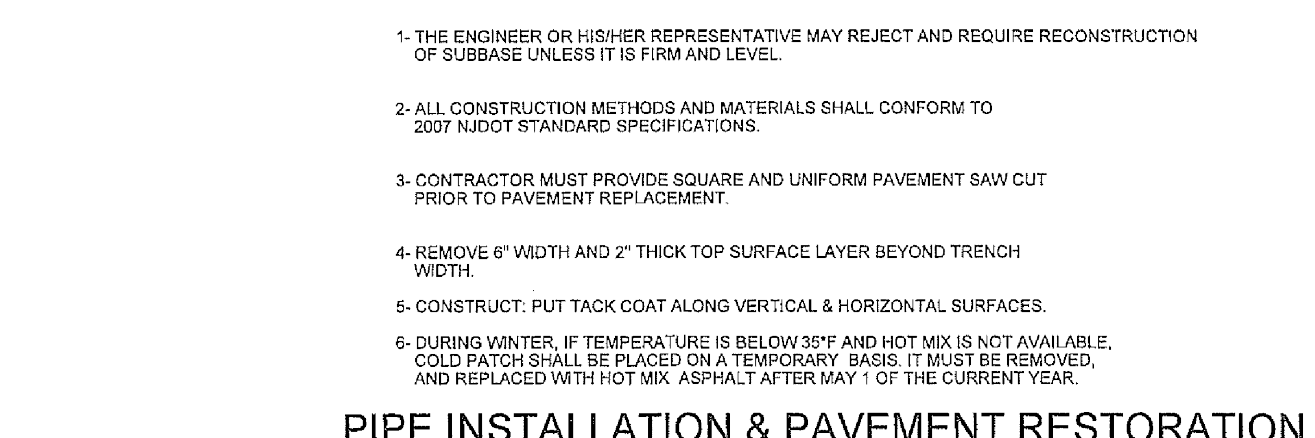
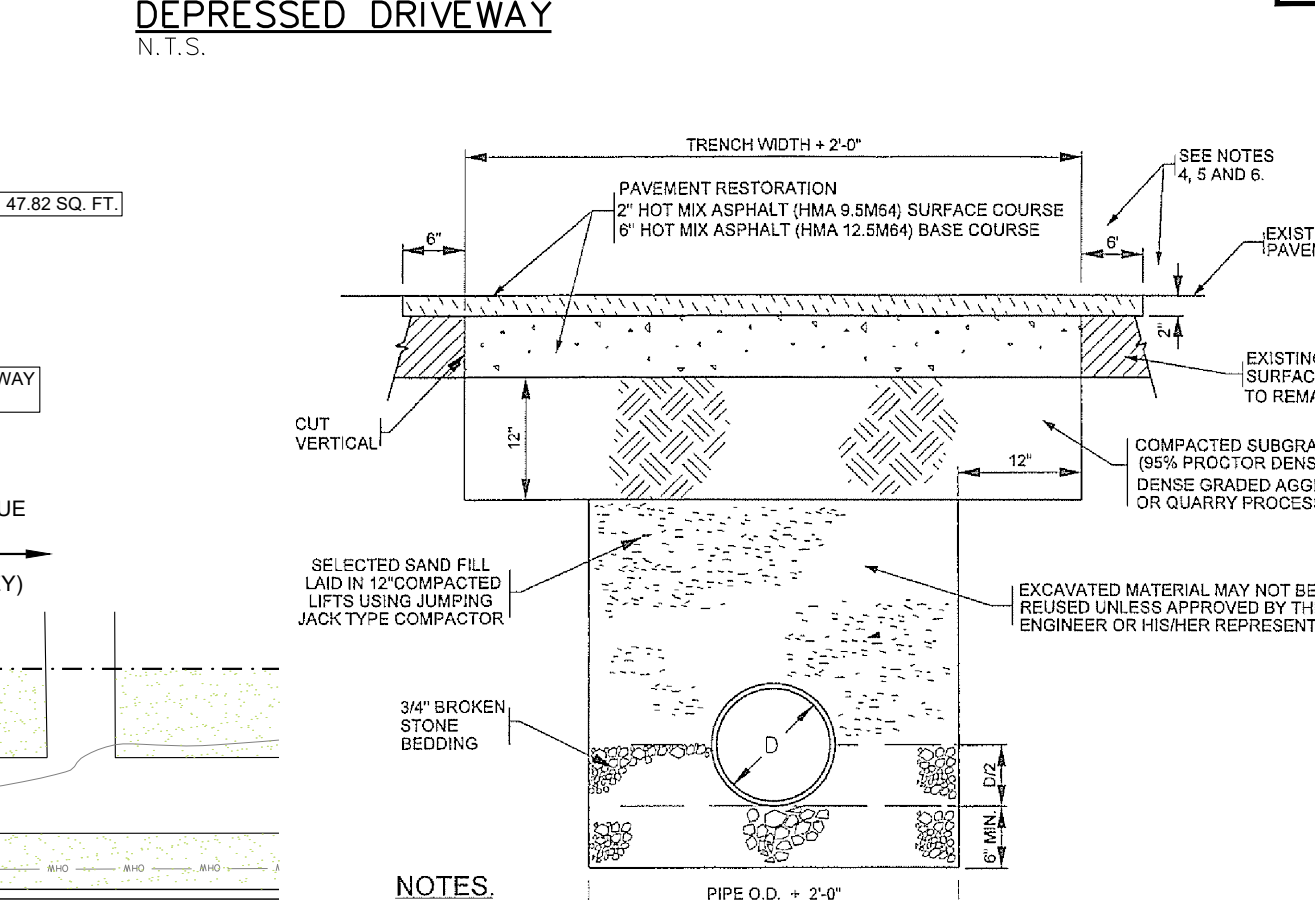
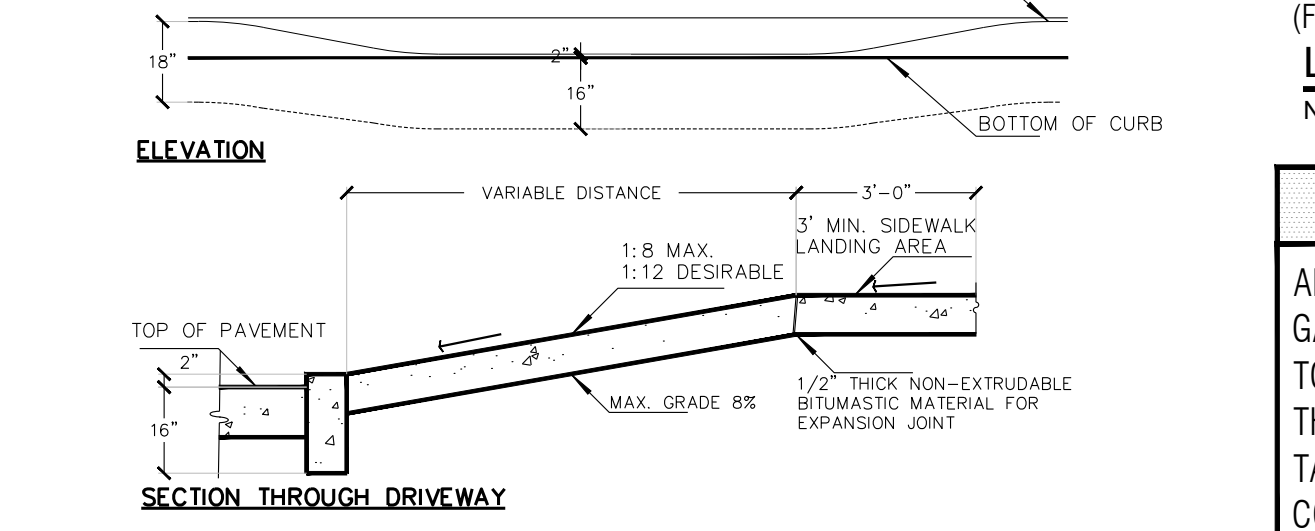
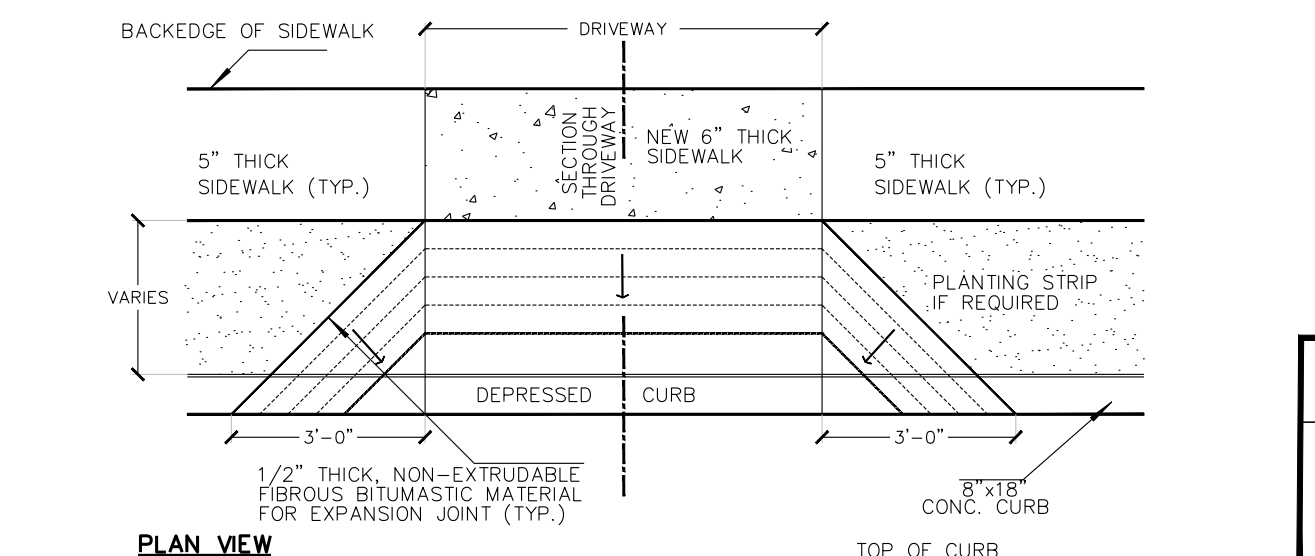
NOTE:  
 "Surveyed" lines shown hereon are based on survey evidence, lines of possession, adjoining lot six's deed and adjoining lot seven's survey. If deed starting distances are to be held as true, property lines they would need to move east by 2.11'. These differences should be resolved before any development of the property.



