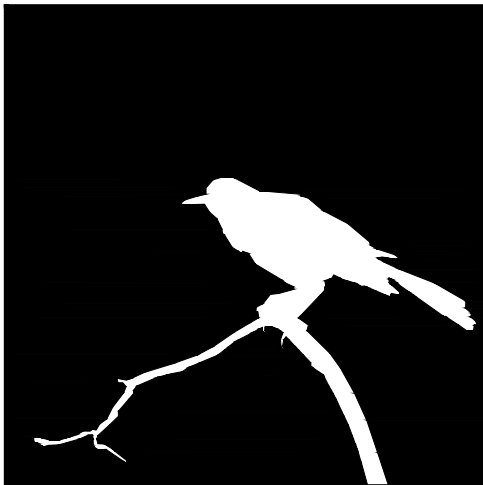


# PROPOSED MULTIFAMILY DEVELOPMENT 201 WALNUT AVENUE

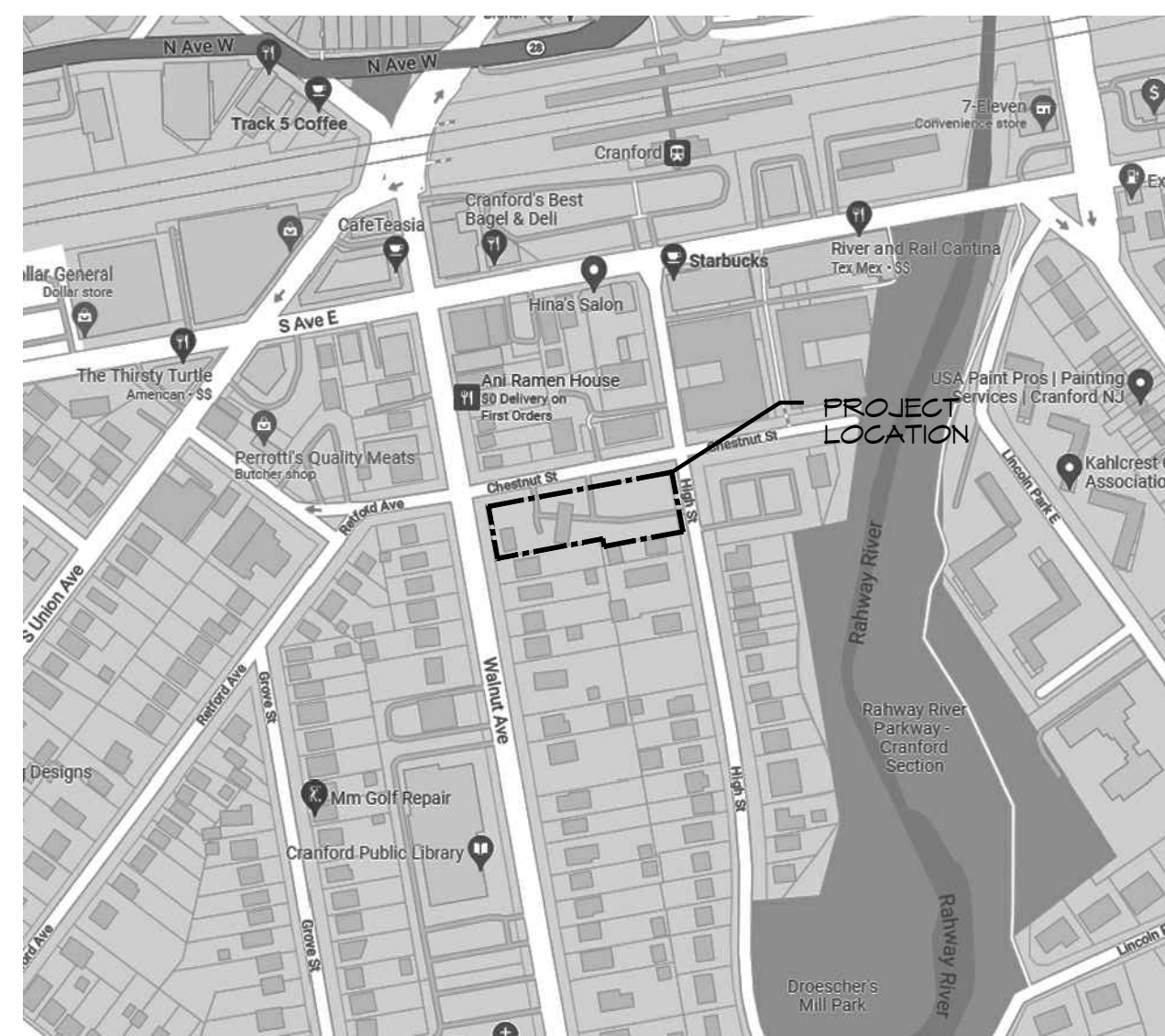
BLOCK 484, LOT 19.01  
TOWNSHIP OF CRANFORD  
UNION COUNTY, NEW JERSEY  
ISSUE FOR PLANNING BOARD



BLACKBIRD GROUP ARCHITECTS LLC  
TEL. 973.954.4650  
PO BOX 5943  
NEWARK, NEW JERSEY 07105  
CERT. OF AUTHORIZATION 21AC00099200

**PROPOSED  
MULTIFAMILY DEVELOPMENT**  
 201 WALNUT AVENUE  
 CRANFORD, NEW JERSEY

VICINITY MAP DIAGRAMMATIC FOR LOCATION REFERENCE ONLY (SEE CIVIL DRAWINGS)



