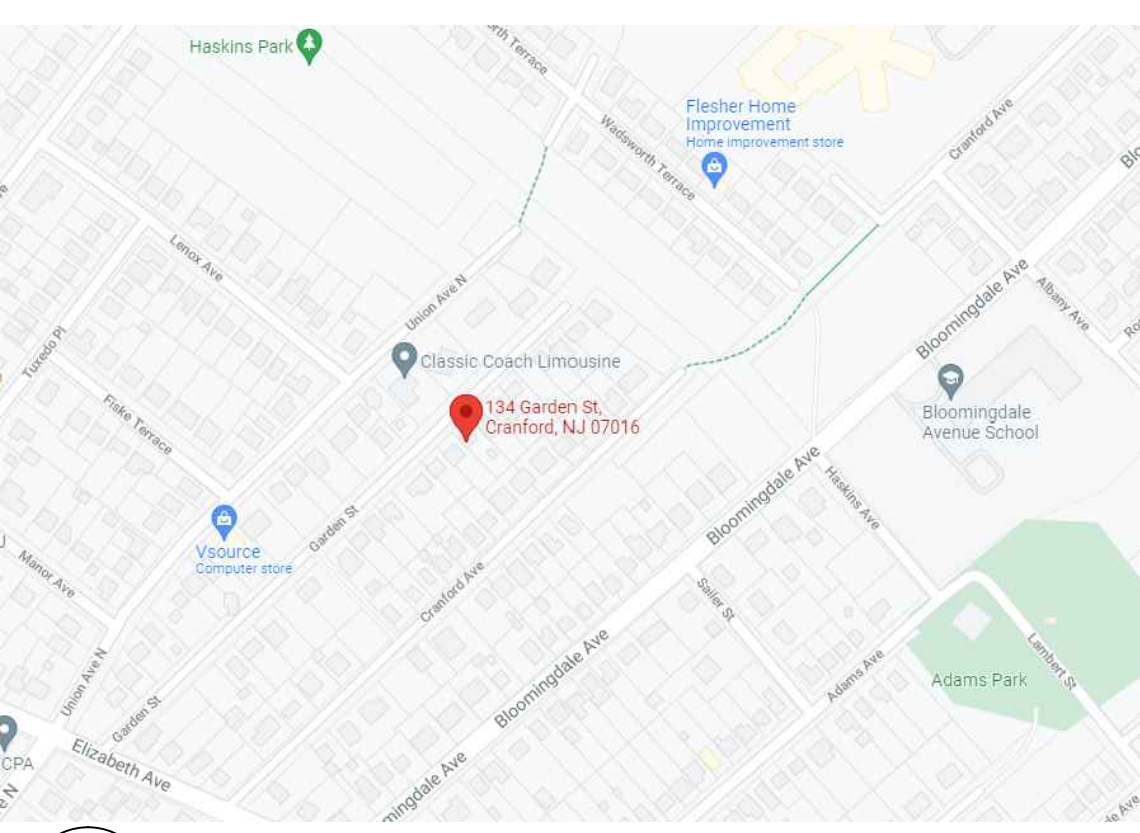