**NOTES:**  
 PROVIDE CONTINUOUS TRENCH OF STRUCTURAL SOIL BELOW ALL PAVEMENT AREAS. BREAK SOIL TRENCHES ONLY WHERE REQUIRED FOR UTILITIES AND FOUNDATIONS

**PLANTING NOTES:**

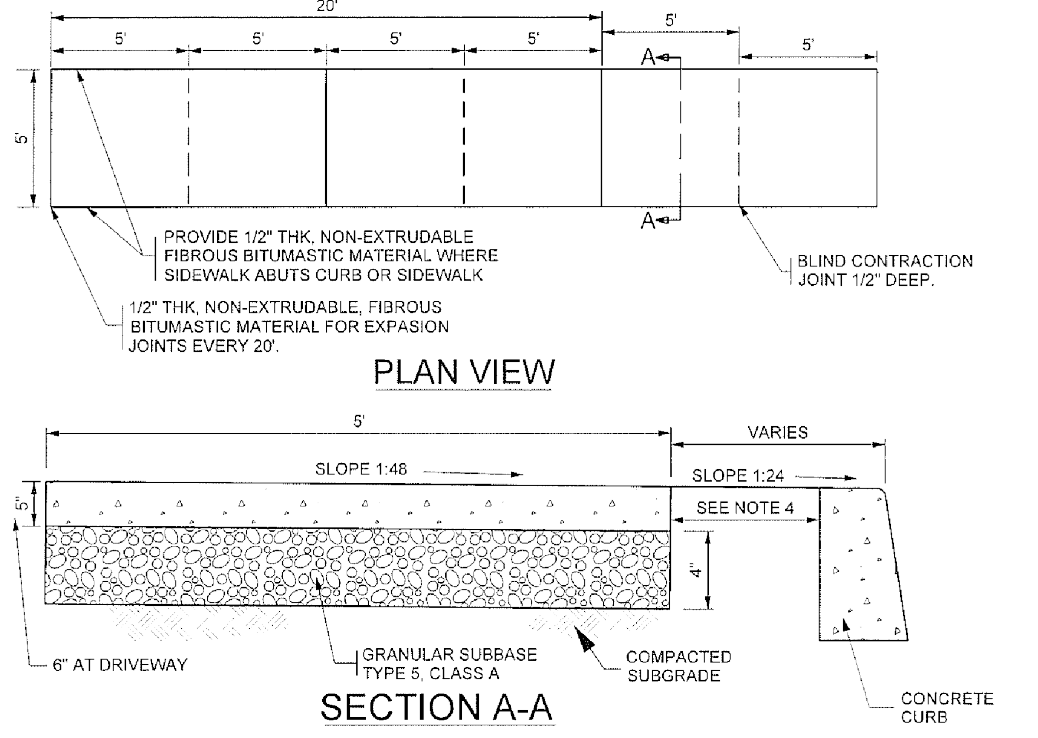
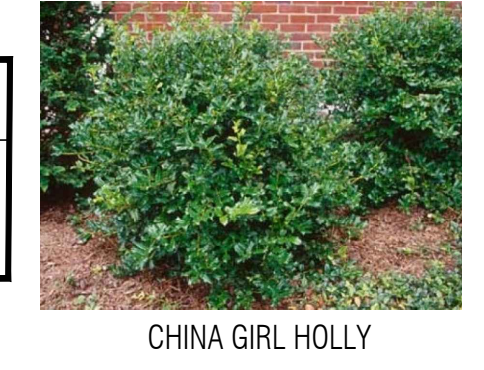
- ALL SHRUBS SHALL HAVE A MINIMUM HEIGHT AND INITIAL SPREADS OF 24" AND SHALL BE EITHER BALLED AND BAGGED OR DELIVERED IN 2 GALLON CONTAINERS. AND SHALL BE EITHER BALLED AND BAGGED OR DELIVERED IN 2 GALLON CONTAINERS.
- ARE TO RECEIVE SEEDING AFTER FINAL GRADING.
- ALL STAKING AND GUY WIRES ATTACHED TO THE TREES WILL BE REMOVED BY THE DEVELOPER AFTER ONE YEAR FROM INITIAL PLANTING.
- ALL TREE PITS SHALL HAVE A 4' X 4' OPENING IN PAVEMENT WITH THE TOP LAYER COVERED WITH SAND AND CONCRETE BRICK PAVERS LEVEL W/ SIDEWALK.
- ALL NEW STREET TREES SHALL BE PLANTED IN 4'X4' TREE PITS AT THE CURB LINE. ALL TREES SHALL BE PLANTED AT MINIMUM INITIAL SIZE OF 3" - 3-1/2" CALIPER AND SHALL BE BRANCHED AT 7'-0".



KEY	AMOUNT	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
MCG	23	ILEX MESOG 'CHINA GIRL'	CHINA GIRL HOLLY	36" MINIMUM - 42" HT.

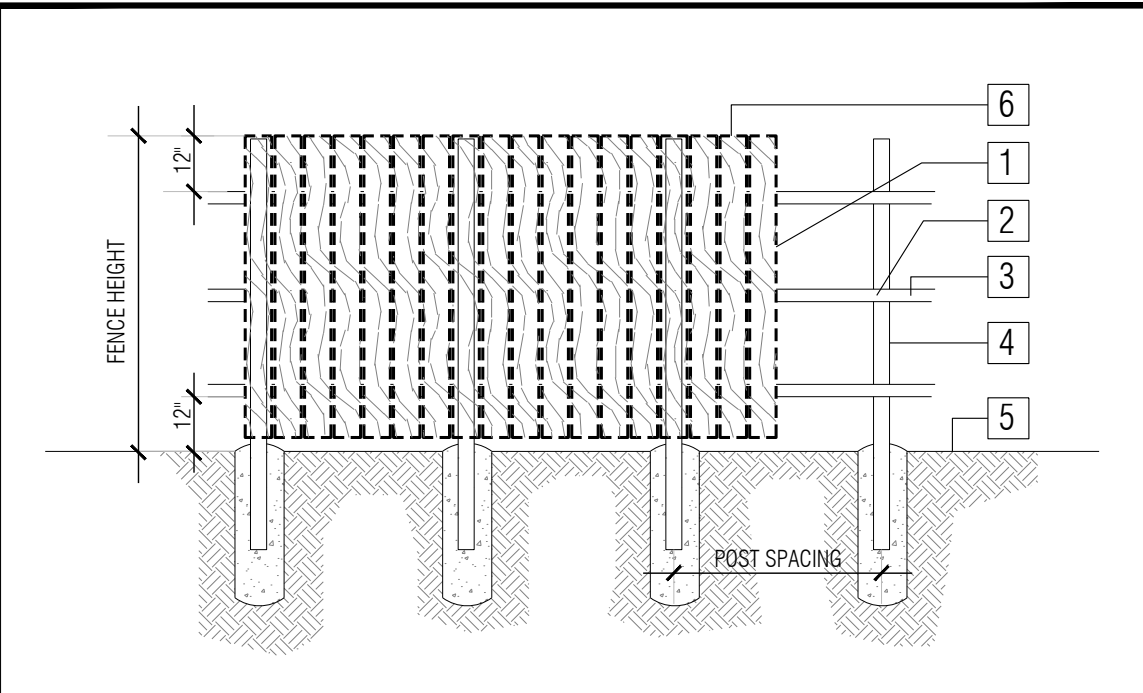
(FOR PLANTING DETAILS SEE SITE PLAN DETAILS PAGE).  
**LANDSCAPE SCHEDULE**  
 N.T.S.

**GARBAGE STATEMENT**  
 APARTMENTS:  
 GARBAGE WILL BE TAKEN BY TENANT TO THE GARBAGE AREA LOCATED ON THE GROUND, THEN IT WILL BE TAKEN OUTSIDE FOR REGULAR COLLECTION.



**NOTES:**

- 1- ALL CONCRETE SHALL CONFORM TO NJ STATE HIGHWAY DEPARTMENT SPECIFICATION CLASS 'B' AIR-ENTRAINED, 4500 P.S.I. MINIMUM AT 28 DAYS. ALL CONCRETE WORK SHALL HAVE A WOOD FLOAT AND TRANSVERSE BROOM FINISH. BROOMING SHALL BE DONE BEFORE INITIAL SET. USING A STEEL OR BRAN BROOM. ALL JOINTS AND EDGES SHALL TOoled AND ROUND.
- 2- INADEQUATE SUBBASE AND FORMWORK MAY BE REJECTED BY THE CITY ENGINEER OR HISHER REPRESENTATIVE PRIOR TO POURING.
- 3- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO 2007 NDOT STANDARD SPECIFICATIONS.
- 4- WHEN SIDEWALK ABUTS CURB OR SIDEWALK, 1/2" THICK NON-EXTRUDABLE FIBROUS BITUMASTIC EXPANSION JOINTS IS REQUIRED.



**WOOD FENCE POST SPACING REQUIREMENTS**

FENCE HEIGHT (FT)	POST SPACING (FT)
UP TO 4'-0"	6'-0"
UP TO 5'-0"	5'-0"
UP TO 6'-0"	6'-0"

NOTE: PRE-ASSEMBLED WOOD PANEL FENCES AND OR OTHER FENCES SOLD IN WAREHOUSE STORES ARE NOT COVERED BY THIS DETAIL. APPLICANT IS ADVISED TO OBTAIN THE CURRENT NOTICE OF ACCEPTANCE FROM THE STORE AND SUBMIT IT FOR PERMITTING. THE FENCE MUST BE BUILT IN ACCORDANCE WITH THE APPROVED NOTICE OF ACCEPTANCE.

**SITE PLAN NOTES:**

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SURVEY OF THE FOUNDATION WORK AND SUBMIT A COPY OF THE SAME TO THE ARCHITECT AND THE CITY TO VERIFY THE AS BUILT SETBACKS OF THE STRUCTURE.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS BETWEEN THE PROPOSED AND AS-BUILT SETBACKS OF THE STRUCTURE BEFORE PROCEEDING WITH THE WORK.
3. THE ONLY VALID DRAWINGS THAT SHOULD BE USED FOR CONSTRUCTING THE WORK ARE THE APPROVED DRAWINGS AS ISSUED BY THE NEWARK BUILDING DEPARTMENT.
4. ANY PERMIT UPDATE DRAWINGS THAT HAVE BEEN APPROVED BY THE CITY SUPERCEDE THE ORIGINAL PERMIT DRAWINGS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE UPDATED PERMIT DRAWINGS AT THE THE SITE DURING CONSTRUCTION.
6. NEW CURBS AND SIDEWALKS SHALL BE CONSTRUCTED AT ALL PROPERTY FRONTAGE. ALL

WORK SHALL CONFORM TO CITY STANDARDS.

7. THE CONTRACTOR MUST PROVIDE VISIBLE BUILDING ADDRESSES FOR ALL STRUCTURES. ADDRESSES SHALL BE DISPLAYED IN ACCORDANCE WITH THE CITY'S 911 LOCATABLE ADDRESS ORDINANCE.
8. A STREET AND/OR SIDEWALK OCCUPANCY PERMIT MUST BE OBTAINED FROM THE DIVISION OF TRAFFIC AND SIGNAL PRIOR TO ANY CONSTRUCTION IN OR OCCUPANCY OF THE PUBLIC RIGHT-OF-WAY.
9. A SIDE WALK CONSTRUCTION PERMIT MUST BE OBTAINED FROM THE DIVISION OF TRAFFIC AND SIGNAL PRIOR TO SUCH WORK.
10. NO UTILITY METERS MAY BE LOCATED AT ANY STREET EXPOSURE OF THE BUILDING. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL EXTERIOR METERS WITH THE ARCHITECT PRIOR TO ANY UTILITY INSTALLATION.
11. EXISTING STREET CATCH BASINS AND INLETS ARE TO BE RETROFITTED WITH A NEW FRAME /GRATE/CURB- PIECE AS PER CITY STANDARDS.
12. UTILITY TRENCHED MUST BE MILLED AND RE-PAVED A MINIMUM OF 10 FEET WIDE.

**LANDSCAPING NOTES:**

1. ALL MATERIALS TO BE TYPE AND SIZE AS LISTED UNLESS OTHERWISE APPROVED.
2. TREES AND SHRUBS TO BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS REGARDING SIZE AND QUALITY.
3. CALIPER MEASURED 1 FT. ABOVE TRUNK CROWN.
4. EXISTING TREES AND SHRUBS SHALL REMAIN WHEREVER POSSIBLE.
5. PLANTS ARE TO BE PLANTED UPRIGHT IN A DIRECTION SO AS TO PROVIDE BEST APPEARANCE IN RELATIONSHIP TO ADJACENT AREAS.
6. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. (REFER TO DETAILS).
7. PLANTING PITS ARE TO BE PREPARED TO A MINIMUM DEPTH OF 12" AND PITS ARE TO HAVE A MINIMUM OF 9" OF GOOD TOPSOIL. LAWN AREAS ARE TO HAVE A MINIMUM OF 6" (4" FOR SOD) OF TOPSOIL.
8. TREE PITS, PLANT BEDS, AND GROUND COVER AREAS SHALL BE MULCHED WITH A MINIMUM DEPTH OF 3" (AFTER SETTLEMENT) OF SHREDDED HARDWOOD MULCH.
9. PROVIDE NEW OR AMENDED TOPSOIL BACK FILL FOR ALL NEWLY PLANTED MATERIAL ORGANIC MATTER

CONTENT = 5% MINIMUM, PH RANGE BETWEEN 5.0 - 6.5 INCLUSIVE, FREE OF STONES 1" OR GREATER AND FREE OF ALL DEBRIS AND EXTRANEIOUS MATERIALS.

