

FOUNDATION NOTES:

1. TYP. SLAB 4000 PSI CONC. w/ 6X6 10/10 WWF ON 6 MIL VAPOR BARRIER & 4" CRUSHED STONE FILL OVER COMPACTED BACKFILL.

2. FOUNDATION WALL 12" CMU BELOW SLAB, 8" CMU ABOVE SLAB, REINFORCED HORIZONTALLY w/ DURAWALL EVERY OTHER COURSE & VERTICALLY w/ #4 REBAR EVERY 48".

3. 24" x 12" CONC. FTG. w/ (3) #4 BARS. MIN. 3'-6" BELOW GRADE. SEE FOOTING NOTE.

4. PROVIDE FRENCH DRAIN AT PERIMETER OF NEW FOUNDATION. DRAIN TO NEW SUMPF PIT.

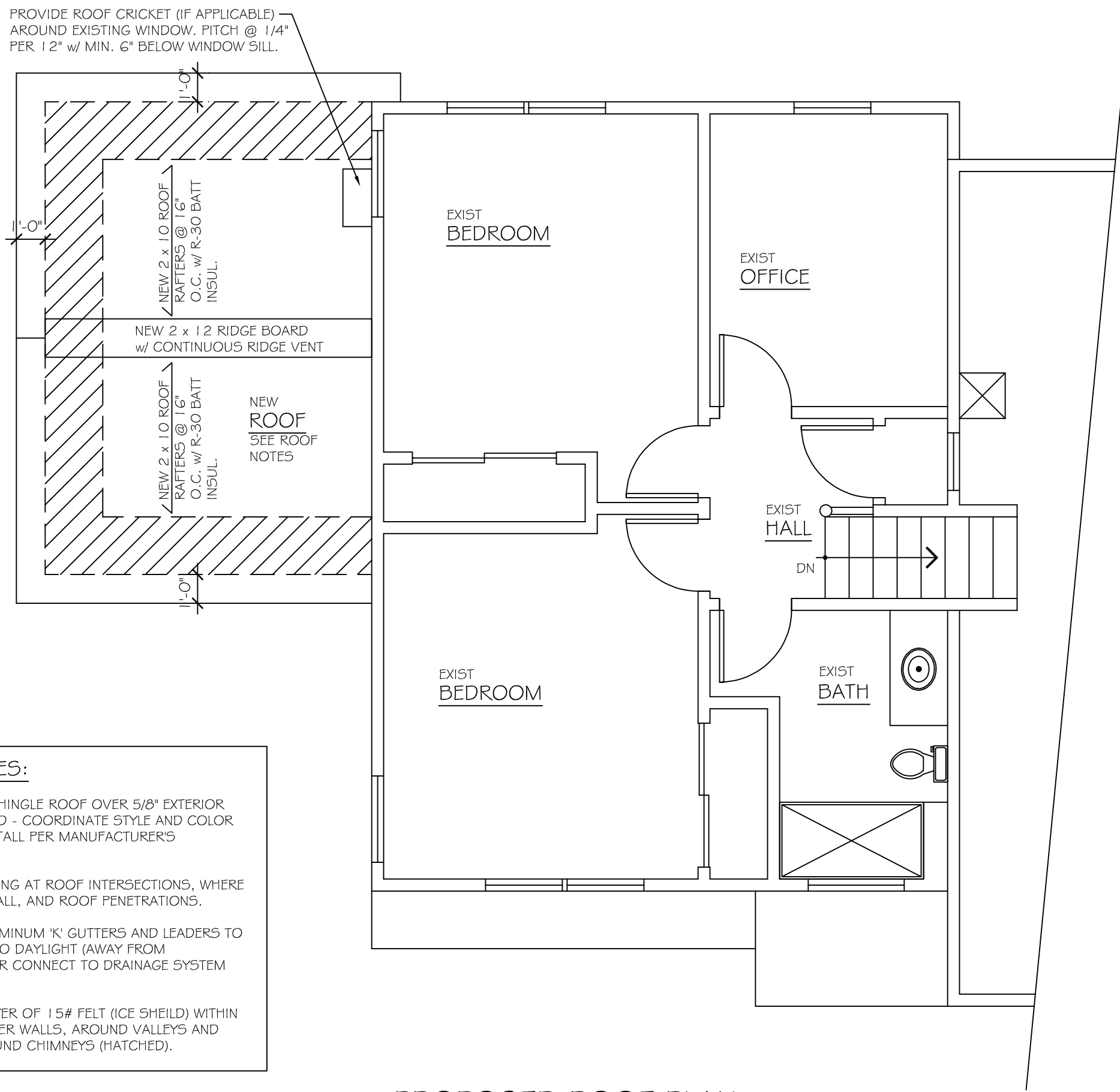
5. PRESUMED SOIL BEARING CAPACITY: 2000 PSF