## PROJECT INFORMATION

**OWNER:**  
201 WALNUT AVE LLC  
C/O BRANDON K. BOFFARD, ESQ.  
55 BLEEKER STREET  
MILLBURN, NEW JERSEY 07041

**LOCATION:**  
BLOCK 484, LOT 19.01  
201 WALNUT AVENUE  
CRANFORD, NEW JERSEY

**CIVIL ENGINEER:**  
FRENCH & PARRELLO ASSOCIATES  
1800 ROUTE 34, SUITE 101  
WALL, NEW JERSEY 07719

**ARCHITECT:**  
BLACKBIRD GROUP ARCHITECTS  
PO BOX 5943  
NEWARK, NJ 07105  
(973) 954-4650

## DRAWING INDEX

DRWG.	SHEET NAME	DATE
T-1	TITLE SHEET	8-10-2022
A-1	FIRST & SECOND FLOOR PLAN	8-10-2022
A-2	THIRD FLOOR & ROOF PLAN	8-10-2022
A-3	EXTERIOR ELEVATIONS	8-10-2022
A-4	EXTERIOR ELEVATIONS	8-10-2022

## BUILDING AREA MATRIX

	COV. GARAGE	RESIDENTIAL	COMMON/UTIL	TOTAL
<b>FIRST FLOOR</b>	14,128 SQ.FT.	8,132 SQ.FT.	3,283 SQ.FT.	26,143 SQ.FT.
<b>SECOND FLOOR</b>	0	23,343 SQ.FT.	2,663 SQ.FT.	26,006 SQ.FT.
<b>TOTAL</b>	14,128 SQ.FT.	31,475 SQ.FT.	5,946 SQ.FT.	51,549 SQ.FT.

## BUILDING MATRIX

APPROXIMATE GROSS AREAS SHOWN, SUBJECT TO FINAL PROJECT DEVELOPMENT

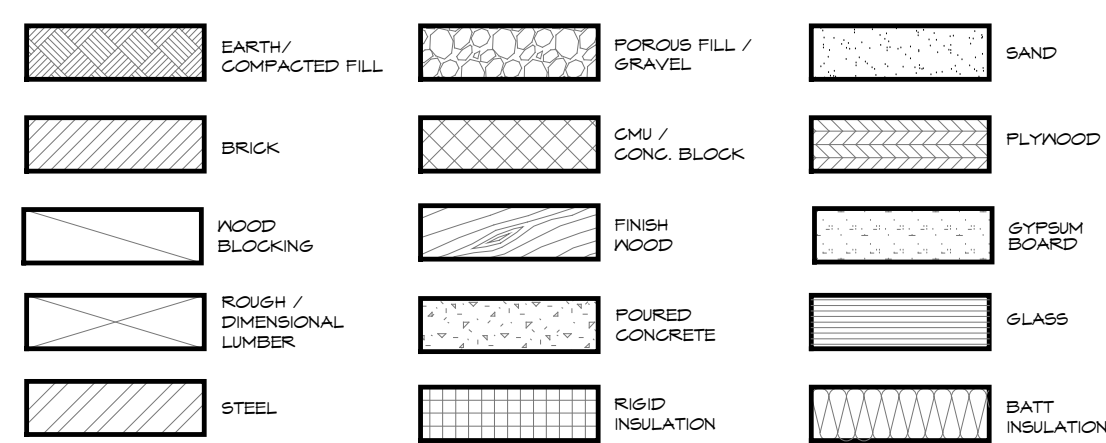
Unit	Type	Est. Area	Market	STORY			Total	% Total
				1	2	3		
1A	1 Bed	933	Market	0	0	1	1	2.56%
1A.1	1 Bed	906	Market	0	0	1	1	2.56%
1B	1 Bed	1,035	Market	0	1	0	1	2.56%
1D	1 Bed	879	Market	0	0	1	1	2.6%
1E	1 Bed	885	Market	0	0	1	1	2.6%
1F	1 Bed	908	Market	0	0	1	1	2.6%
1F.1	1 Bed	987	Market	0	0	1	1	2.6%
2A	2 Bed	1,557	Market	5	0	0	5	12.8%
2B	2 Bed	1,213	Market	0	3	0	3	7.7%
2B.1	2 Bed	1,151	Market	0	0	3	3	7.7%
2C	2 Bed	1,454	Market	0	2	0	2	5.1%
2C.1	2 Bed	1,392	Market	0	0	2	2	5.1%
2D	2 Bed	1,608	Market	1	0	0	1	2.6%
2E	2 Bed	1,663	Market	2	0	0	2	5.1%
2G	2 Bed	1,497	Market	0	1	1	2	5.1%
2H	2 Bed	1,880	Market	0	1	0	1	2.6%
2H.1	2 Bed	1,813	Market	0	0	1	1	2.6%
2J	2 Bed	1,397	Market	0	1	0	1	2.6%
2K	2 Bed	1,433	Market	0	1	1	2	5.1%
2L	2 Bed	1,316	Market	0	0	2	2	5.1%
C1	1 Bed	824	COAH	0	1	0	1	2.6%
C2	2 Bed	1,126	Ind. Liv. Unit	0	1	1	2	5.1%
C3	3 Bed	1,137	COAH	1	0	0	1	2.6%
C4	4 Bed	1,890	Group Home	1	0	0	1	2.6%
<b>TOTAL</b>				<b>10</b>	<b>12</b>	<b>17</b>	<b>39</b>	<b>100.0%</b>