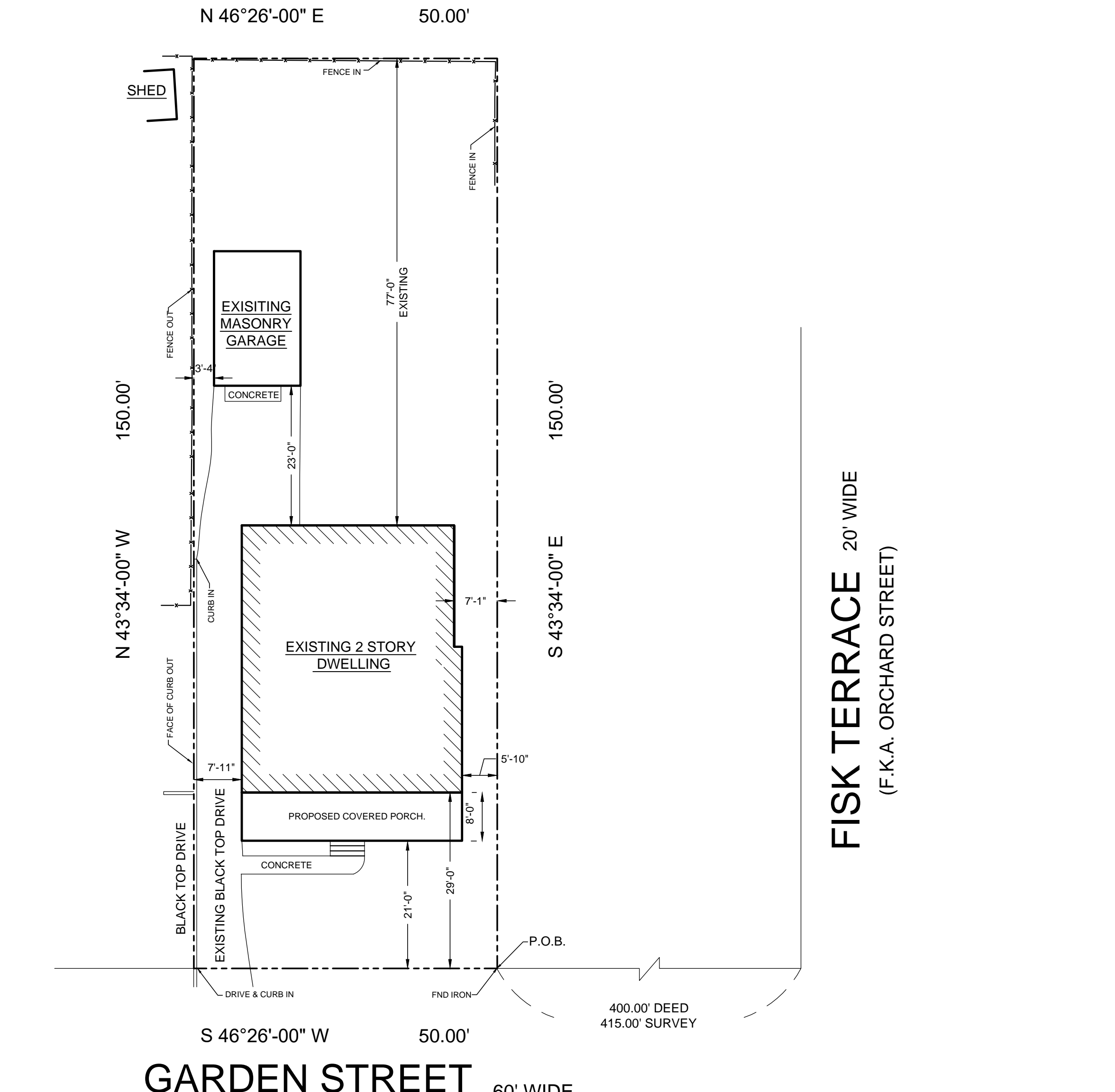