10. CHEMICAL FERTILIZERS TO BE DERIVED FROM ORGANIC SOURCES AND APPLIED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
11. ALL OPEN SPACES SHALL BE SEEDED OR SODDED AS NOTED ON PLAN.
12. LANDSCAPING PLAN IS DIAGRAMMATIC. PLANT LOCATIONS MAY BE ADJUSTED FOR FIELD CONDITIONS WITH PRIOR APPROVAL.
13. THE CONTRACTOR MUST VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY PLANTATION.
14. ANY DISCREPANCIES AND/OR INCONSISTENCIES ARE TO BE BROUGHT TO THE CITY FOR REVIEW AND RESOLUTION.
15. ALL LANDSCAPING NOT SURVIVING FOR A PERIOD OF ONE YEAR SHALL BE REPLACED WITH THE SAME OR EQUIVALENT SIZE SPECIES.
16. STREET TREES SHALL BE BRANCHED AT 7 FT.
17. ALL LANDSCAPE SHALL BE MAINTAINED BY OWNER.
18. TREES SHALL BE PLANTED AT A MIN. INITIAL SIZE OF 3" CALIPER BALLED AND BURLAPPED.

REVISIONS:

877 BROAD STREET  
 NEWARK, NJ 07102  
 TEL: (973) 824-0022  
 FAX: (973) 824-7447

ARTEK  
 STUDIO, LLC.

Block # : 527  
 Lot: 7

APPLICANT: COLD RIVER REALTY CORP  
 85 WINANS AVENUE  
 CRANFORD, NJ  
 PROPOSED NEW TWO FAMILY DWELLING.

DATE: 08/23/2022  
 DRAWN BY: ER  
 CHECKED BY: DAR

PROJECT: 21035  
 DRAWING: S-100  
 2 OF 7

**Existing Conditions:**  
 Lot 6,250.00 s.f. = 0.14348 acre  
 Grass 6,250.00 s.f. = 0.14348 acre  
 Building N/A= N/A  
 Circulation N/A= N/A  
 Parking N/A= N/A  
 Total Impervious = N/A= N/A

**Q=CIA**  
 Note Tc = 10 min. ( minimum )  
 Where I ( Intensity ) is as per R.S.I.S. TABLE 7.2  
 Where C value is taken from TABLE 7.1 R.S.I.S.  
 A= 0.14348 acre  
 C= 0.99 (Impervious)  
 C= 0.51 (Earth)  
 I= 5.9  
 Cw= 0.14348(0.51) = 0.14348  
 Cw= 0.0.51

**Q=0.51x5.9x0.14348**  
**Q=0.4326 c.f.**

**Proposed:**  
 Lot 6,250.00 s.f. = 0.14348 acre  
 Grass 2,710.59 s.f. = 0.0622 acre  
 Building 2,014.13 s.f. = 0.0462 acre  
 Circulation Patio= 255.00 s.f.= 0.005854 acre  
 Walkways= 174.50 s.f.= 0.004006 acre  
 Stairs= 175.47 s.f.= 0.004028 acre  
 Driveway= 455.78 s.f.= 0.010463 acre  
 Parking= N/A= N/A  
 Total Impervious = 3,074.88 s.f. (0.0759 acre)

**Q=CIA**  
 Note Tc = 10 min. ( minimum )  
 Where I ( Intensity ) is as per R.S.I.S. TABLE 7.2  
 Where C value is taken from TABLE 7.2 R.S.I.S.  
 A= 0.14348 acre  
 C= 0.99 (Impervious)  
 C= 0.51 (Grass)  
 I= 5.9  
 Cw= 0.007059(0.99)+0.0728(0.51) = 0.14348  
 Cw= 0.7457

**Q=0.7457x5.9x0.14348**  
**Q=0.6312 c.f.**

**The runoff for the proposed site plan, is more than the existing site conditions.**

**PROPOSED VOLUME OF PIT:**  
**V=Q xTc**  
 Note Tc = 10 min. ( minimum )  
 Where Q is in cb.ft/second (convert to minutes 1 min.=60 sec).

**V= (0.6312 cf. ft x 60 sec) x 10 min.**  
**V= 378.72 c.f.**

**TOTAL AREA REQUIRED = 378.72 CU. FT.**

**WATER RETENTION SYSTEM - STORAGE VOLUME CALCULATION:**

**SEEPAGE PIT VOLUME**  
 $V_1 = (\pi \times R_1^2) \times H_1 = 3.14 \times 16.0 \times 3.5 = 175.8$

**GRAVEL BASE VOLUME**  
 $V_2 = (\pi \times R_2^2) \times H_2 = 3.14 \times 25.0 \times 1.0 = 78.5$

**GRAVEL + SEEPAGE PIT VOLUME**  
 $V_3 = (\pi \times R_3^2) \times H_3 = 3.14 \times 25.0 \times 3.5 = 274.8$

**TOTAL GROSS GRAVEL VOLUME**  
 $V_{st} = V_1 + V_2 = 175.8 + 78.5 = 254.3$   
 $V_{st} = V_3 - V_1 = 274.8 - 175.8 = 99.0$   
 $V_{st} = 254.3 - 99.0 = 155.3$

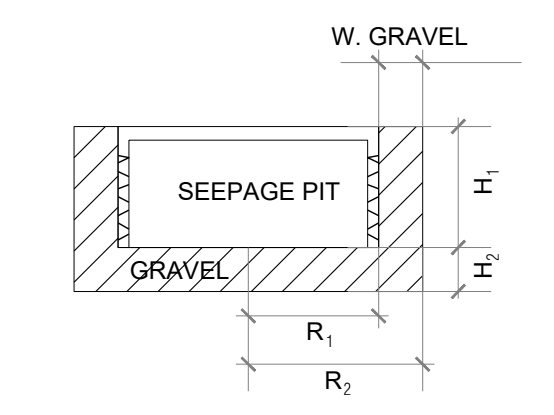
**TOTAL VOLUME REQUIRED**  
 163.0 cu. ft.

**TOTAL VOLUME PROVIDED BY SYSTEM**

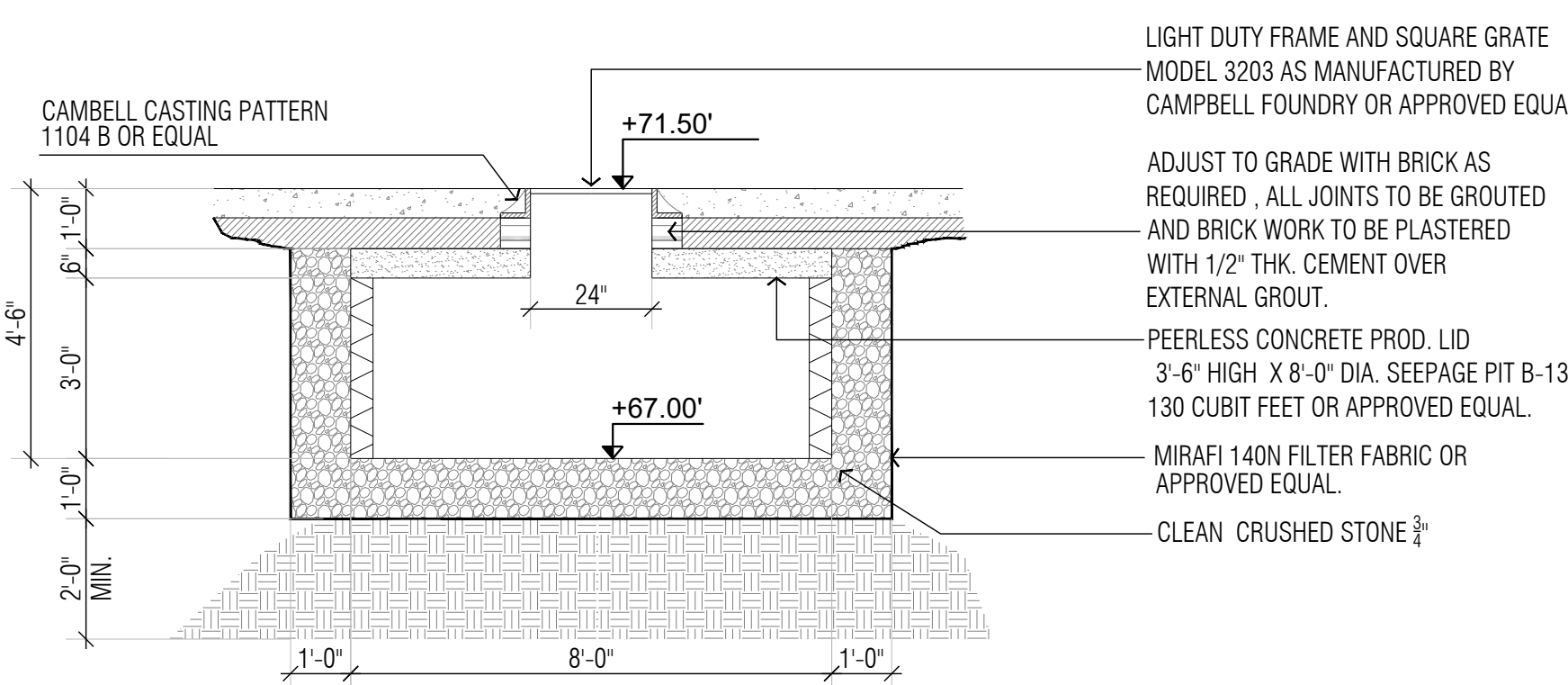
SEEPAGE PIT BY PEERLESS	=	130
TOTAL GRAVEL AROUND PIT	=	21.0
<b>TOTAL VOLUME PROVIDED</b>	=	<b>201.0</b> cu. ft.

**VERIFICATION** 201.0 > 163.4 cu. ft. OK

**SEEPAGE PIT SPECS.**  
 3'-6" HIGH X 8'-0" DIA.  
 PEERLESS SEEPAGE PIT  
 B-13 - 130.0 CU.FT OF  
 CAPACITY. APPROVED OR  
 EQUAL.

