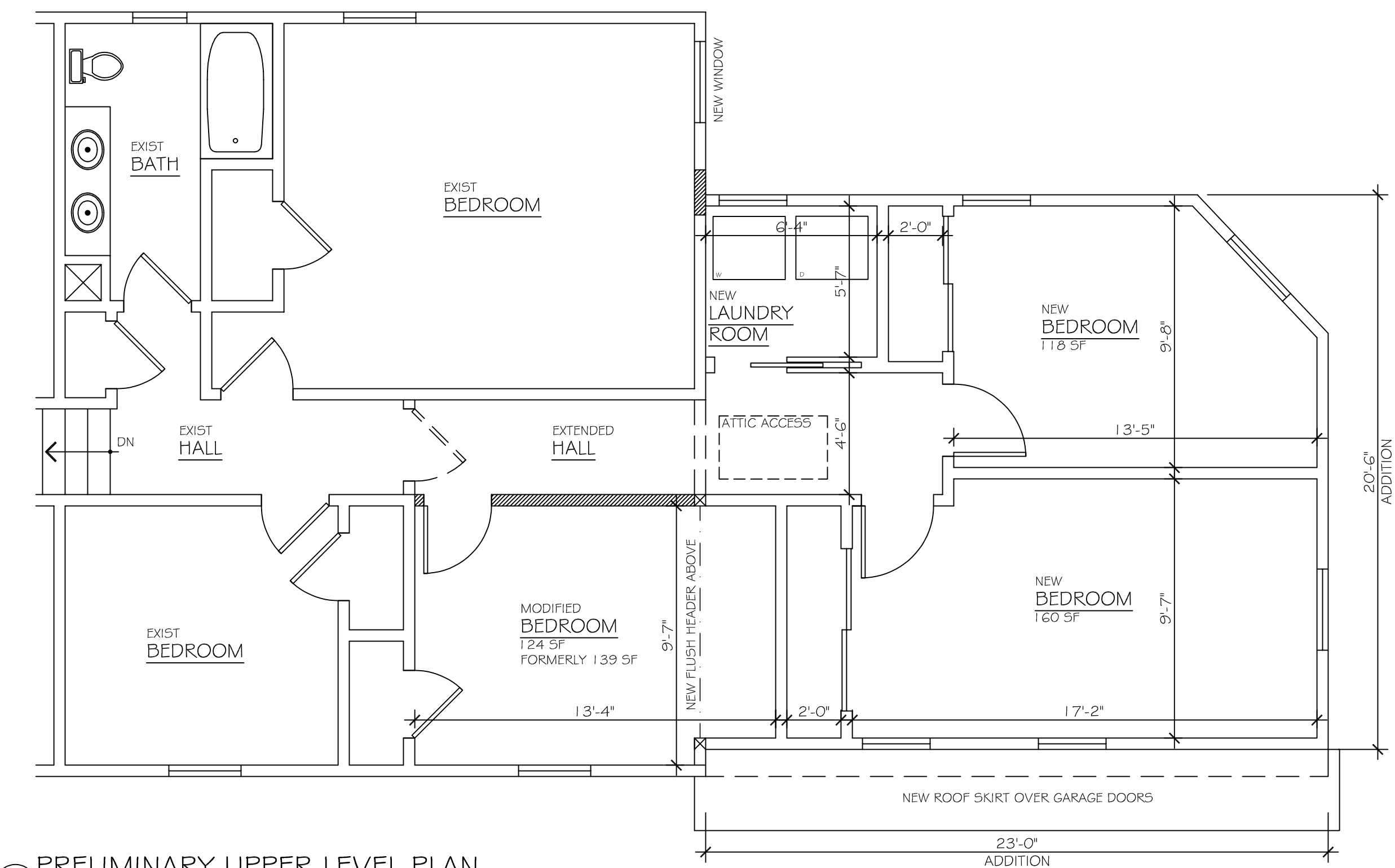