MARKET	
1 BED	7
2 BED	27
3 BED	0
4 BED	0
<b>TOTAL</b>	<b>34</b>

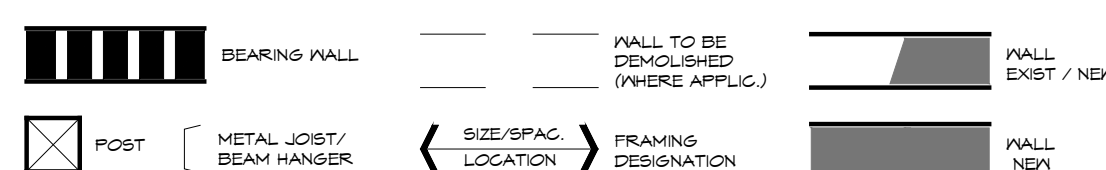
Affordable Housing	Units	Credits
1 Bedroom Family Affordable	1	1
3 Bedroom Family Affordable	1	1
4 Bedroom Group Home	1	4
2 Bedroom Independent Living Unit	2	4
	<b>5</b>	<b>10*</b>

\*The project requires a 20% set aside equal to 8 of the total dwelling units. The Redeveloper is providing an excess of 2 family affordable units, which shall be a credit towards the affordable housing requirement of the South Avenue Phase of the Project.

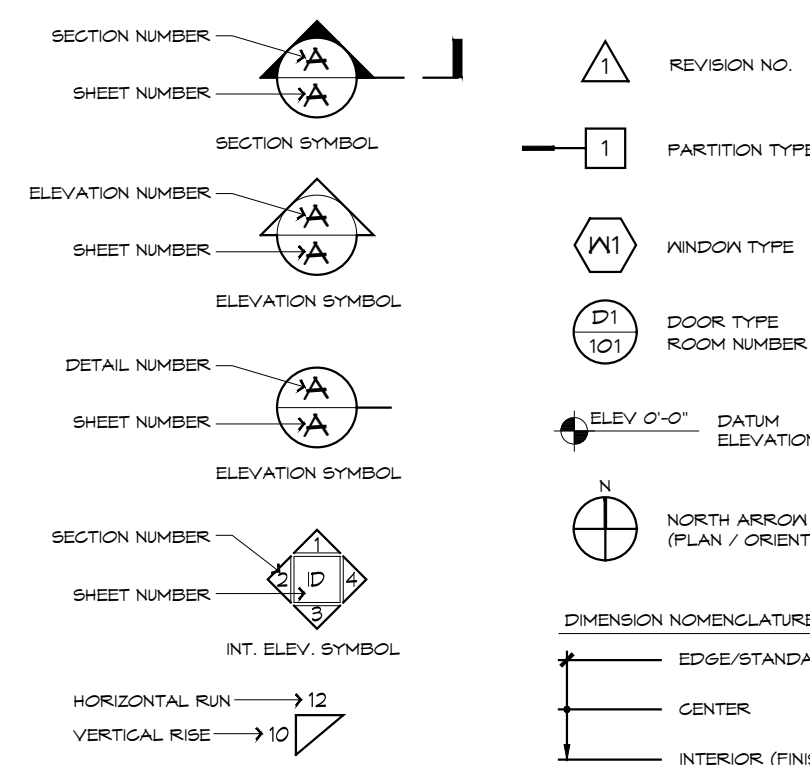
## ARCHITECTURAL MATERIALS LEGEND



## PLAN SYMBOLS LEGEND



## GRAPHIC SYMBOLS LEGEND



## ABBREVIATIONS

ADJ	ADJACENT	HM	HOLLOW METAL
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
ALUM	ALUMINUM	INSUL	INSULATION
APVD	APPROVED	MEP	MECHANICAL, ELECTRICAL & PLUMBING
BO	BOTTOM OF	MFR	MANUFACTURER
CL	CLOSET	ML	MIGRILLAM BEAM (LVL)
CLG	CEILING	MISC	MISCELLANEOUS
CONC	CONCRETE	MO	MASONRY OPENING
COORD	COORDINATE	MR	MOISTURE RESISTANT
COOR	COORDINATE	MTL	METAL
CONT	CONTINUOUS	N/A	NON-APPLICABLE
DET	DETAIL	NC	NOT IN CONTRACT
DN	DOWN	NOM	NOMINAL
DO	REPEAT STRUCT. DRAWING(S)	OAE	OR APPROVED EQUAL
DOOR	DOOR	OC	ON CENTER
ELEC	ELECTRICAL	OFI	OWNER FURNISHED AND INSTALLED
EXIST	EXISTING	OFI	OWNER FURN. CONTRACTOR INSTALLED
FE	FIRE EXTINGUISHER	OPP	OPPOSITE
FF	FINISHED FLOOR	PLB	PARALLAM BEAM (PSL)
FIN	FINISHED	PT	PRESSURE TREATED
FL	FLOOR	PTD	PAINTED
FO	FACE OF	RGF	REFLECTED CEILING PLAN
FR	FIRE RATED	REQD	REQUIRED
FS	FIRE STOP	STRUC	STRUCTURE/STRUCTURAL
GFI	GROUND FAULT INTERRUPTER	TOP	TOP OF
GC	GENERAL CONTRACTOR	TRF	TYPICAL
GWB	GYPSPUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
HANDICAP	HANDICAP	VIF	VERIFY IN FIELD
HDR	HEADER	WC	WATER CLOSET
HT	HEIGHT	WD	WOOD
		WR	WATER RESISTANT