# Proposed Covered Front Porch To Existing 1 Family Dwelling at 134 Garden Street Cranford, NJ

1 VICINITY MAP  
SP-1 SCALE: NTS



- THERE ARE TO BE NO CHANGES IN THE FOLLOWING SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE ARCHITECT.
- CHANGES AS STATED ABOVE WOULD INCLUDE SUBSTITUTION OF MATERIALS, PRODUCTS, MANUFACTURERS, OR CONSTRUCTION SHOWN, IMPLIED OR WRITTEN IN THIS CONSTRUCTION DOCUMENTS SET.
- DRAWINGS DO NOT TAKE PRECEDENCE OVER SPECIFICATIONS. ANY CONFLICTS BETWEEN OR WITHIN THE DRAWINGS AND SPECIFICATIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. UNLESS DIRECTED OTHERWISE THE MOST STRINGENT CONDITION SHALL APPLY.
- GENERAL CONTRACTOR TO REVIEW ALL DRAWINGS WITHIN THE SET.
- GENERAL CONTRACTOR TO PROVIDE A COMPLETE BUILD-OUT WITH ALL FINISHES, STRUCTURAL, MECHANICAL AND ELECTRICAL COMPONENTS AS SHOWN OR INDICATED ON DRAWINGS. GENERAL CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON DRAWINGS AND WRITTEN IN SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL ITEMS SHOWN ON DRAWINGS ARE TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- GENERAL CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CURRENT SET OF DRAWINGS ON SITE AT ALL TIMES AND TO INSURE THE DISTRIBUTION OF NEW DRAWINGS TO SUBCONTRACTORS AND OTHER RELEVANT PARTIES AS SOON AS THEY ARE MADE AVAILABLE. ALL OLD DRAWINGS ARE TO BE MARKED 'VOID' AND REMOVED FROM SITE AND RENDERED USELESS.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS.
- GENERAL CONTRACTOR TO FURNISH SUBCONTRACTORS AND RELATED PARTIES WITH COMPLETE SET OF DRAWINGS. NO PARTIAL SET OR SHEETS REMOVED FROM SET WILL BE PERMITTED.
- GENERAL CONTRACTOR TO FURNISH 'AS BUILT' SET OF DRAWINGS TO OWNER UPON COMPLETION OF BUILD-OUT.
- GENERAL CONTRACTOR TO REVIEW ALL SHOP DRAWINGS AND SUBMIT COPIES AS REQUIRED BY SPECIFICATIONS FOR REVIEW BY PROJECT ARCHITECT / ENGINEER.
- GENERAL CONTRACTOR RESPONSIBLE FOR ALL ITEMS BUILT OR INSTALLED TO BE TRUE AND PLUMB (WALLS, WINDOWS, ETC.).
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING AND FASTENERS, INCLUDING ALL BLOCKING FOR GRAB BARS, SHELVES, AND ANY AND ALL OTHER WALL OR CEILING MOUNTED ITEMS.
- GENERAL CONTRACTOR TO PROVIDE ALL MATERIALS NECESSARY FOR COMPLETE CONSTRUCTION OF BUILD-OUT.
- GENERAL CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR AND EQUIPMENT TO COMPLETE ALL WORK AND FURNISH A COMPLETED JOB ALL IN ACCORDANCE WITH LOCAL AND STATE GOVERNING AUTHORITIES AND OTHER AUTHORITIES HAVING LAWFUL JURISDICTION OVER THE WORK.
- THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, AND INSPECTIONS REQUIRED AND SHALL ALSO PAY FEES REQUIRED FOR THE GENERAL CONSTRUCTION, PLUMBING, ELECTRICAL AND HVAC.
- LOCATION OF EQUIPMENT, AND WORK SUPPLIED BY OTHERS THAT IS DIAGRAMMATICALLY INDICATED ON THESE DRAWINGS SHALL BE DETERMINED BY THE G.C. THE GENERAL CONTRACTOR SHALL DETERMINE LOCATIONS AND DIMENSIONS SUBJECT TO STRUCTURAL CONDITIONS AND WORK OF THE OTHER SUBCONTRACTORS.
- DRAWINGS INDICATE THE MINIMUM STANDARDS, BUT IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS WORK AND SHALL EXECUTE THE WORK CORRECTLY IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES OR REGULATIONS WITH NO INCREASE IN COSTS.
- ALL EQUIPMENT AND ALL PRODUCTS PURCHASED ARE TO BE REVIEWED BY G.C. AND ALL APPLICABLE SUBCONTRACTORS FOR ANY CONDITION PER MANUFACTURERS RECOMMENDATIONS.
- ANY AND ALL ERRORS, DISCREPANCIES AND "MISSED" ITEMS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PROCESS BY THE GENERAL CONTRACTOR. ALL THESE ITEMS ARE TO BE INCLUDED IN THE BID.
- GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR ALL ON-SITE SAFETY FROM THE TIME JOB IS AWARDED UNTIL ALL WORK IS COMPLETED AND ACCEPTED BY THE OWNER.
- CONSTRUCTION TO BE INSTALLED LEVEL, PLUMB, TRUE AND WITHIN THE TOLERANCES SET FORTH IN THE APPROPRIATE SPECIFICATION SECTION. POORLY INSTALLED NONCOMPLIANT WORK SHALL BE REMOVED AND REINSTALLED.



3 SITE PLAN  
SP-1 SCALE: 1"=15'

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	
STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILINGS	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS-WIND LOADS WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	L/120

Note: L = span length, H = span height.

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (In pounds per square foot)	
USE	LIVE LOAD
ATTICS WITH STORAGE	20
ATTICS WITHOUT STORAGE	10
DECKS	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200
GUARDRAILS IN-FILL COMPONENTS	200
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

MINIMUM ROOF LIVE LOADS IN POUNDS-FORCE PER SQUARE FOOT OF HORIZONTAL PROJECTION			
ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FEET FOR ANY STRUCTURAL MEMBER		
	0 to 200	201 to 600	Over 600
FLAT OR RISE LESS THAN 4 INCHES PER FOOT (1:3)	20	16	12
RISE 4 INCHES PER FOOT (1:3) TO LESS THAN 12 INCHES PER FOOT (1:1)	16	14	12
RISE 12 INCHES PER FOOT (1:1) AND GREATER	12	12	12

4 CODE DATA  
SP-1 SCALE: NTS

- Zoning Information**
- The Site Plans have been prepared utilizing a property survey prepared by: William Held Associates, Jack L. Held N.J.P.P Lic NO: # 3859
  - Property Owner: Edward Sisk
  - Lot Areas:
    - 50'-0"x150'-0" / 7,500 S.F. / 0.17 acres
  - Lot 8  
Block 285
  - The property is located in the R-4 zone. According to the Township of Cranford a Single Family Dwelling is a principal permitted use.
    - We are not proposing any prohibited uses.
    - We are not proposing any conditional uses.