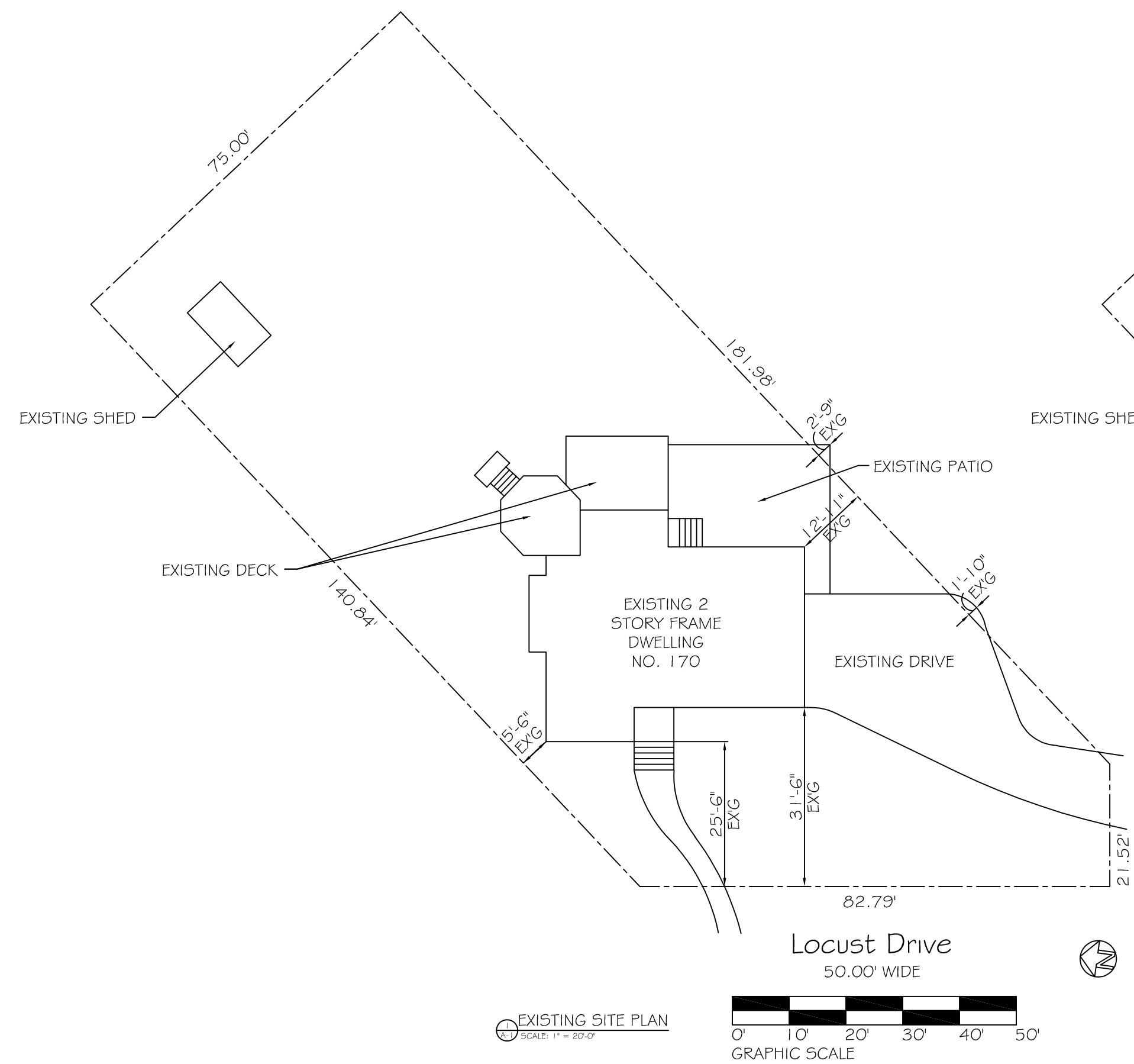