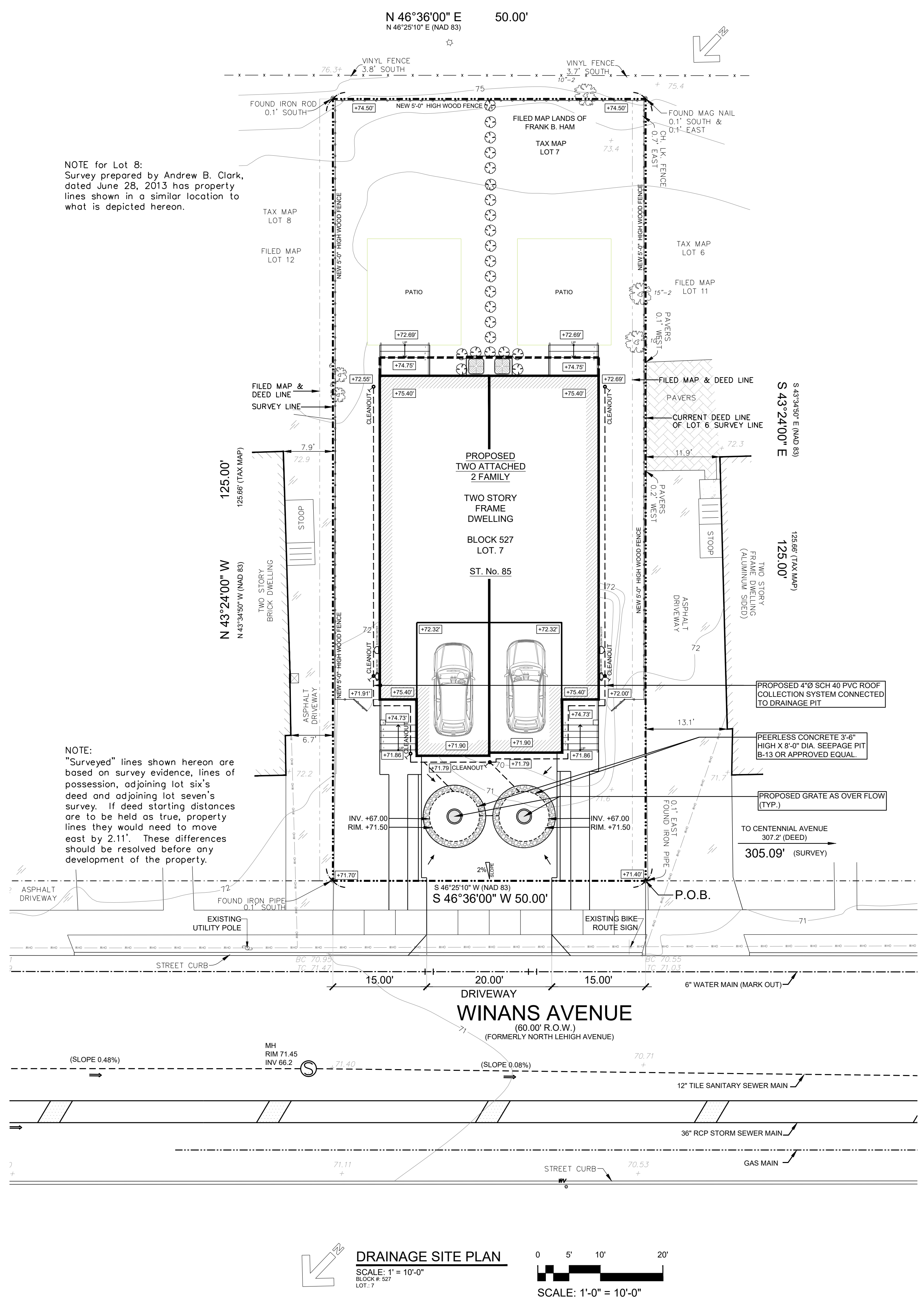


**TOTAL AREA REQUIRED = 378.72 CU. FT.**  
 201.00 x 2 = 402.00  
 402.00 > 378.72 = OK



LIGHT DUTY FRAME AND SQUARE GRATE MODEL 3203 AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL.  
 ADJUST TO GRADE WITH BRICK AS REQUIRED. ALL JOINTS TO BE GROUTED AND BRICK WORK TO BE PLASTERED WITH 1/2" THK. CEMENT OVER EXTERNAL GROUT.  
 PEERLESS CONCRETE PROD. LID 3'-6" HIGH X 8'-0" DIA. SEEPAGE PIT B-13 130 CUBIT FEET OR APPROVED EQUAL.  
 MIRAFI 140N FILTER FABRIC OR APPROVED EQUAL.  
 CLEAN CRUSHED STONE 3/4"

**SEEPAGE PIT DETAIL**  
 N.T.S.



NOTE for Lot 8:  
 Survey prepared by Andrew B. Clark, dated June 28, 2013 has property lines shown in a similar location to what is depicted herein.

NOTE:  
 "Surveyed" lines shown hereon are based on survey evidence, lines of possession, adjoining lot six's deed and adjoining lot seven's survey. If deed starting distances are to be held as true, property lines they would need to move east by 2.11'. These differences should be resolved before any development of the property.

**DRAINAGE SITE PLAN**  
 SCALE: 1" = 10'-0"  
 BLOCK # 527  
 LOT: 7  
 SCALE: 1'-0" = 10'-0"

REVISIONS:

ARTEK STUDIO, LLC.

Block # : 527  
 Lot: 7

APPLICANT: COLD RIVER REALTY CORP  
 85 WINANS AVENUE  
 CRANFORD, NJ  
 PROPOSED NEW TWO FAMILY DWELLING.

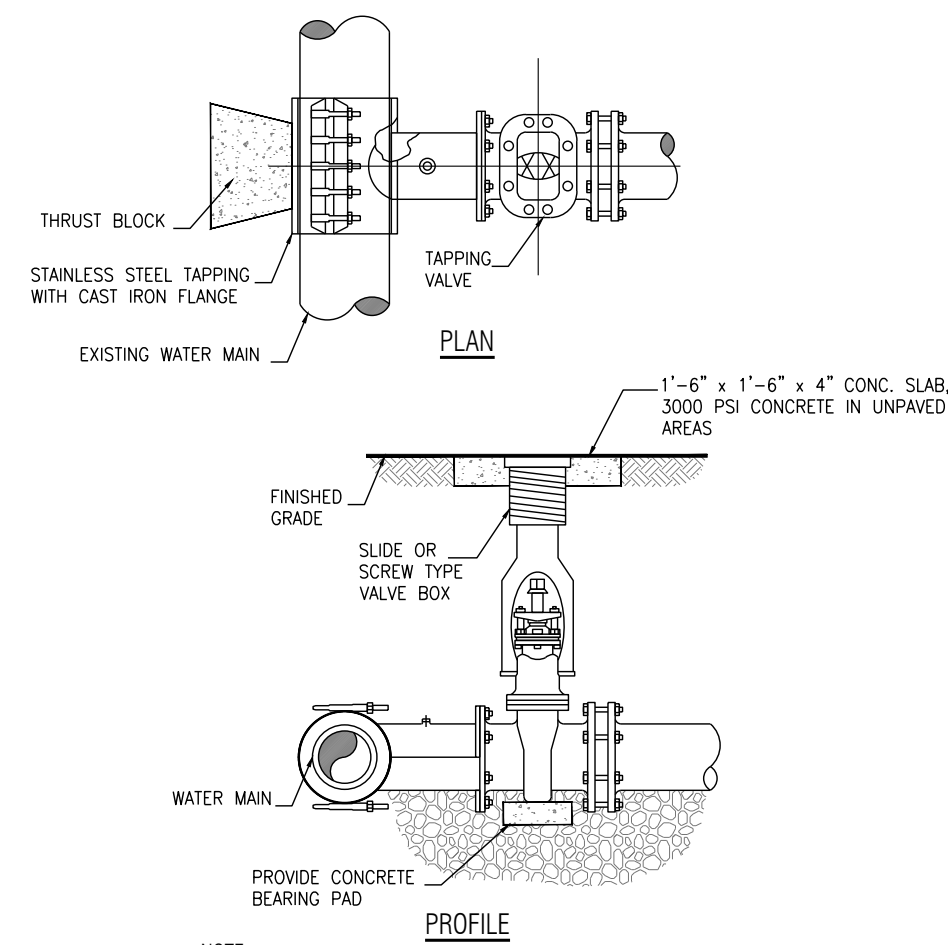
DATE: 08/23/2022  
 DRAWN BY: ER  
 CHECKED BY: DAR

PROJECT: 21035  
 DRAWING: S-110  
 3 OF 7

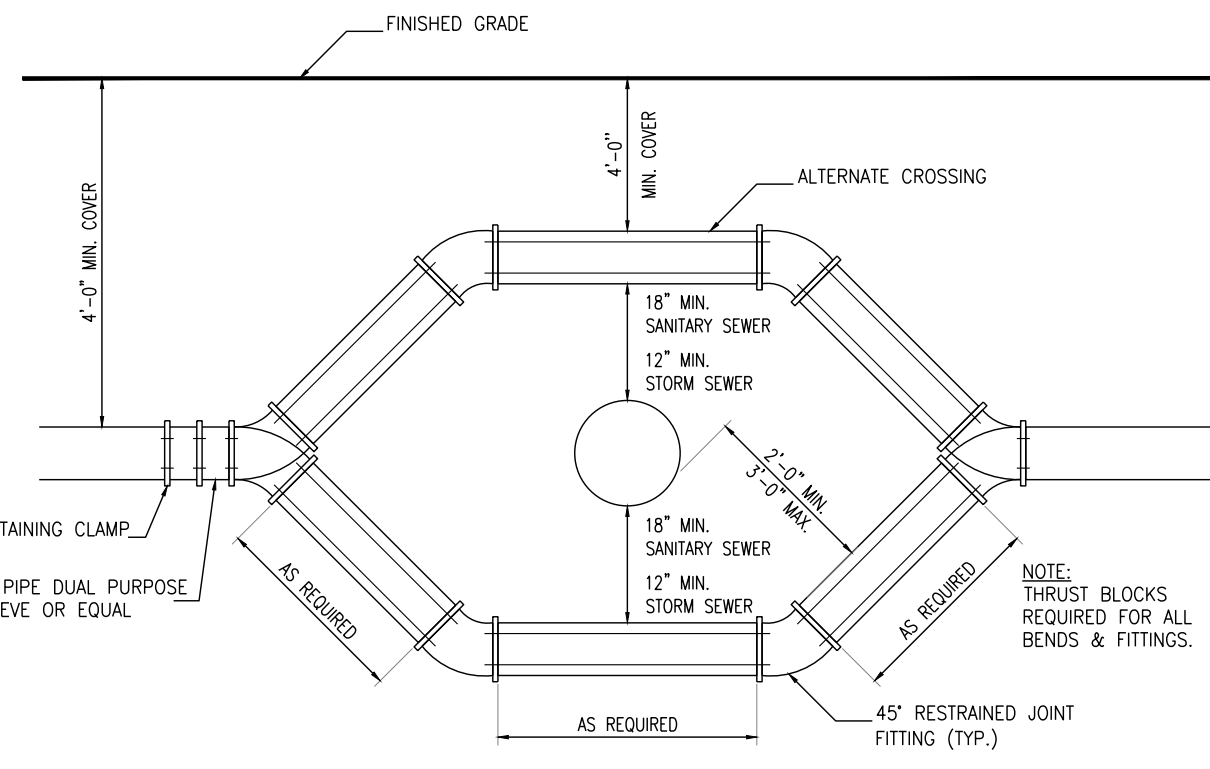
877 BROAD STREET  
 NEWARK, NJ 07102  
 TEL: (973) 824-0022  
 FAX: (973) 824-7447