Township Of Cranford Bulk Regulations for Zone R-4				
Required Lot Size Dimensions	Required	Existing	Proposed	Comments
Minimum Lot Area	8,000 s.f.	7,500 s.f.	7,500 s.f.	Complies
Minimum Lot Width	60'-0"	50'-0"	50'-0"	Pre-Existing Non-Conforming
Required Yard Dimensions Front	23'-7"	25'-0"	21'-0"	Variance Required
One Side	7'-0"	5'-10"	5'-10"	Pre-Existing Non-Conforming
Both Sides	15'-0"	13'-9"	13'-9"	Pre-Existing Non-Conforming
Rear	52'-5"	77'-0"	77'-0"	Complies
Maximum Height	32'-0"	27'-5"	27'-5"	Complies
Maximum Stories	2 1/2	2	2	Complies
Max. Impervious Cover	40%	39.1%	41.9%	Variance Required
	3,000 s.f.	2,934 s.f.	3,144 s.f.	
Max. Building Coverage	30%	25.1%	29.2%	Complies
	2,250 s.f.	1,898 s.f.	2,190 s.f.	

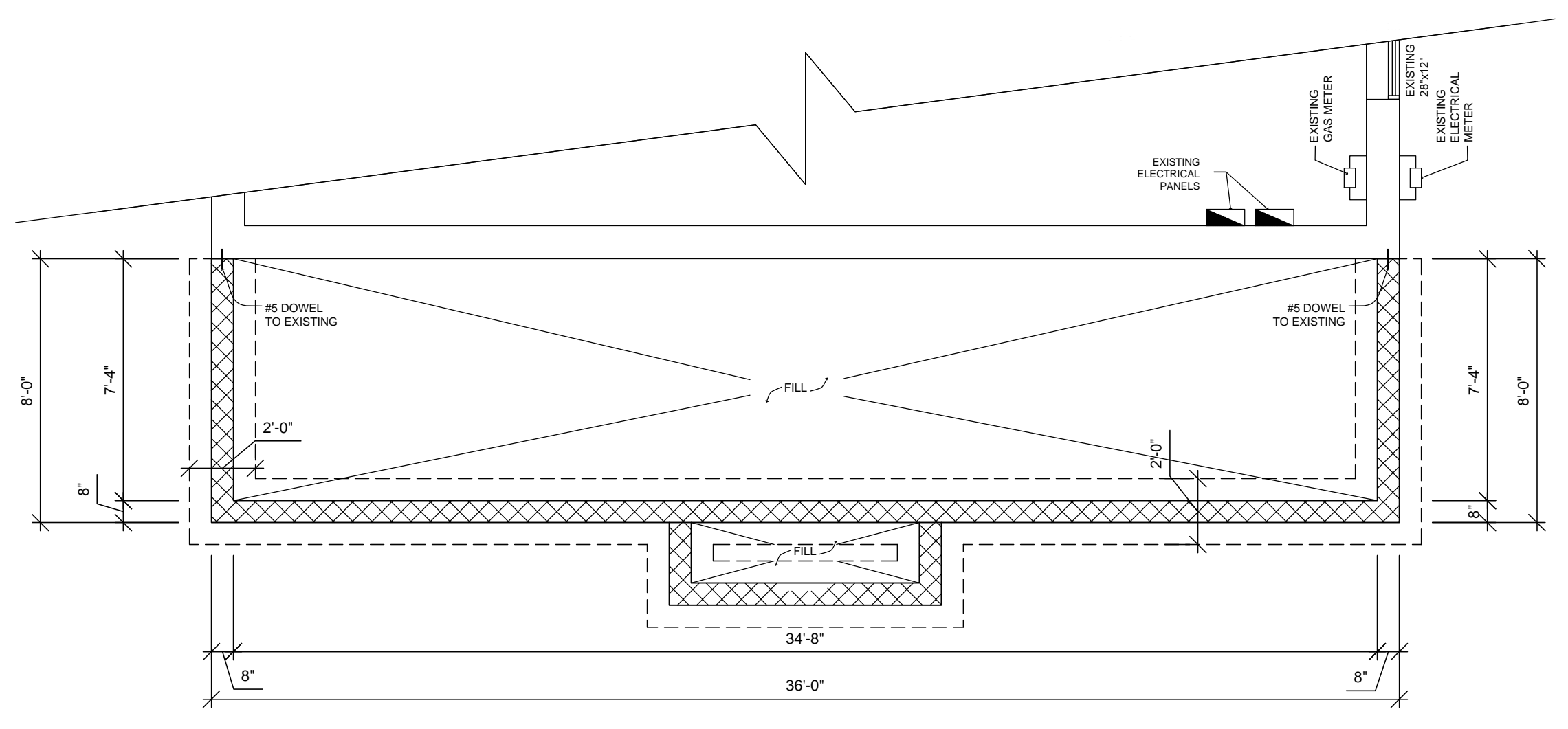
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NJ REG. ARCHITECT NO. 14272  
NJ REG. ENGINEER NO. 44263