## GENERAL NOTES

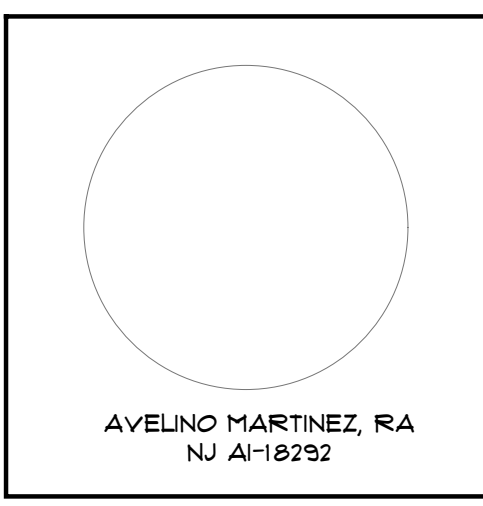
COPYRIGHT OF THESE DRAWINGS REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED IN ANY FORM OR IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT. IF REUSED WITHOUT PERMISSION, THE ARCHITECT SHALL BE INDEMNIFIED AND HELD HARMLESS FROM ALL LIABILITY, LEGAL EXPENSE, CLAIMS, DAMAGES, LOSSES AND EXPENSES. THE OWNER AND CONTRACTOR SHALL INDEMNIFY AND HOLD THE ARCHITECT AND ITS CONSULTANTS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE RESPECTIVE CODES AND STANDARDS APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE PERTINENT VERSIONS OF LOCAL, STATE AND FEDERAL CODES. DO NOT SCALE DRAWINGS. ALL DIMENSIONS NOTED SHALL GOVERN AND REPRESENT THE GENERAL ARRANGEMENT OF THE WORK. THE CONTRACTOR SHALL CONFIRM DIMENSION AND FIELD CONDITIONS PRIOR TO EXECUTION OF ANY WORK. WHERE ANY DISCREPANCY IS FOUND TO EXIST WITH OR BETWEEN DRAWINGS AND/OR DOCUMENTS, THEY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. WHERE THE CONTRACTOR MUST MAKE MODIFICATIONS TO MAKE PARTS ALIGN IN ACCORDANCE WITH DESIGN INTENT, SUCH MODIFICATION SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

INFORMATION CONTAINED ON THESE DRAWINGS IS INTENDED FOR PURPOSES OF ILLUSTRATING DESIGN INTENT AND ZONING / LAND USE CHARACTERISTICS. FINAL DETAILING, INTERIOR LAYOUTS, AND SPECIFIC CONDITIONS ARE SUBJECT TO FURTHER PROJECT DEVELOPMENT.

## PRELIMINARY BUILDING CODE DATA

- USE GROUP: \_\_\_\_\_ R-2 (RESIDENTIAL APARTMENTS) S-2 (PRIVATE GARAGE)
- CONSTRUCTION TYPE: \_\_\_\_\_ PODIUM CONSTRUCTION (NJBC 510) TYPE V (ABOVE) TYPE I (BELOW)
- HANDICAP ACCESSIBILITY: \_\_\_\_\_ NJ BARRIER FREE SUBCODE/FHA
- FIRE PROTECTION SYSTEM: \_\_\_\_\_ NFPA 13/13R