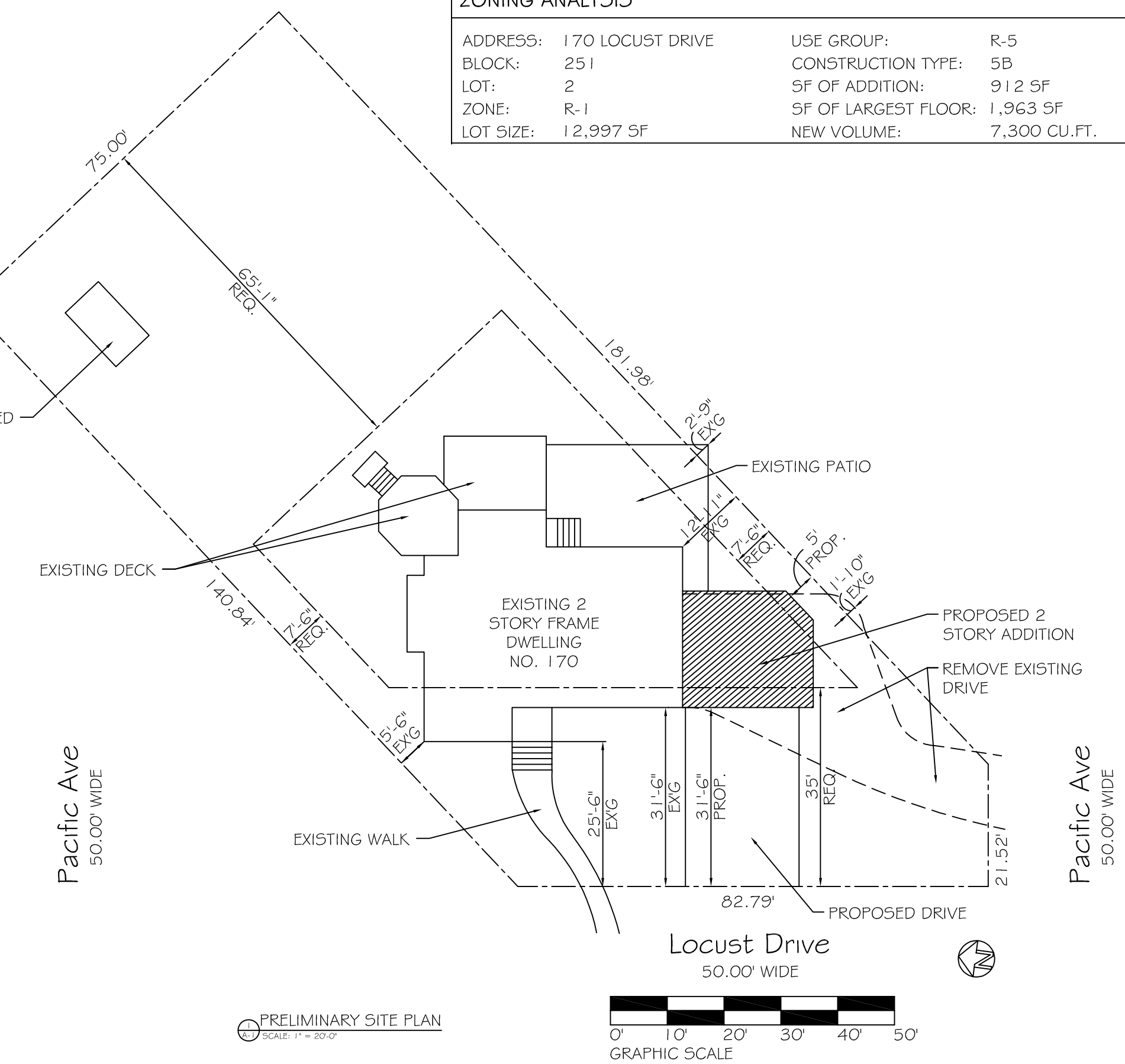
PRELIMINARY LOWER LEVEL PLAN  
SCALE: 1/4" = 1'-0"