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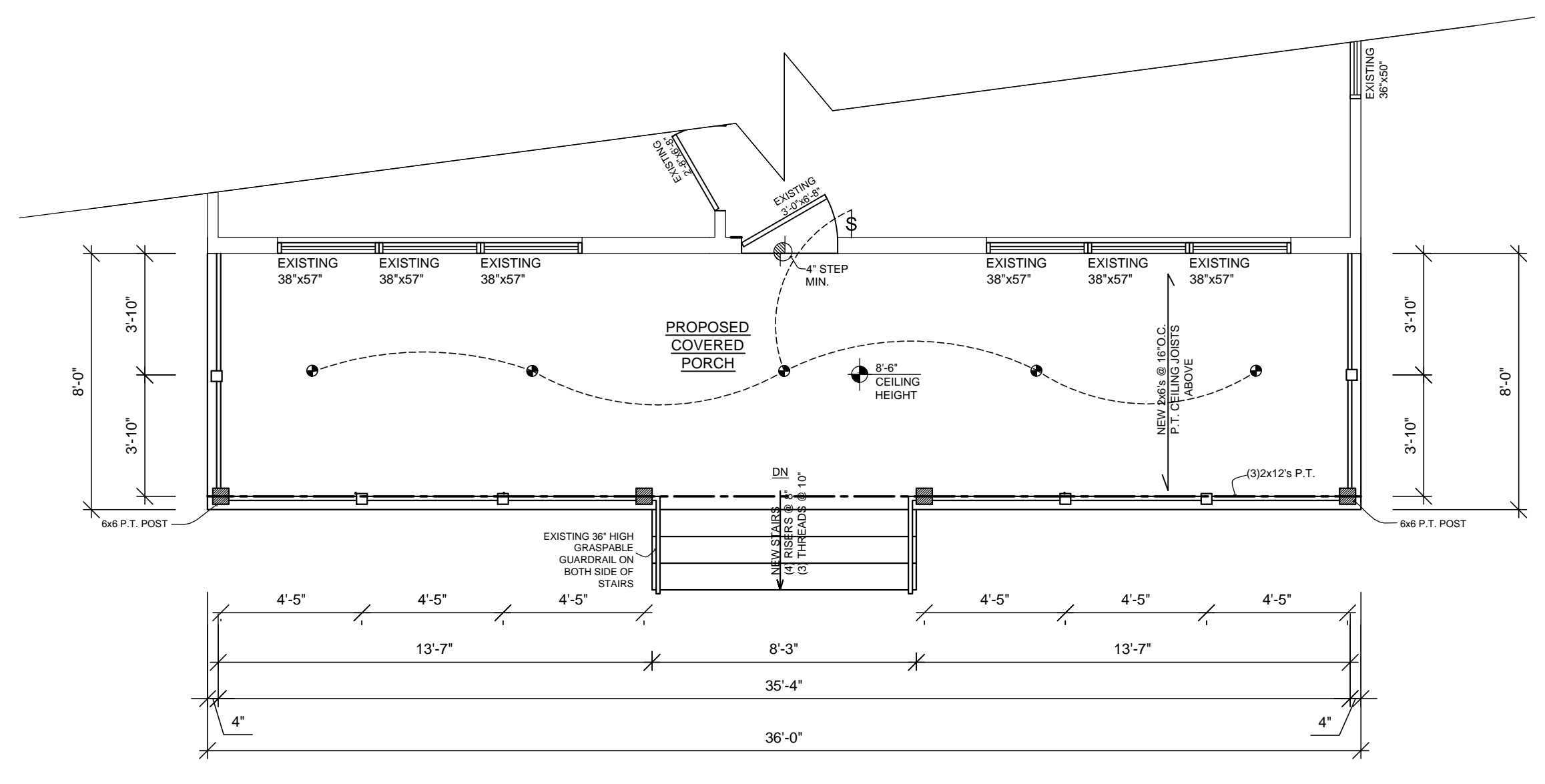
BY: *[Signature]*  
DATE: 11/11/2022  
NO: 2