LATEST REVISION	DATE
4	REBUE FOR PLNG BD. 8-10-2022



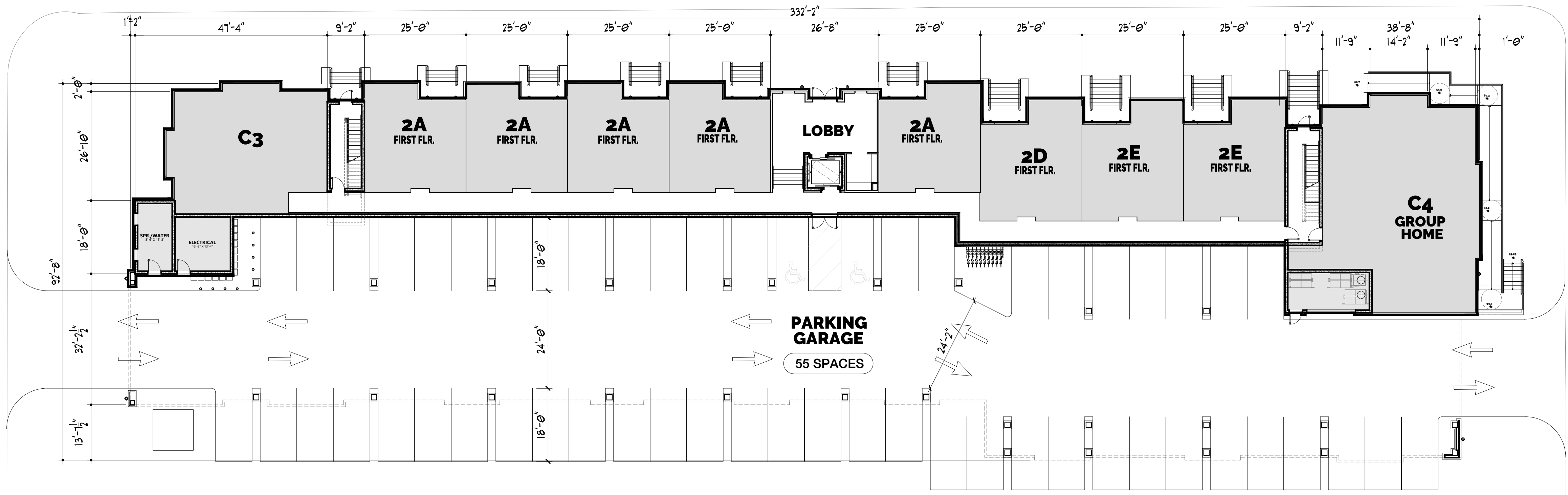
**TITLE SHEET**

**DRAWING NO.**  
**T-1**

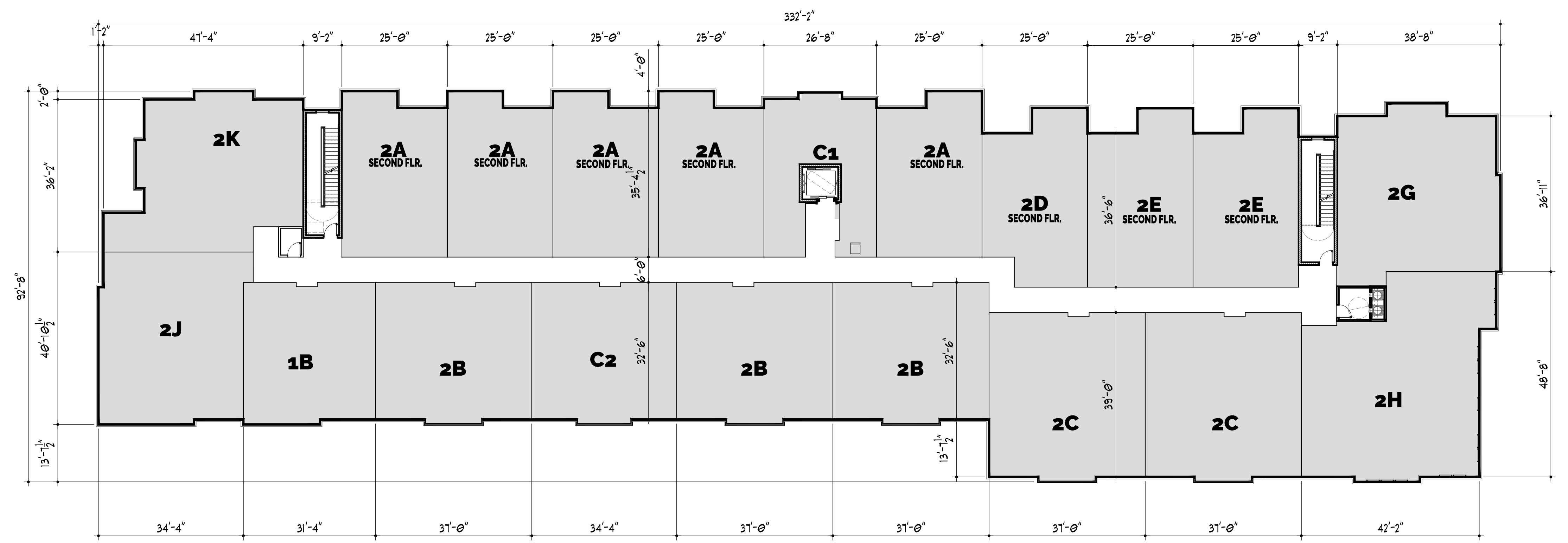
**PROJ. NO.:** 18123



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**A** FIRST FLOOR PLAN  
 A-1 SCALE: 1/16"=1'-0"



**B** SECOND FLOOR PLAN  
 A-1 SCALE: 1/16"=1'-0"

**LIGHTING NOTES:**

ALL BUILDING LIGHTING SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. USE LED LIGHTING IN ALL INDOOR SPACES, INCLUDING DWELLING UNITS AND PARKING FACILITIES, AND FOR EXTERNAL LIGHTS.
2. USE OCCUPANCY SENSORS IN COMMON AREAS
3. USE OCCUPANCY SENSORS IN STAIRWELLS, HALLWAYS, BUT ENSURE SAFE LIGHTING LEVELS
4. DESIGN EXTERIOR LIGHTING TO REDUCE LIGHT POLLUTION FOR THE AREAS SURROUNDING THE SITE.

**PROPOSED  
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 CRANFORD, NEW JERSEY

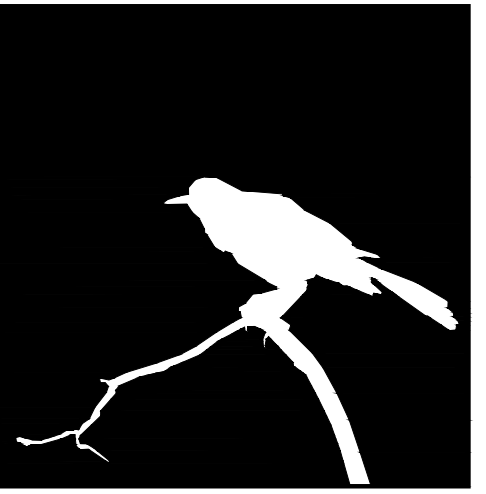
LATEST REVISION	DATE
6	REISSUE FOR PLNG BD. 8-10-2022