PRELIMINARY UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"



EXISTING SITE PLAN  
SCALE: 1" = 20'-0"  
GRAPHIC SCALE



PRELIMINARY SITE PLAN  
SCALE: 1" = 20'-0"  
GRAPHIC SCALE

ZONING ANALYSIS			
ADDRESS:	170 LOCUST DRIVE	USE GROUP:	R-5
BLOCK:	251	CONSTRUCTION TYPE:	5B
LOT:	2	SF OF ADDITION:	912 SF
ZONE:	R-1	SF OF LARGEST FLOOR:	1,963 SF
LOT SIZE:	12,997 SF	NEW VOLUME:	7,300 CU.FT.

FLOOR AREA CALCULATIONS:				
	EXISTING	DEDUCT.	ADD	TOTAL
CELLAR FLOOR AREA (NON-HABITABLE):	832 SF	0 SF	0 SF	832 SF
LOWER LEVEL FLOOR AREA:	678 SF	0 SF	0 SF	678 SF
UPPER LEVEL FLOOR AREA:	1,510 SF	0 SF	453 SF	1,963 SF
TOTALS (HABITABLE):	2,180 SF	0 SF	453 SF	2,641 SF

IMPERVIOUS SURFACE CALCULATIONS:				
LOT SIZE: 12,997 SF X 35% = 4,649 MAX IMPERVIOUS SURFACE				
	EXISTING	DEDUCT.	ADD	TOTAL
HOUSE:	1,510 SF	0 SF	459 SF	1,969 SF
COVERED PORCH:	42 SF	0 SF	0 SF	42 SF
DRIVEWAY:	1,127 SF	- 1,127 SF	630 SF	630 SF
PATIO:	542 SF	- 2 SF	0 SF	540 SF
WALKWAYS, LANDINGS, CONC. PADS:	158 SF	0 SF	0 SF	158 SF
SHED:	104 SF	0 SF	0 SF	104 SF
TOTALS:	3,483 SF	- 1,129 SF	1,089 SF	3,443 SF
ACTUAL IMPERVIOUS COVERAGE:	3,443 SF			
MAX IMPERVIOUS COVERAGE:	4,649 SF			
ADDITIONAL IMPERVIOUS COVERAGE:	1,089 SF - 1,129 SF = - 40 SF ADDITIONAL			
NOTE:	ADDITIONAL IMPERVIOUS COVERAGE = - 40 SF < 300 SF, THEREFORE NO STORM-WATER MANAGEMENT IS REQUIRED			

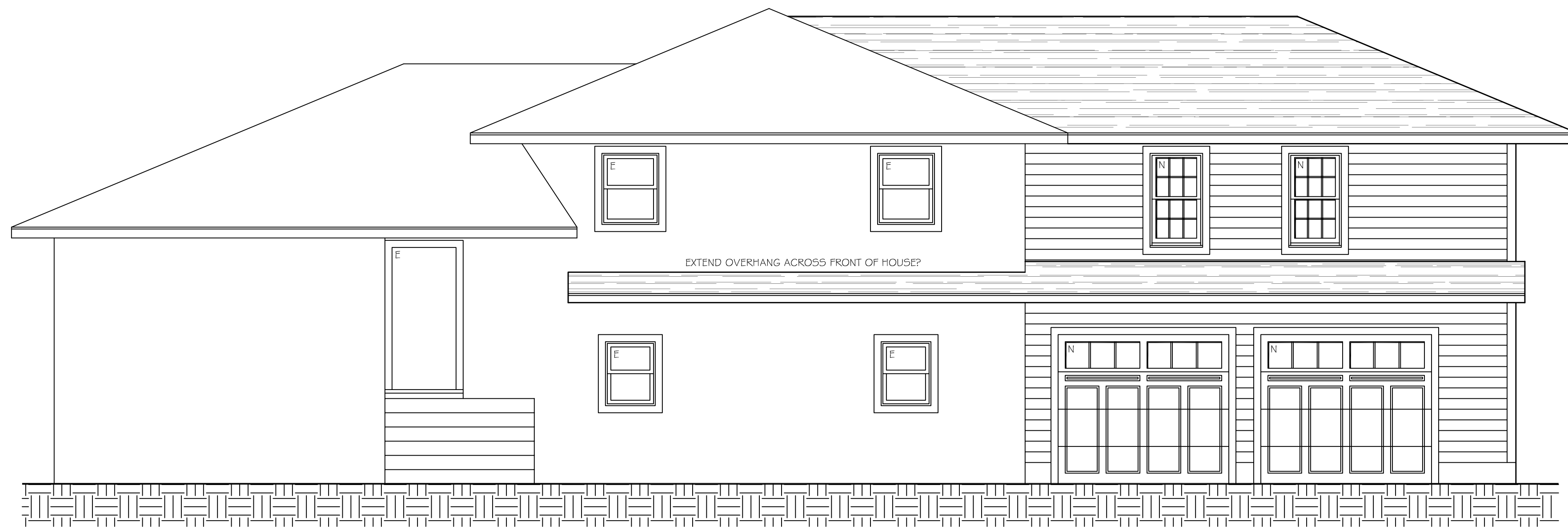
BUILDING COVERAGE CALCULATIONS:				
LOT SIZE: 12,997 SF X 25% = 3,249 SF MAX BUILDING COVERAGE				
	EXISTING	DEDUCT.	ADD	TOTAL
HOUSE:	1,510 SF	0 SF	459 SF	1,969 SF
COVERED PORCH:	42 SF	0 SF	0 SF	42 SF
DECK:	410 SF	0 SF	0 SF	410 SF
SHED:	104 SF	0 SF	0 SF	104 SF
TOTALS:	2,066 SF	0 SF	459 SF	2,525 SF
ACTUAL BUILDING COVERAGE:	2,525 SF			
MAX BUILDING COVERAGE:	3,249 SF			