**UTILITY NOTES (AS APPLICABLE):**

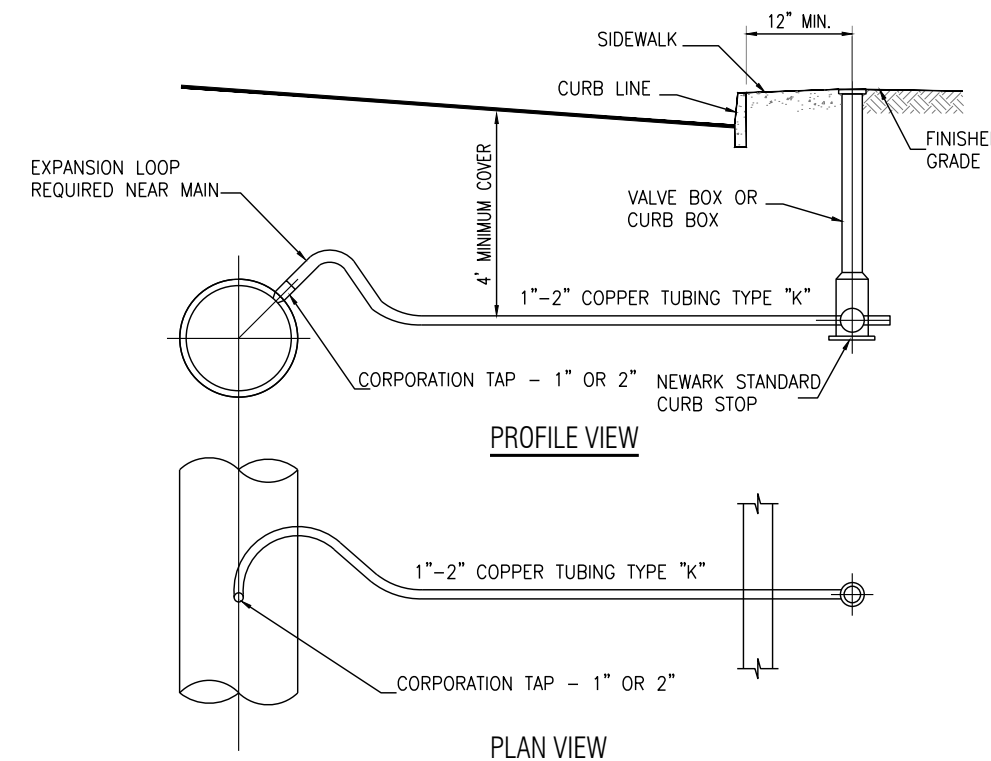
- NEW SERVICE INSTALLATION REQUIRES EXISTING SERVICES TO BE TERMINATED PER DEPARTMENT GUIDELINES. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE DEPARTMENT OF WATER AND SEWER UTILITIES TO OBTAIN PERMITS AND SCHEDULE OF THE DISCONTINUANCE OF WATER AND SEWER SERVICE. EXISTING SEWER SERVICE SHOULD BE CAPPED AT THE CURB AND EXISTING WATER SERVICE SHOULD BE TERMINATED AT THE MAIN PRIOR TO THE INSTALLATION OF ANY NEW UTILITIES. COORDINATION WITH THE DEPARTMENT'S INSPECTOR TO CONFIRM DOCUMENTATION OF THE ACTUAL DISCONTINUANCE OF SERVICE IS REQUIRED.
- WATER AND SEWER UTILITIES NEED TO BE METERED WHERE THE UTILITIES ENTER THE BUILDING.
- REQUIRED MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FOR WATER AND SEWER UTILITIES, AND COVER REQUIREMENTS ARE TO BE MAINTAINED.
- A HYDRAULIC FLOW TEST (HFT) NEEDS TO BE PERFORMED TO ENSURE THAT THE WATER SERVICE AND PRESSURE (PSI) PROVIDED FOR THIS PROJECT IS SUFFICIENT FOR DOMESTIC WATER SUPPLY AND FIRE PROTECTION (IF REQUIRED) PER DEPARTMENT STANDARDS.
- DOMESTIC AND FIRE SERVICES MUST BE METERED SEPARATELY. FIRE SERVICE LINES MUST HAVE A BACKFLOW PREVENTER (RPZ) AND MUST BE VERIFIED BY THE WATER AND SEWER DEPARTMENT AND INSPECTED BY THE FIRE DEPARTMENT. AN ACCEPTABLE MINIMUM OF 4" DIP CLASS 52 WATER LINES CAN BE USED FOR FIRE LINES.
- OVERLAND FLOW OF STORMWATER RUNOFF OVER SIDEWALKS AND DRIVEWAYS IS NOT PERMITTED.
- IF ANY STORMWATER RUNOFF DRAINAGE PROBLEMS OCCUR ON THE PROPERTY AND/OR NEIGHBORING PROPERTIES, IT WILL BE THE APPLICANT'S RESPONSIBILITY TO REMEDY THE DRAINAGE ISSUE.
- THE STORMWATER COLLECTION SYSTEM SHALL BE MAINTAINED BY THE PROPERTY OWNER REGULARLY TO ENSURE THAT THE FACILITY OPERATES AT DESIGN CAPACITY.
- AN ANALYSIS OF THE SOIL SURROUNDING THE PROPOSED STORMWATER COLLECTION SYSTEM NEEDS TO BE PERFORMED TO CONFIRM THAT EXISTING SOILS CAN SUPPORT THE PROPOSED SYSTEM. A COPY OF THE ANALYSIS SHALL BE FORWARDED TO THE DEPARTMENT OF WATER AND SEWER UTILITIES. SHOULD EXISTING SOILS BE UNSUITABLE, OR ROCK IS ENCOUNTERED, AN ALTERNATE METHOD WILL BE DESIGNED AND SUBMITTED FOR REVIEW.
- ALL WATER AND SANITARY SEWER STRUCTURES/ FACILITIES MUST CONFORM TO THE CITY OF NEWARK STANDARD.
- TAPPING VALVES FOR FIRE SERVICE SHALL BE CITY OF NEWARK STANDARD, OPENING IN A CLOCKWISE DIRECTION AND HAVE A PRESSURE OF 200 PSI.



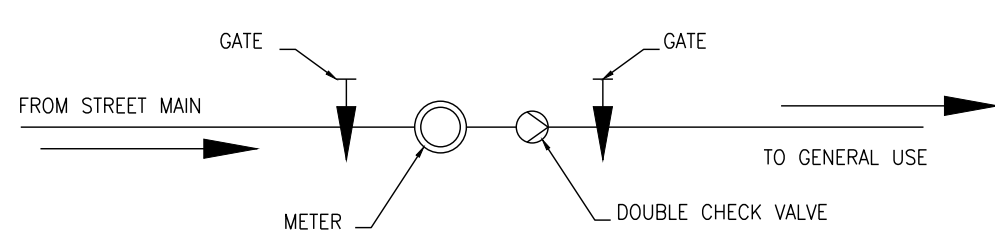
**TAPPING SLEEVE AND VALVE DETAIL**  
N.T.S.



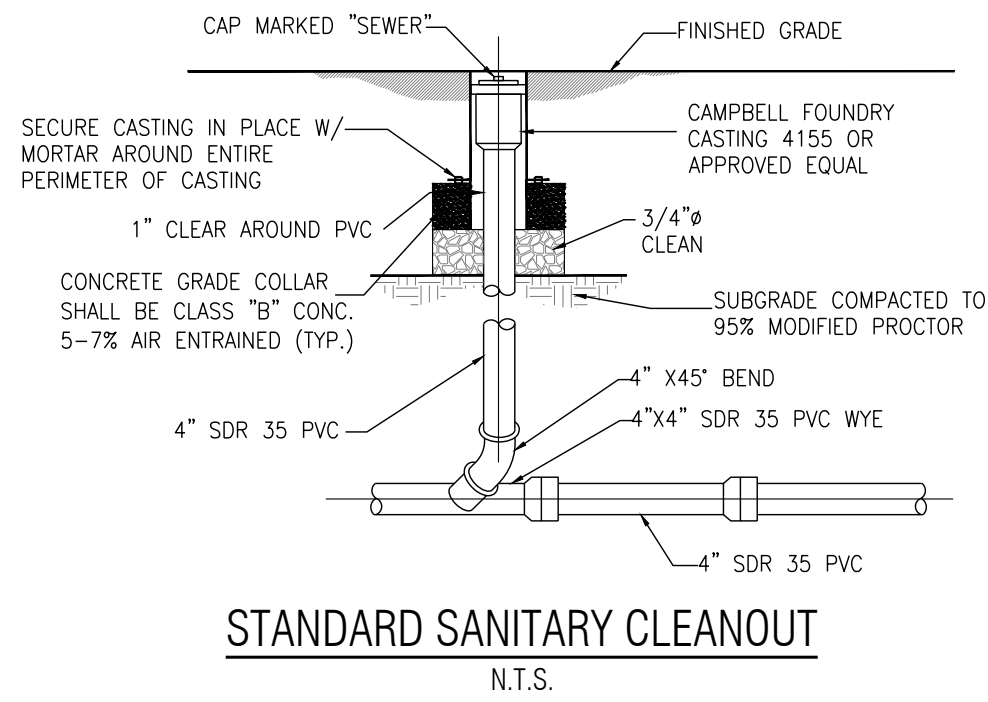
**WATER MAIN - CROSSING UTILITY DETAIL**  
(IF REQUIRED)  
N.T.S.



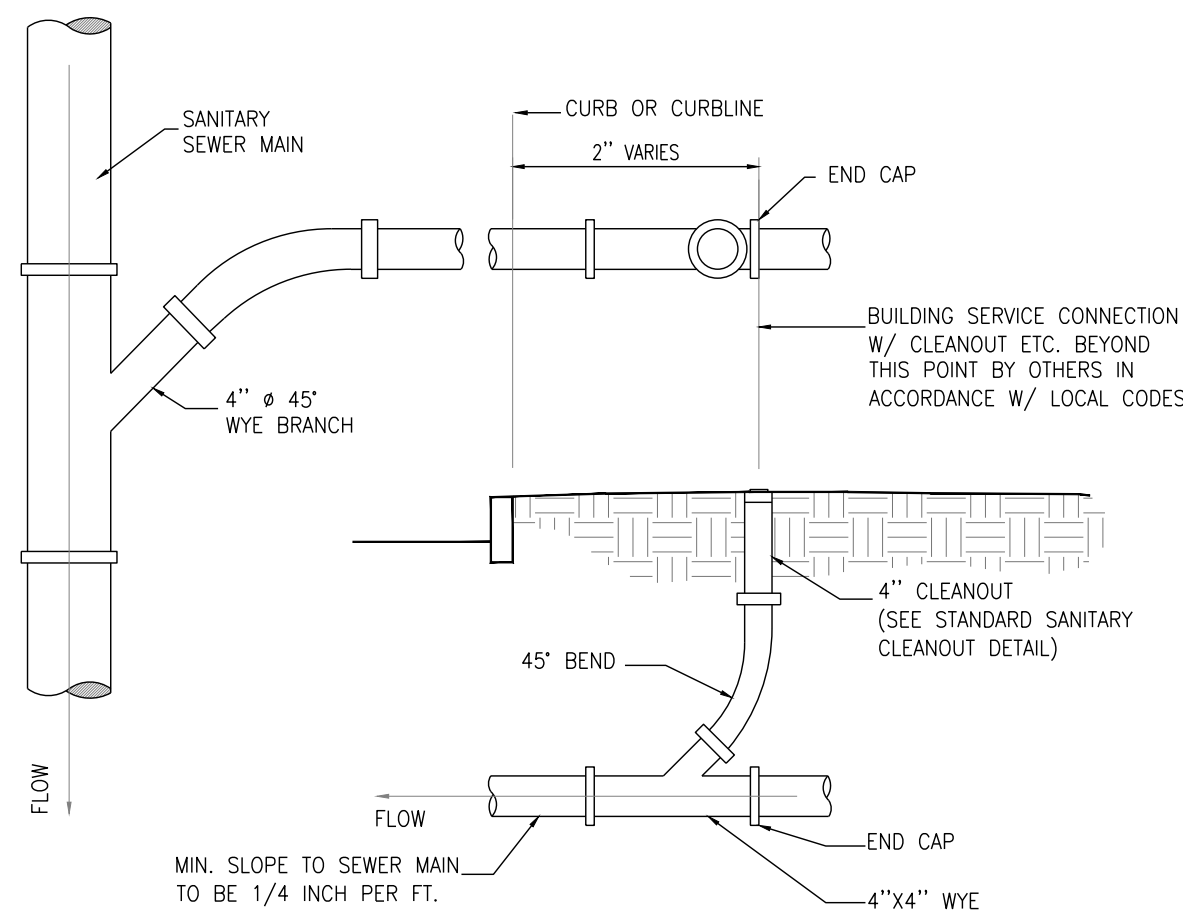
**TYPICAL INSTALLATION OF 1" - 2" SERVICES**  
(IF REQUIRED)  
N.T.S.