PROJECT TITLE: Proposed Covered Front Porch To Existing 1 Family Dwelling At 134 Garden Street Cranford, NJ  
SCALE: AS NOTED  
DRAWN BY: M.R.A.  
CHK: C.Z.  
DATE: 06-28-2022  
DRAWING NO: SP-1  
SHEET NO: 1 OF 2  
COVER SHEET

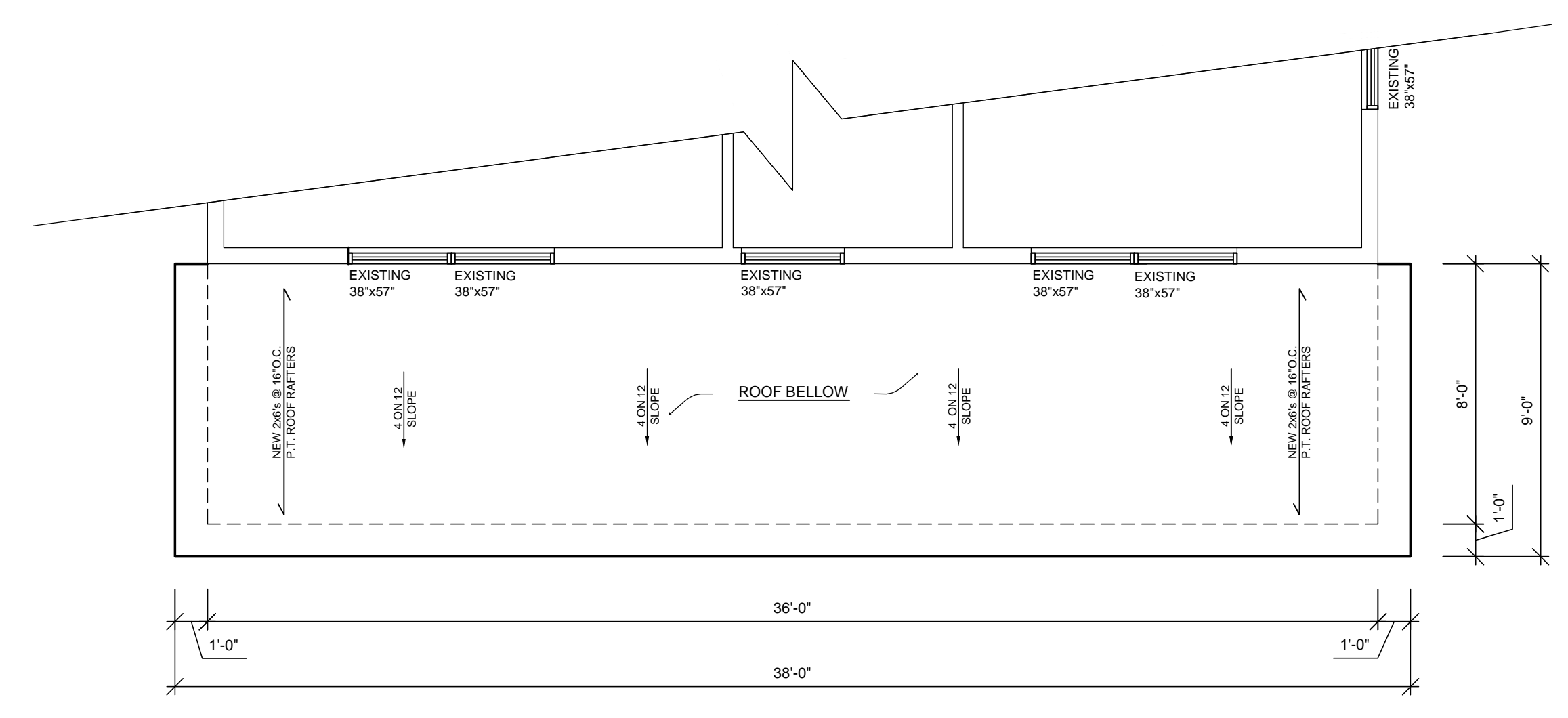




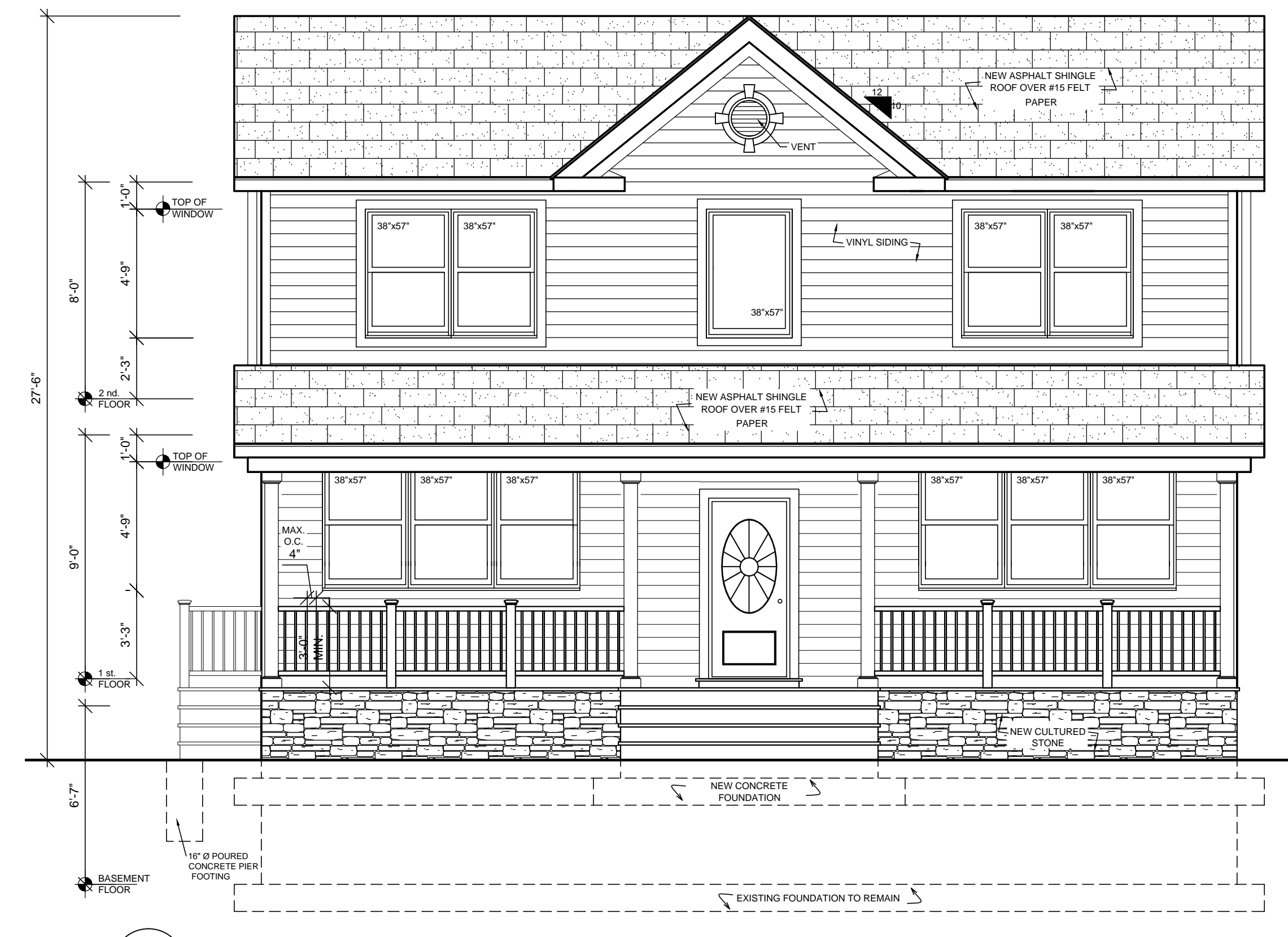
**1 PARTIAL BASEMENT/FOUNDATION PLAN**  
 A-1 SCALE: 1/4"=1'-0"