BUILDING HEIGHT:			
	REQUIRED	EXISTING	PROPOSED
HOUSE:	32'-0"	4'-22'-4"	21'-11"
STORIES:	2-1/2	2	2

YARD REQUIREMENTS:				
	REQUIRED	EXIST	PROP.	COMPLIANT
FRONT YARD SETBACK:	35'-0"	25'-6"	31'-6"	YES**
SIDE YARD 1 (10% OF 75' = 7'-6"):	7'-6"	5'-6"	NO CHANGE	YES*
SIDE YARD 2 (10% OF 75' = 7'-6"):	7'-6"	12'-11"	5'-0"	NO**
SIDE YARD TOTALS (30% OF 75' = 22'-6"):	22'-6"	18'-5"	10'-6"	NO**
REAR YARD SETBACK (SEE CALC. BELOW):	65'-1"	85'-6"	NO CHANGE	YES

LOT DEPTH:	169'-5"
30% OF FIRST 100' =	30'-0"
45% OF NEXT 50' =	22'-6"
65% OF NEXT 19'-5" =	12'-7"
TOTAL REAR YARD REQUIRED =	65'-1"

					STRUCTURAL ENGINEER	<b>PRELIMINARY FLOOR PLANS</b> LETTINI RESIDENCE 170 LOCUST DRIVE, CRANFORD, NJ Richard J. Pierce, Architect 9 Strafford Terrace, Cranford, New Jersey 07016 (908) 338 5037	DRAWING NO. of
					MECHANICAL ENGINEER		A-1
DATE	DESCRIPTION	BY	REV			PROJECT NO.	
						1083	
							DATE: 4-27-2022 SCALE: AS NOTED



1  
A-1 PRELIMINARY FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



1  
A-1 PRELIMINARY SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1  
A-1 PRELIMINARY REAR ELEVATION  
SCALE: 1/4" = 1'-0"

					STRUCTURAL ENGINEER	PRELIMINARY ELEVATIONS LETTINI RESIDENCE 170 LOCUST DRIVE, CRANFORD, NJ Richard J. Pierce, Architect 9 Strafford Terrace, Cranford, New Jersey 07016 (908) 338 5037	DRAWING NO. of
					MECHANICAL ENGINEER		A-2
DATE	DESCRIPTION	BY	REV				DATE 4-27-2022 SCALE AS NOTED PROJECT NO. 1083