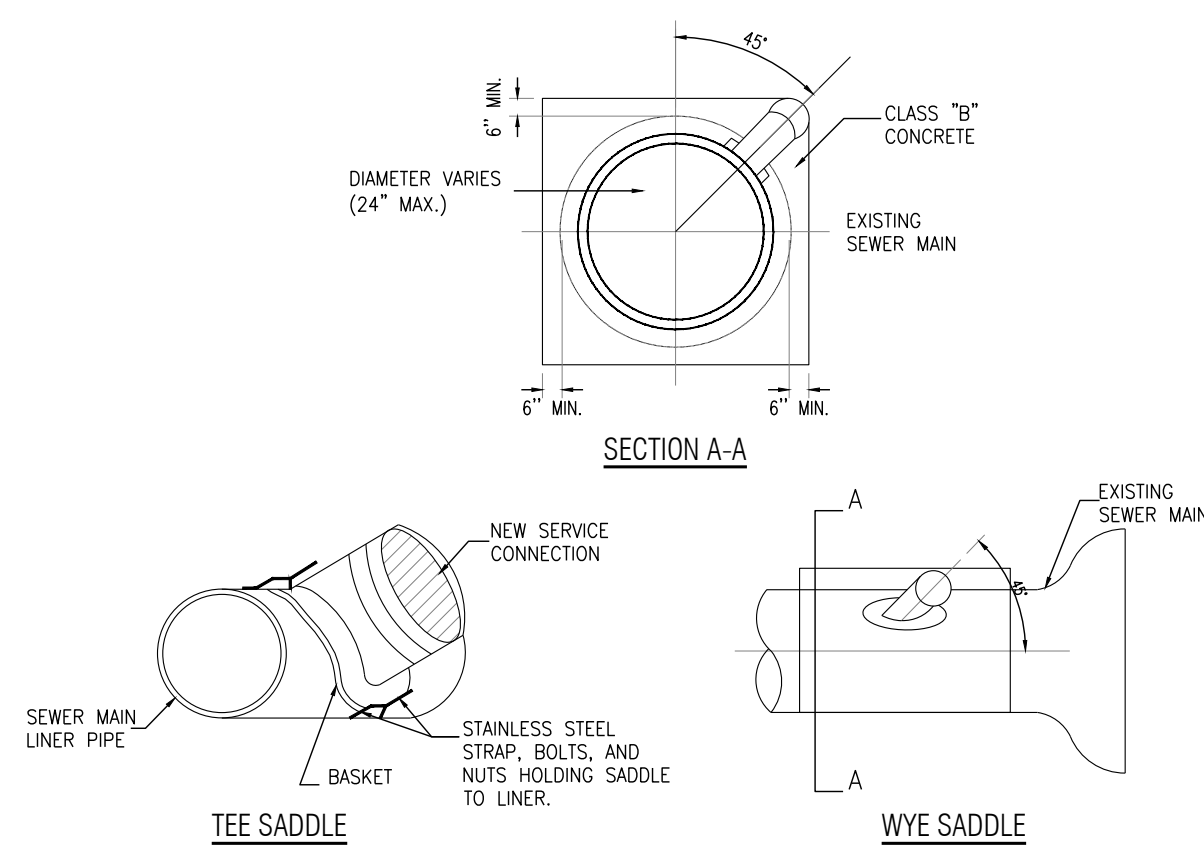
**METER SETTING FOR 5/8" - 1" METER**



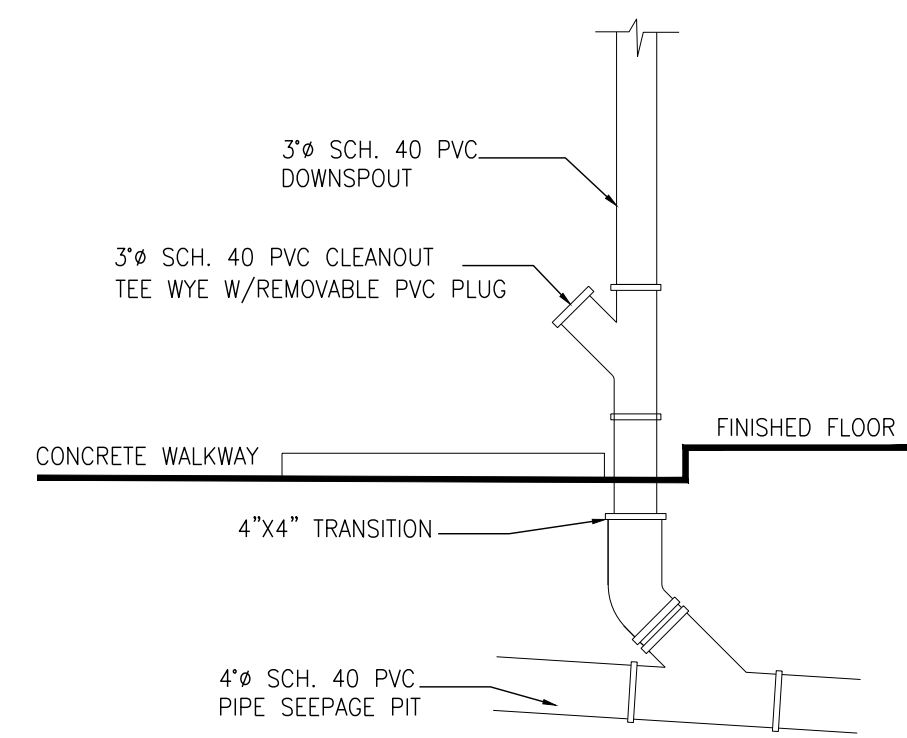
**STANDARD SANITARY CLEANOUT**  
N.T.S.



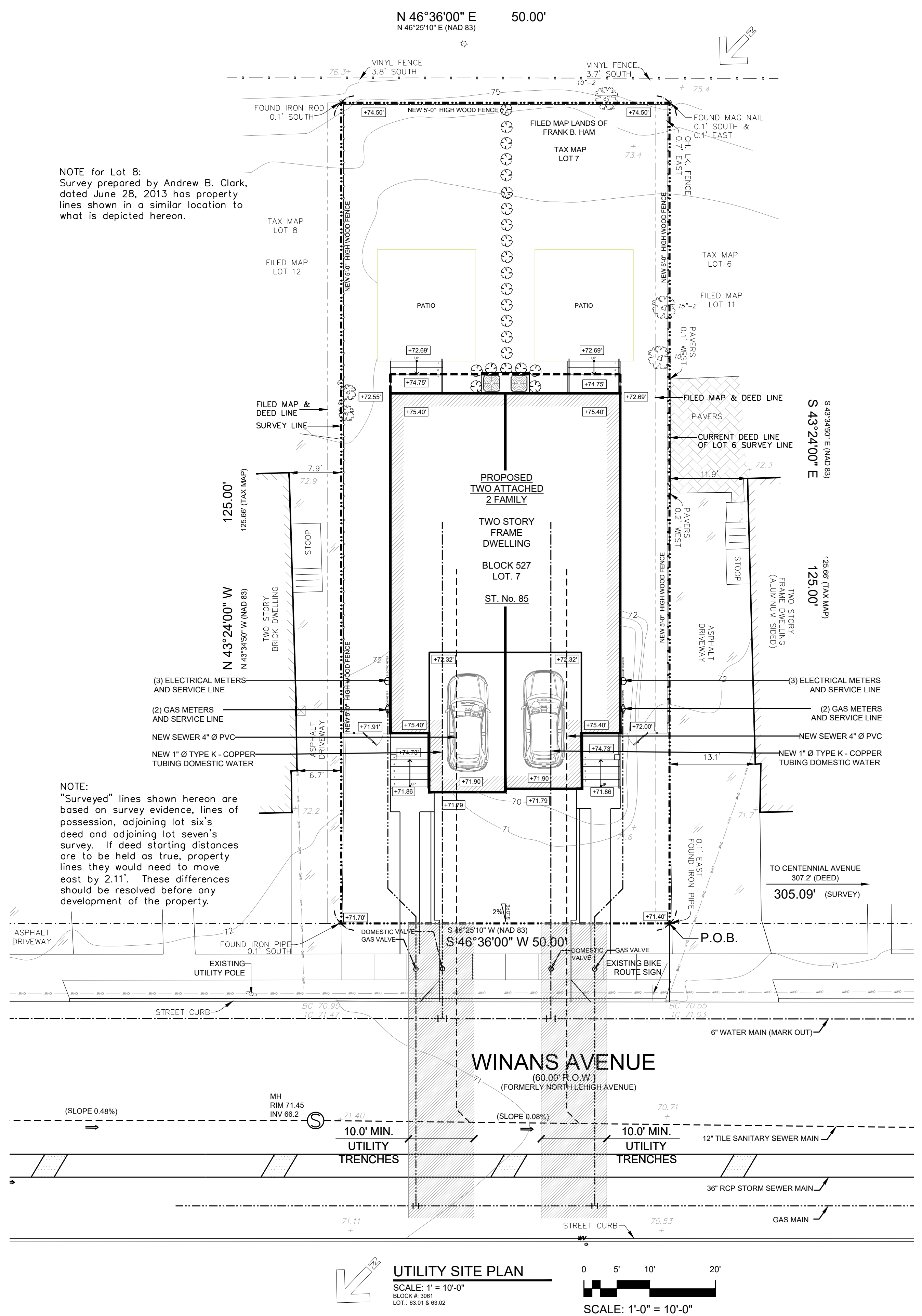
**STANDARD SANITARY SERVICE - LATERAL DETAIL**  
N.T.S.



**CONNECTION TO PVC, CLAY OR DUCTILE IRON SEWER**  
N.T.S.



**ROOF DRAIN WITH CLEANOUT DETAIL**  
N.T.S.



**UTILITY NOTES:**

- DEVELOPER WILL COMPLY WITH ALL DIRECTIVES FROM THE DIVISION OF WATER/SEWER UTILITY WITH REGARDS TO BOTH THE WATER AND SEWER TAPS.
- ADDITIONALLY, IT SHALL BE THE DEVELOPERS RESPONSIBILITY TO DISCONNECT ANY EXISTING WATER SERVICE(S) AT THE MAIN.
- NO UTILITY METERS WILL BE LOCATED AT ANY STREET EXPOSURE OF THE BUILDING
- EXISTING CATCH BASINS SHALL BE RETROFITTED WITH A NEW FRAME / GRATE / CURB PIECE AS PER CITY STANDARDS.

ONE AND TWO-FAMILY DWELLINGS (USE GROUP R-5) PROVIDED WITH A SEPARATE/INDEPENDENT MEANS OF EGRESS DO NOT REQUIRE AN AUTOMATIC SPRINKLER SYSTEM AS PER IRC-2018.

REVISIONS:

ARTEK STUDIO, LLC.