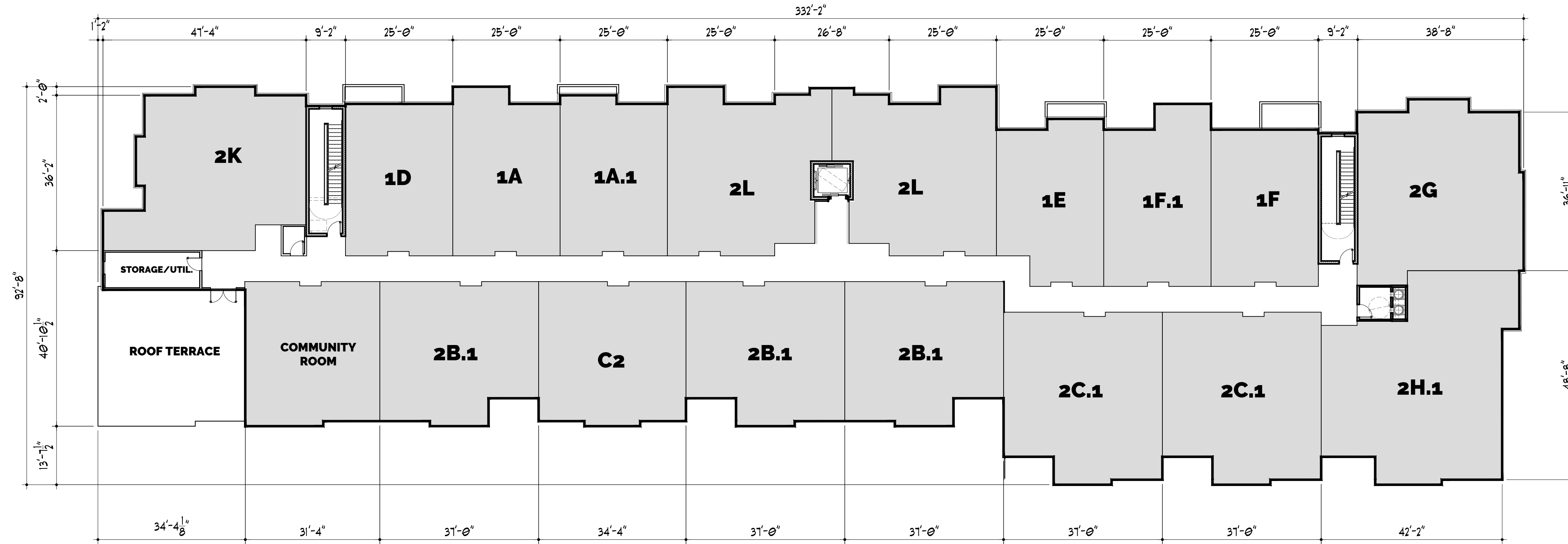
**FIRST & SECOND  
 FLOOR PLAN**

DRAWING NO.  
**A-1**

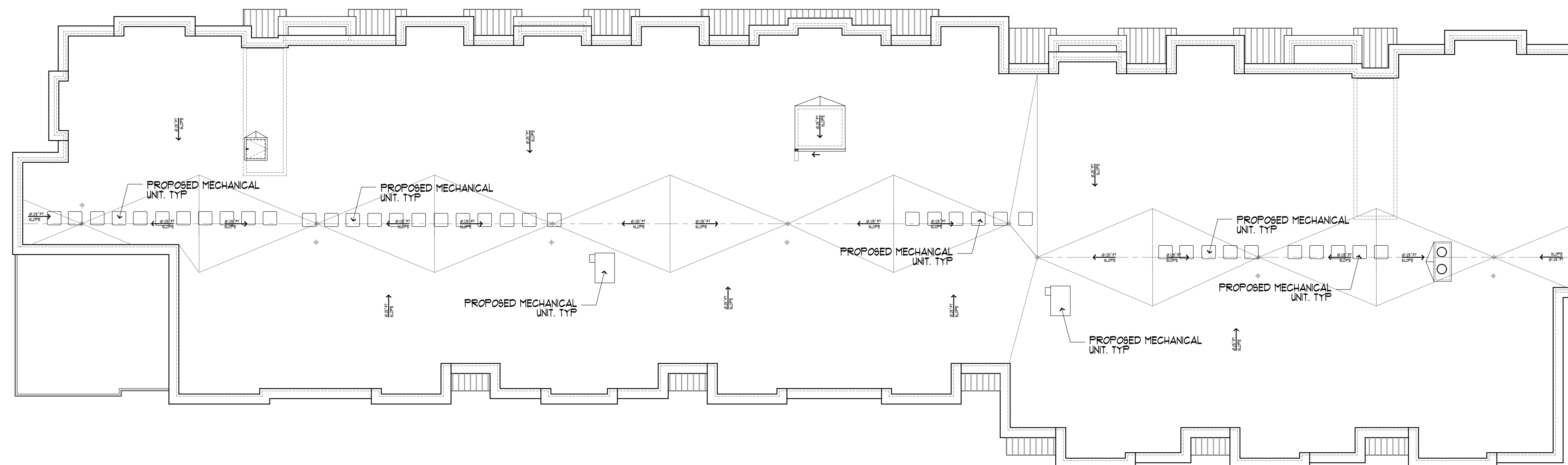
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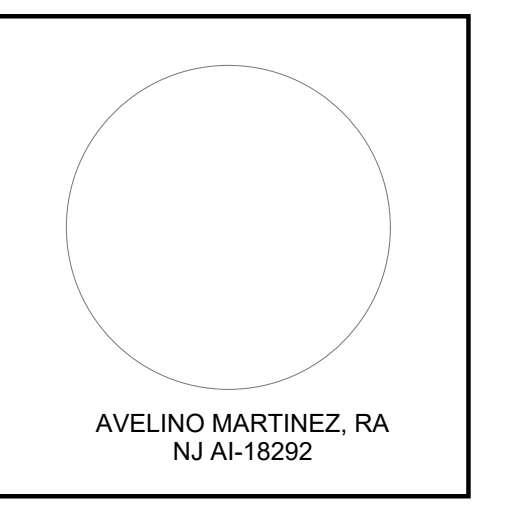
**C** THIRD FLOOR PLAN  
**A-2** SCALE: 1/16"=1'-0"