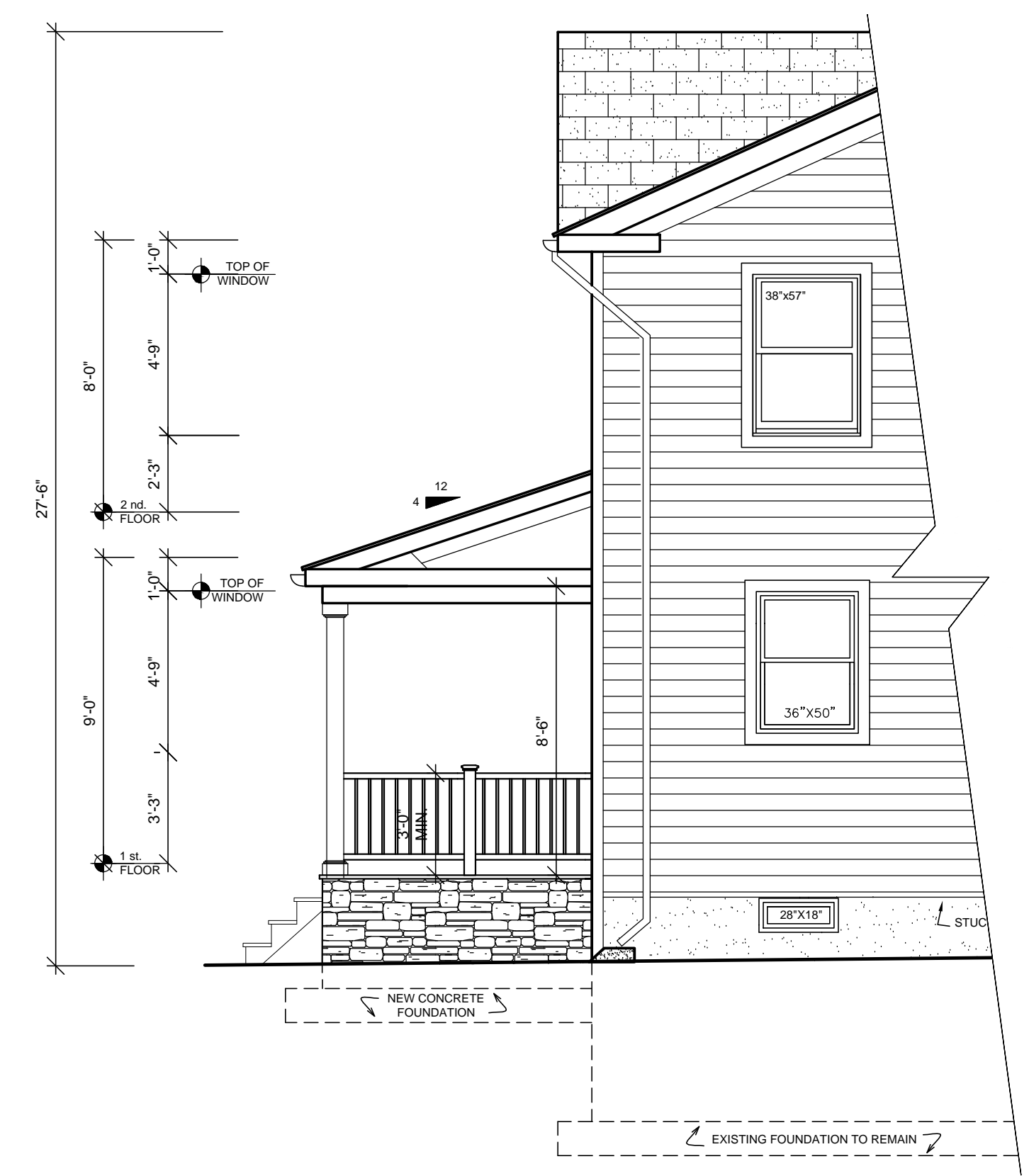
**2 PARTIAL FIRST FLOOR PLAN**  
 A-1 SCALE: 1/4"=1'-0"



**3 PARTIAL SECOND FLOOR/ROOF PLAN**  
 A-1 SCALE: 1/4"=1'-0"



**4 FRONT ELEVATION**  
 A-1 SCALE: 1/4"=1'-0"



**5 PARTIAL RIGHT SIDE ELEVATION**  
 A-1 SCALE: 1/4"=1'-0"

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BY:

DATE: \_\_\_\_\_

NO: \_\_\_\_\_

PROJECT NO:	SCALE:	AS NOTED	PROJECT TITLE:
DRAWING NO:	DRAWN BY:	M.R.A.	Proposed Covered Front Porch To Existing 1 Family Dwelling At 134 Garden Street Cranford, NJ
SHEET NO:	CHK:	C.Z.	FLOOR PLANS & ELEVATIONS
1	DATE:	06-28-2022	BRIEF TITLE:
OF			
2			