Daniel A. Romo, R.A.  
Professional Architect  
N.J. License No. 17915  
N.Y. License No. 030082-1

BLOCK # : 527  
LOT : 7

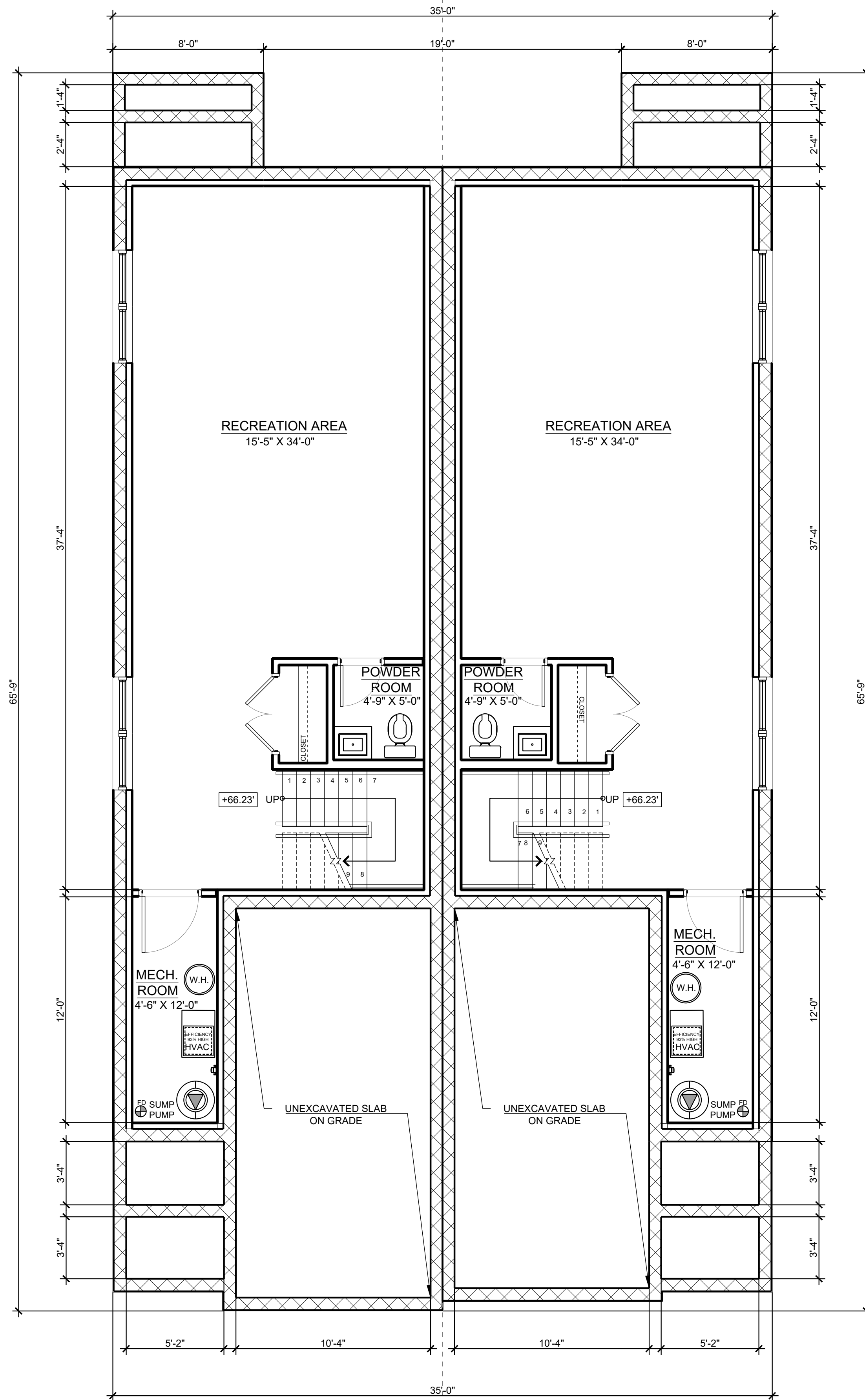
APPLICANT: COLD RIVER REALTY CORP  
85 WINANS AVENUE  
CRANFORD, NJ

PROPOSED NEW TWO FAMILY DWELLING.

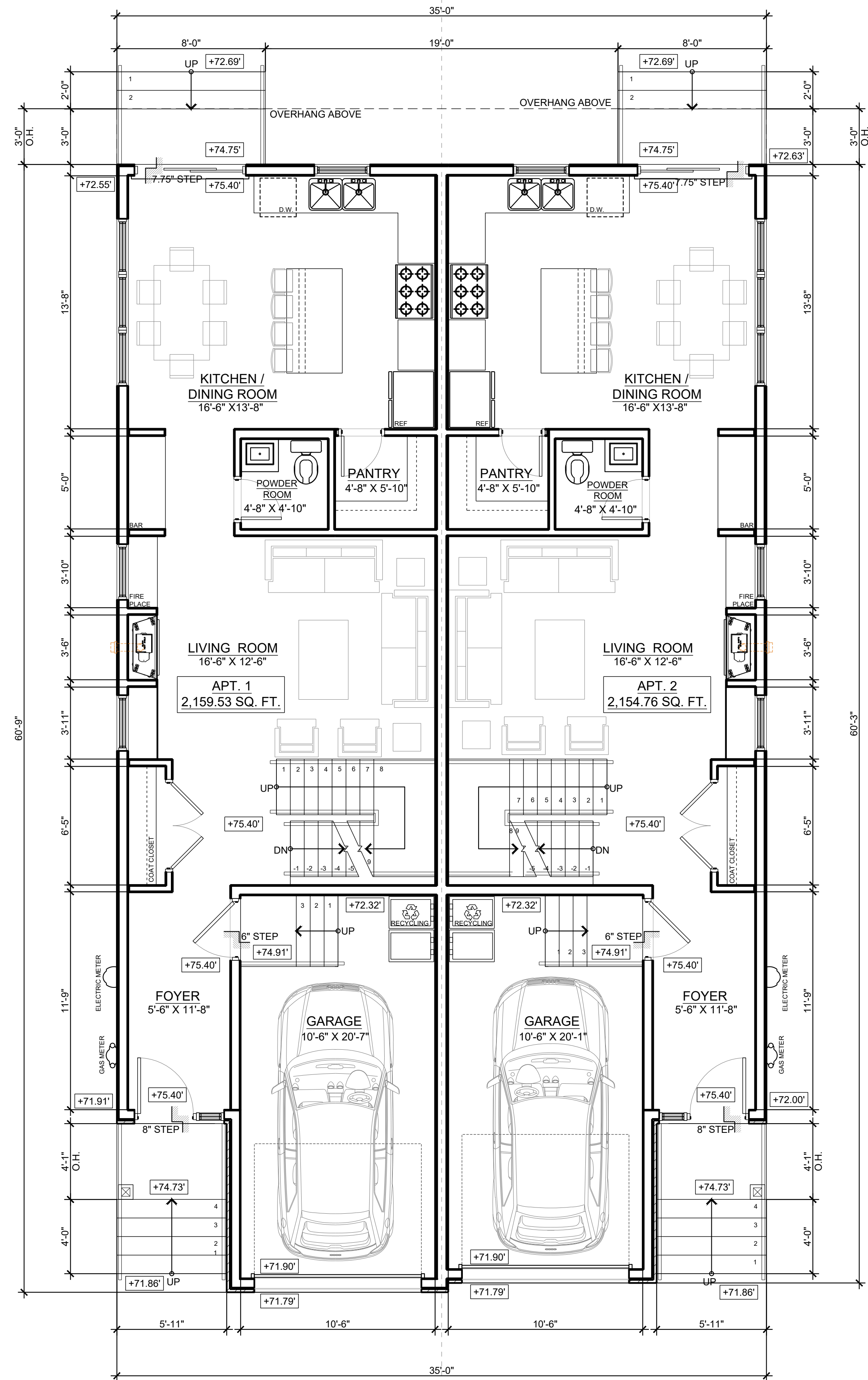
DATE : 08/23/2022  
DRAWN BY : ER  
CHECKED BY : DAR

PROJECT	DRAWING
21035	S-120
	4 OF 7

RESIDENTIAL BREAKDOWN				
AREAS PER FLOOR / APT.	GROSS AREA TOTAL	NET ST.85 -A	NET ST.85 -B	NET AREA TOTAL
<b>BASEMENT FLOOR</b>				
RECREATION AREA - 1/2 BATHROOM - MECHANICAL ROOM	1,541.91	575.93	575.93	1,151.86
<b>SECOND FLOOR</b>				
FAMILY / LIVING ROOM - KITCHEN - DINING ROOM - 1/2 BATHROOM - PANTRY - BAR - 2 CAR GARAGE - STORAGE	1,541.91	626.13	626.13	1,252.26
<b>SECOND FLOOR</b>				
MASTER BEDROOM W/ W.I.C. & MASTER BATHROOM - BATHROOM - 2 BEDROOMS - LAUNDRY - LINEN CLOSET	2,166.46	957.48	952.70	1,910.18
<b>TOTAL</b>	<b>5,250.28</b>	<b>2,159.54</b>	<b>2,154.76</b>	<b>4,314.30</b>



**1 PROPOSED GROUND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 GROSS AREA: 1,541.91 SQ. FT.  
 NET AREA: 1,151.86 SQ. FT.



**2 PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 GROSS AREA: 1,541.91 SQ. FT.  
 NET AREA: 1,252.26 SQ. FT.

**WALL LEGEND**

- NEW MASONRY W/ FRAMING WALL
- NEW MASONRY WALL W/ BRICK
- NEW MASONRY WALL
- NEW FRAMING WALL
- NEW FRAMING W/ BRICK

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NY License No. 030082-1

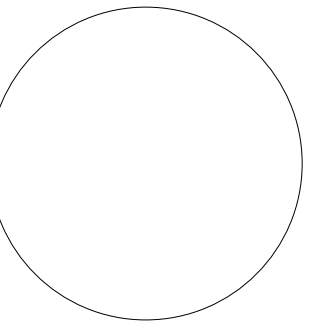
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APPLICANT: COLD RIVER REALTY CORP  
85 WINANS AVENUE  
CRANFORD, NJ  
PROPOSED NEW TWO FAMILY DWELLING.

DATE: 08/23/2022  
 DRAWN BY: ER  
 CHECKED BY: DAR  
 PROJECT: 21035  
 DRAWING: A-100  
 5 OF 7

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BLOCK #: 527  
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APPLICANT: COLD RIVER REALTY CORP  
85 WINANS AVENUE  
CRANFORD, NJ

PROPOSED NEW TWO FAMILY DWELLING.