**D** ROOF PLAN  
**A-2** SCALE: 1/16"=1'-0"

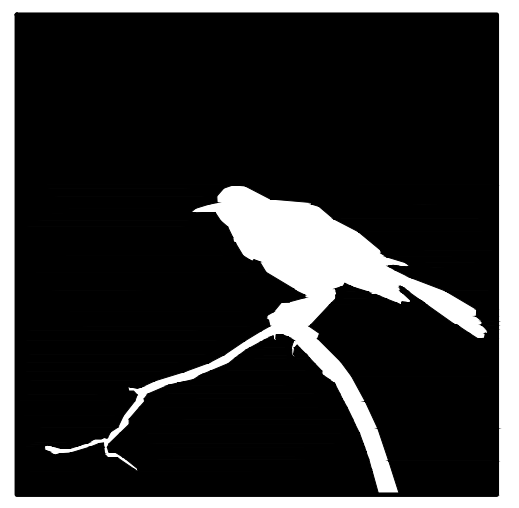
**PROPOSED  
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 201 WALNUT AVENUE  
 CRANFORD, NEW JERSEY

LATEST REVISION	DATE
5 REISSUE FOR PLNING BD.	8-10-2022



**THIRD FLOOR &  
 ROOF PLAN**

DRAWING NO.  
**A-2**  
 PROJ. NO. 18123



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EXTERIOR FINISH LEGEND

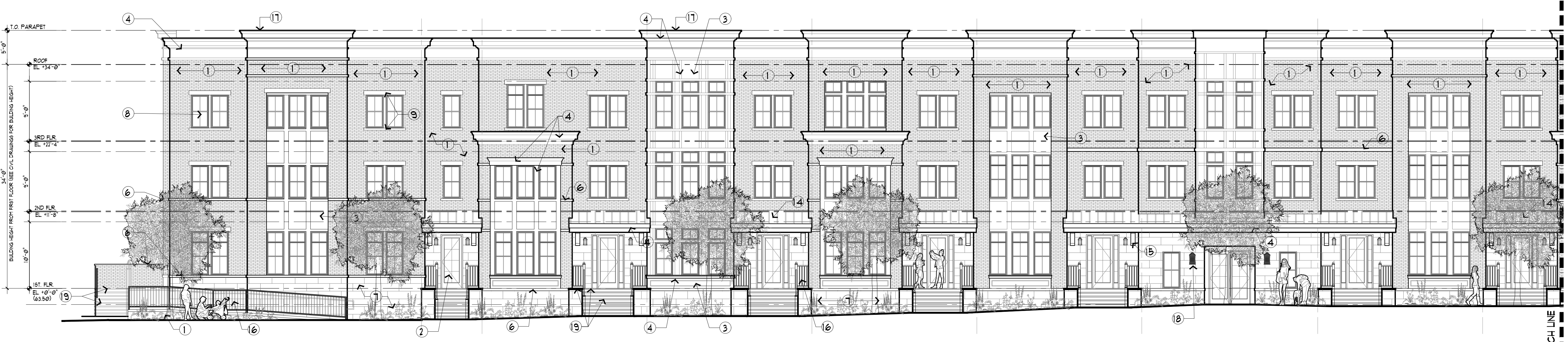
- ① BRICK (2 COLORS)
- ② ENTRY DOOR WITH SIDELIGHTS
- ③ PANELS AND TRIM FIBER CEMENT OR ACM
- ④ TRIM FASCIA BOARD, FREEZE BOARD, CORNER TRIM, TRIM BOARD, (FIBER CEMENT OR ACM)
- ⑤ FIBER CEMENT BOARD SIDING (BY JAMES HARDIE OR EQUAL)
- ⑥ PRECAST STONE TRIM BAND / WATER TABLE
- ⑦ PRECAST STONE
- ⑧ DOUBLE HUNG WINDOWS
- ⑨ PRECAST STONE WINDOW HEAD AND SILL
- ⑩ WINDOW HEAD, SILL, AND SURROUND (PVC OR F.C. TRIM)
- ⑪ SLIDING GLASS DOOR
- ⑫ INSULATING METAL FLUSH DOOR
- ⑬ ALUMINUM STOREFRONT WITH CLEAR INSULATING GLASS
- ⑭ PREFINISHED STANDING SEAM METAL ROOF
- ⑮ PREFABRICATED DECORATIVE BRACKETS
- ⑯ PREFINISHED METAL RAILING SYSTEM
- ⑰ PREFINISHED METAL COPING
- ⑱ WALL MOUNTED LIGHT FIXTURE
- ⑲ BLUE STONE TREADS AND LANDING
- ⑳ STUCCO FINISH

DECORATIVE LIGHT FIXTURE SCHEDULE

- TYPE 1: GENERATION LIGHTING MODEL OL2101BB: MEDIUM LANTERN
  - TYPE 2: GENERATION LIGHTING MODEL OL2101BB: LARGE LANTERN
- (SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION)



**A** FRONT ELEVATION  
**A-3** SCALE: 1/16"=1'-0"



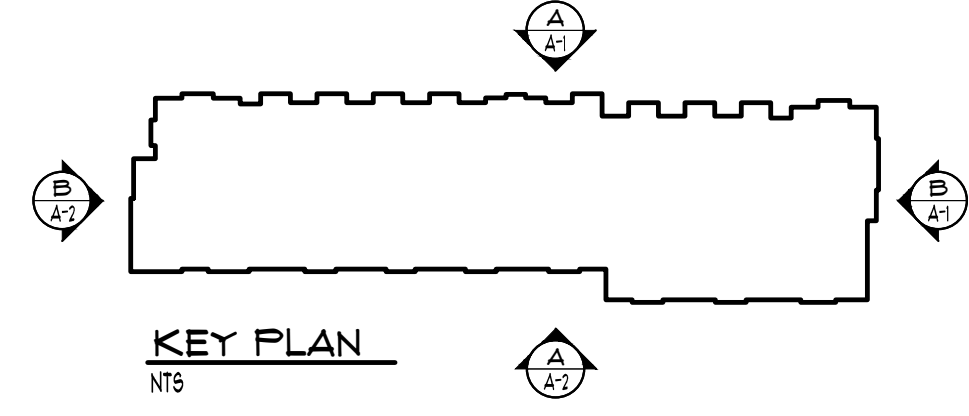
**A.1** FRONT ELEVATION  
**A-3** SCALE: 1/8"=1'-0"



**B** LEFT SIDE ELEVATION  
**A-3** SCALE: 1/8"=1'-0"



**A.2** FRONT ELEVATION  
**A-3** SCALE: 1/8"=1'-0"



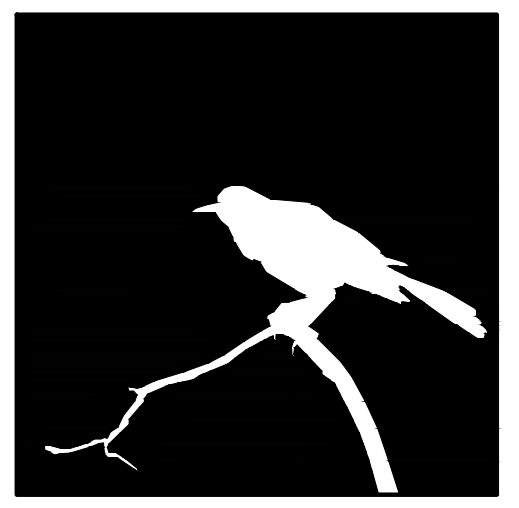
**PROPOSED**  
**MULTIFAMILY DEVELOPMENT**  
 201 WALNUT AVENUE  
 CRANFORD, NEW JERSEY

LATEST REVISION	DATE
4	REISSUE FOR PLUMBING. 8-10-2022

AVELINO MARTINEZ, RA  
 NJ AI-18292

EXTERIOR ELEVATIONS

DRAWING NO.  
**A-3**  
 PROJ. NO.: 18123



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PROPOSED  
**MULTIFAMILY DEVELOPMENT**  
 201 WALNUT AVENUE  
 CRANFORD, NEW JERSEY



**A**  
**A-4** REAR ELEVATION  
 SCALE: 1/16"=1'-0"

- EXTERIOR FINISH LEGEND**
- ① BRICK (2 COLORS)
  - ② ENTRY DOOR WITH SIDELIGHTS
  - ③ PANELS AND TRIM FIBER CEMENT OR ACM
  - ④ TRIM FASCIA BOARD, FREITE BOARD, CORNER TRIM, TRIM BOARD (FIBER CEMENT OR ACM)
  - ⑤ FIBER CEMENT BOARD SIDING (BY JAMES HARDIE OR EQUAL)
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  - ⑭ PREFINISHED STANDING BEAM METAL ROOF
  - ⑮ PREFABRICATED DECORATIVE BRACKETS
  - ⑯ PREFINISHED METAL RAILING SYSTEM
  - ⑰ PREFINISHED METAL COPING
  - ⑱ WALL MOUNTED LIGHT FIXTURE
  - ⑲ BLUE STONE TREADS AND LANDING
  - ⑳ STUCCO FINISH

- DECORATIVE LIGHT FIXTURE SCHEDULE**
- TYPE 1: GENERATION LIGHTING MODEL OL2201BB: MEDIUM LANTERN
  - TYPE 2: GENERATION LIGHTING MODEL OL2201BB: LARGE LANTERN
  - (SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION)



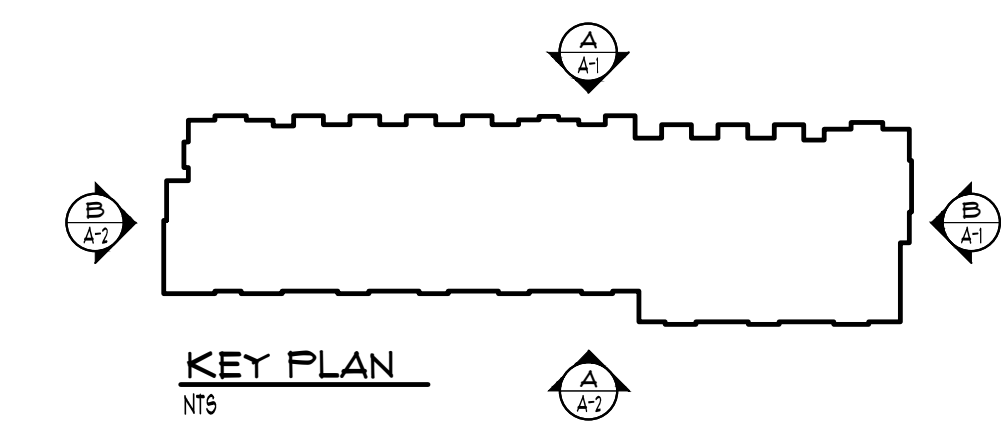
**A.1**  
**A-4** REAR ELEVATION  
 SCALE: 1/16"=1'-0"



**B**  
**A-4** RIGHT SIDE ELEVATION  
 SCALE: 1/16"=1'-0"



**A.2**  
**A-4** REAR ELEVATION  
 SCALE: 1/16"=1'-0"



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**EXTERIOR ELEVATIONS**

DRAWING NO.  
**A-4**  
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