DATE: 08/23/2022

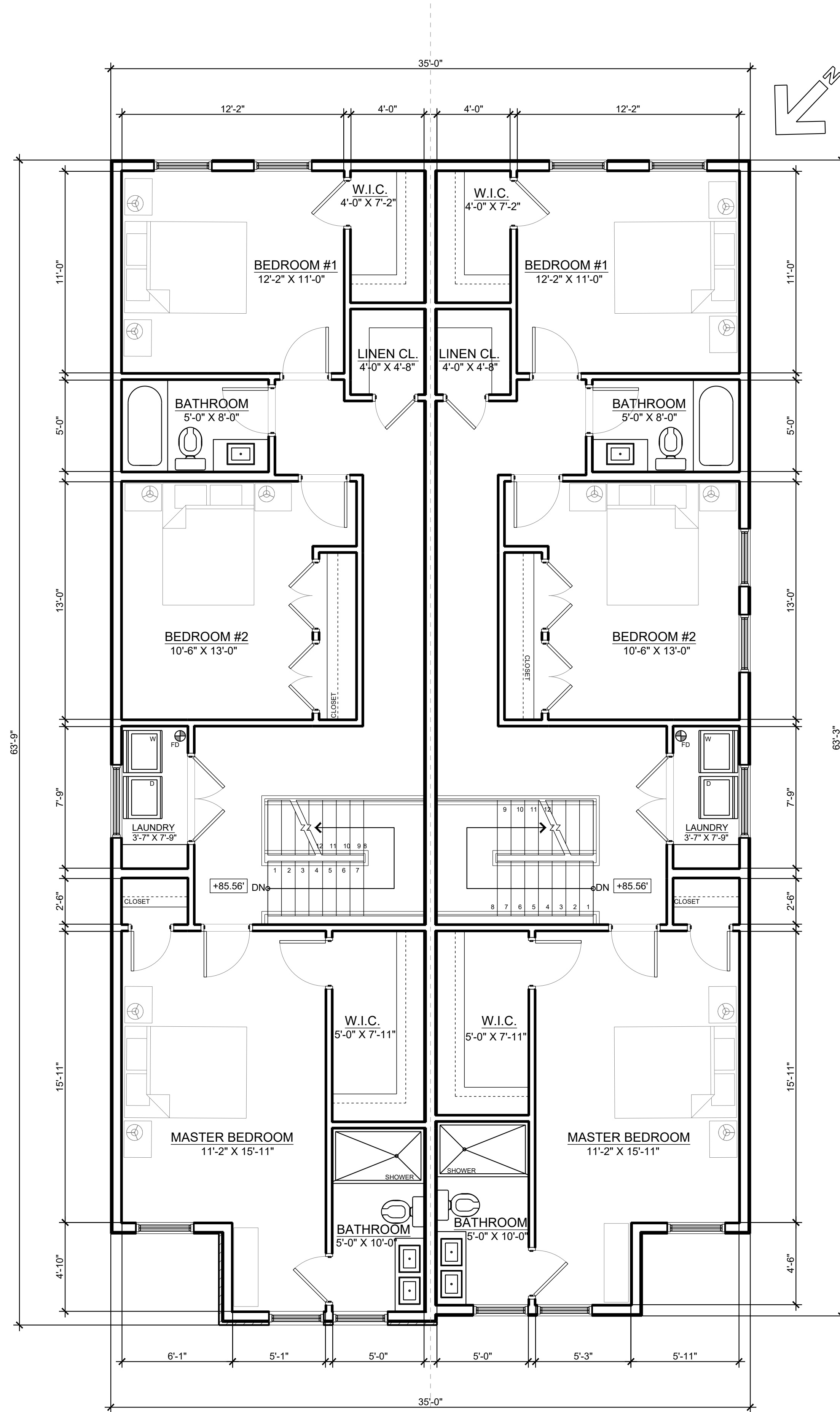
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CHECKED BY: DAR

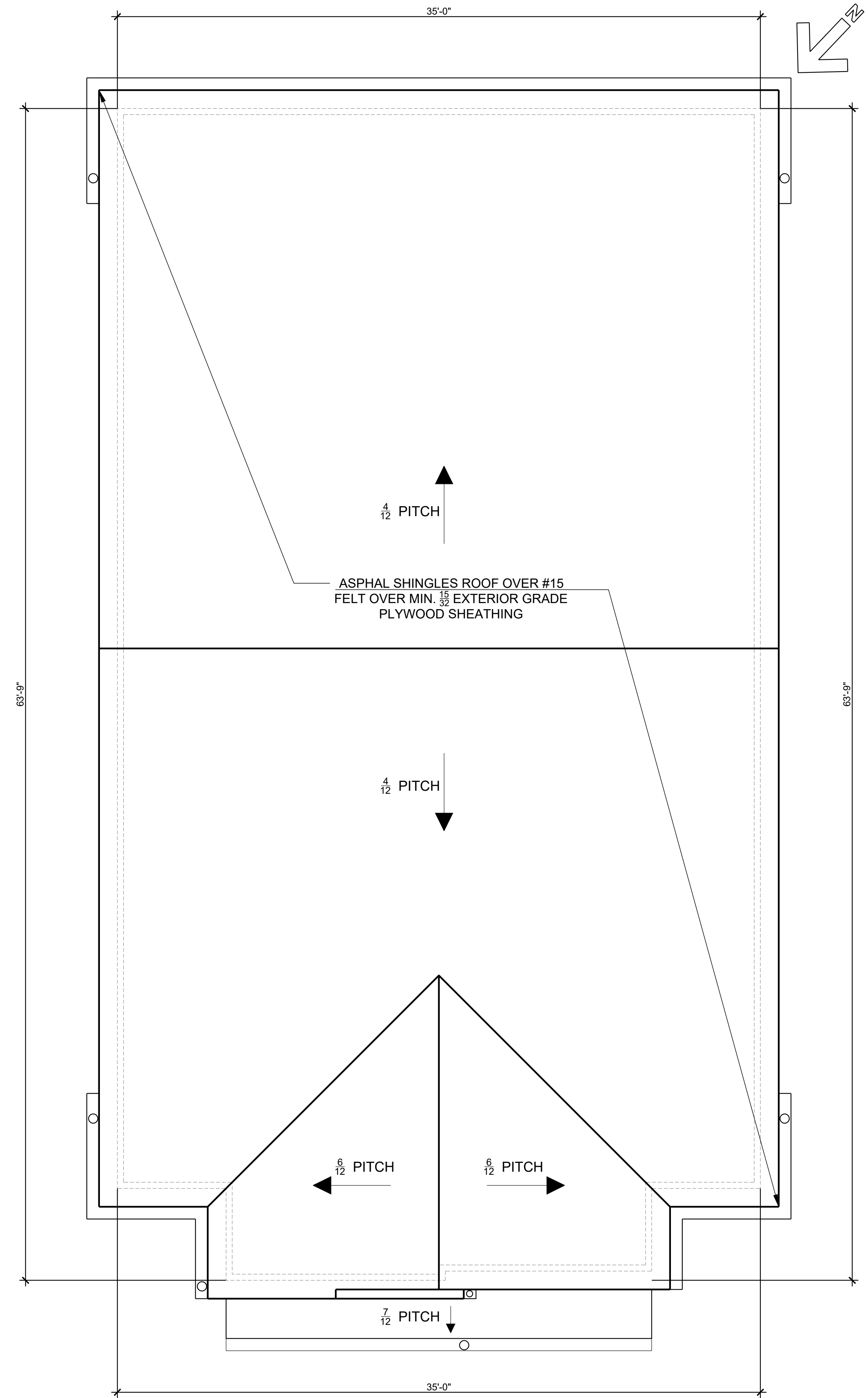
PROJECT: 21035

DRAWING: A-110

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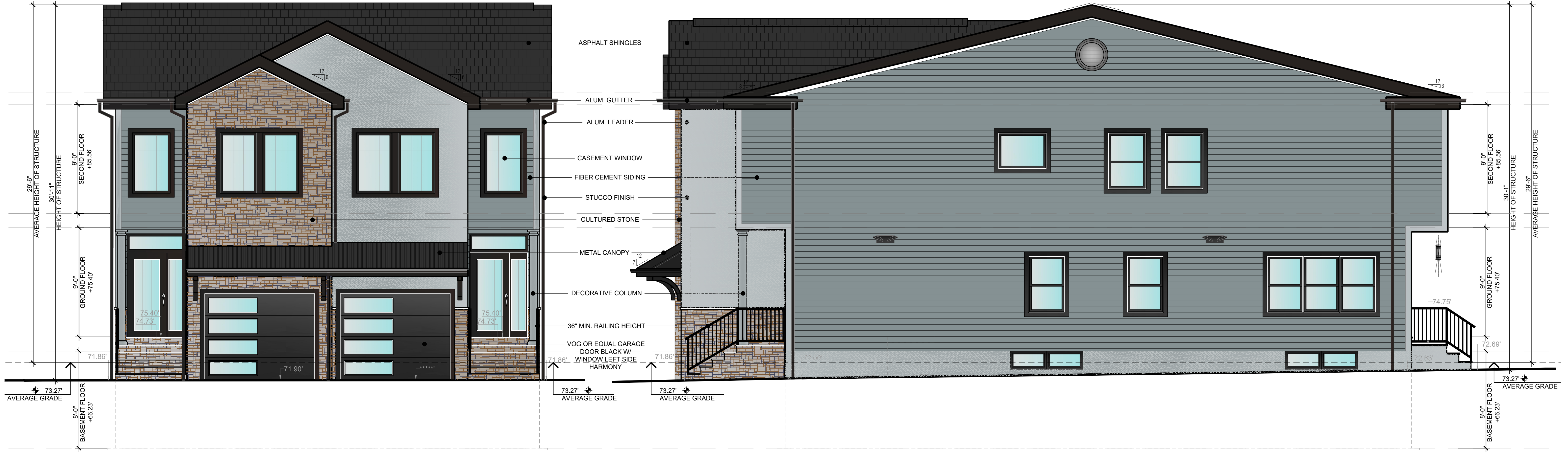
3 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
GROSS AREA: 2,166.46 SQ. FT.  
NET AREA: 1,910.18 SQ. FT.



2 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

**WALL LEGEND**

	NEW MASONRY W/ FRAMING WALL
	NEW MASONRY WALL W/ BRICK
	NEW MASONRY WALL
	NEW FRAMING WALL
	NEW FRAMING W/ BRICK

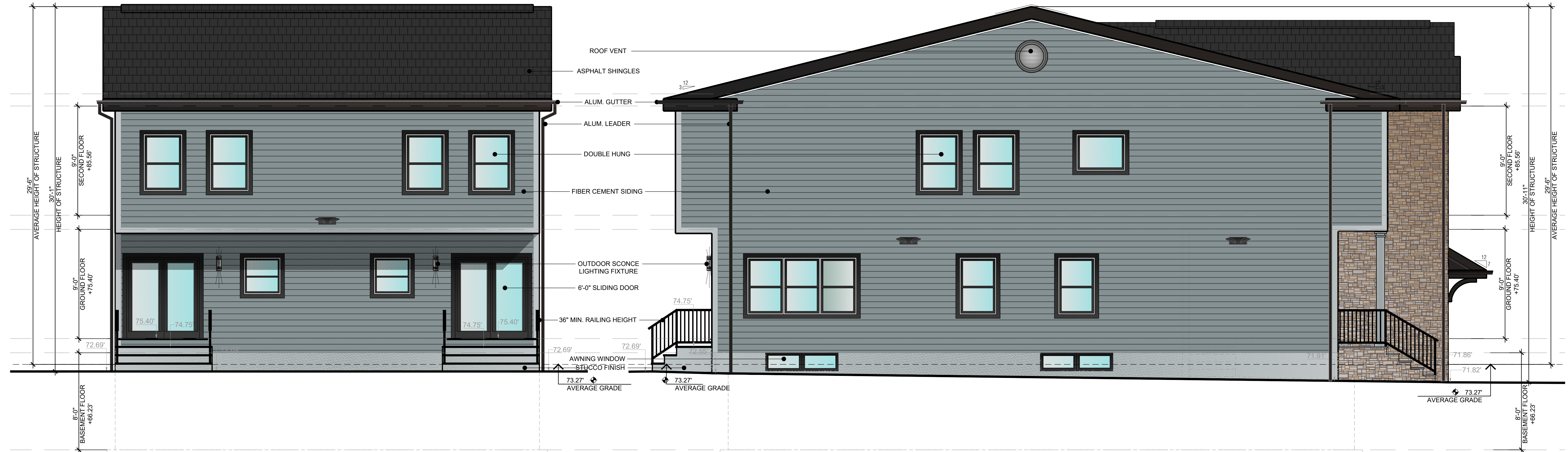


**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**ARTEK**  
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NJ License No. 17915  
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APPLICANT: COLD RIVER REALTY CORP  
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CRANFORD, NJ  
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CHECKED BY: DAR

PROJECT	DRAWING
21035	A-200 7 OF 7