6. PROVIDE 1/8" ACRYLIC ASPHALT MASTIC PARGING CEMENT FROM FOOTING TO GRADE.

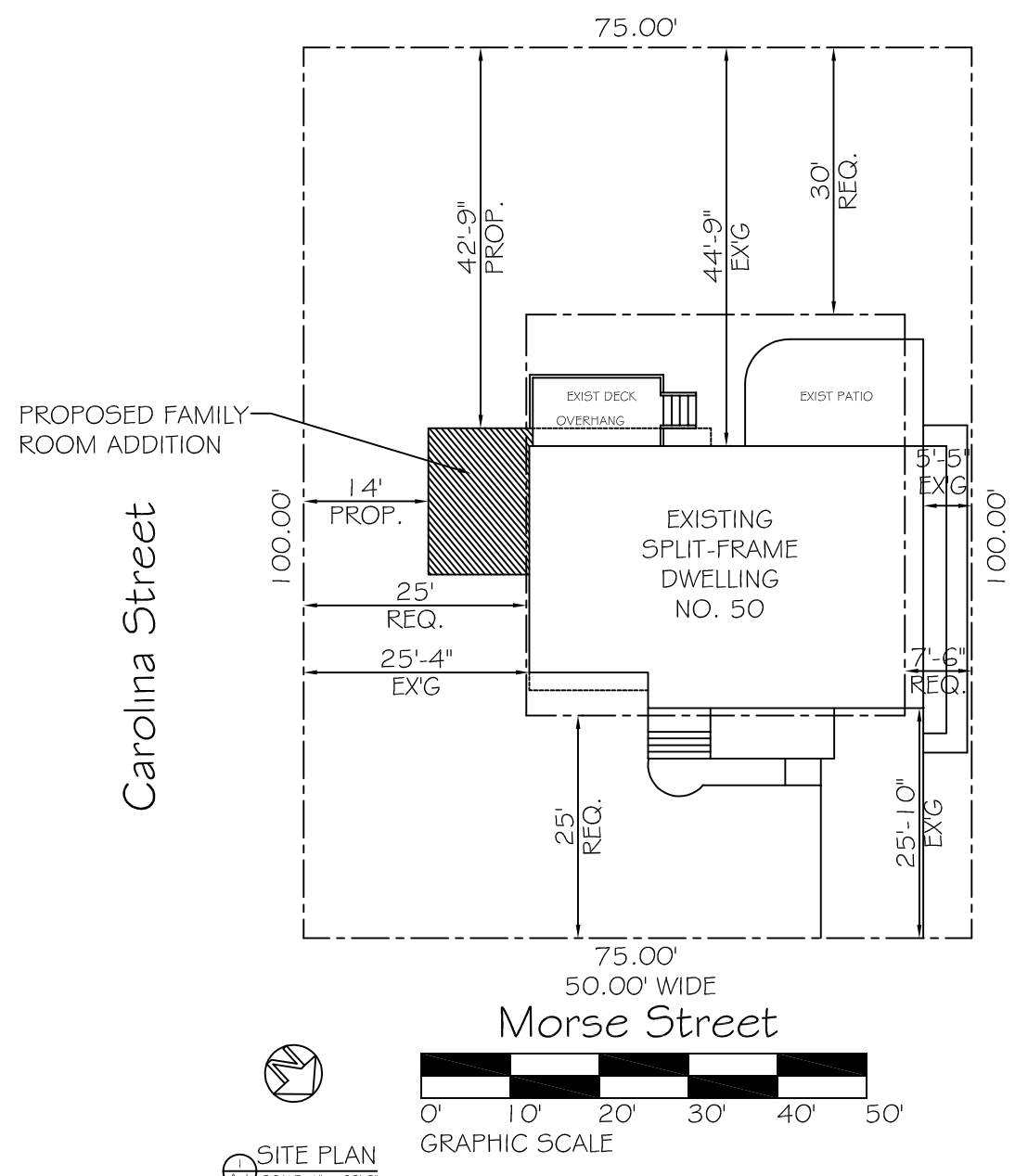
7. PROVIDE OPENINGS FOR UNDER-FLOOR VENTILATION PER IRC 201.8 NJ, SECTION 408. MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. VENTS TO BE LOCATED WITHIN 3' FROM EACH CORNER OF THE BUILDING.

8. FOOTING NOTE: PROVIDE BONDING AND GROUNDING OF THE (2) #5 REBAR ENCASED IN THE FOOTING INCLUDING A RATED CLAMP AND A SOLID OR STRANDED #4 SIZE COPPER CONDUCTOR

PROPOSED MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



SITE PLAN
SCALE: 1" = 20'

SITE PLAN GENERATED FROM INFORMATION OBTAINED FROM OWNER SUPPLIED SURVEY BY BRUNSWICK SURVEYING INC. LICENSED LAND SURVEYORS FISCATAWAY, NJ DATED 9-16-2014

ZONING ANALYSIS

ADDRESS:	50 MORSE STREET	USE GROUP:	R-5
BLOCK:	448	CONSTRUCTION TYPE:	5B
LOT:	8	SF OF ADDITION:	186 SF
ZONE:	R-3	SF OF LARGEST FLOOR:	1,434 SF
LOT SIZE:	7,500 SF	NEW VOLUME:	2,150 CU.FT.

FLOOR AREA CALCULATIONS:

	EXISTING	DEDUCT.	ADD	TOTAL
LOWER LEVEL AREA (NON-HABITABLE):	508 SF	0 SF	0 SF	508 SF
MAIN LEVEL AREA:	1,248 SF	0 SF	186 SF	1,434 SF
UPPER LEVEL AREA:	1,262 SF	0 SF	0 SF	1,262 SF
TOTALS (HABITABLE):	3,018 SF	0 SF	186 SF	3,204 SF

IMPERVIOUS SURFACE CALCULATIONS:

LOT SIZE: 7,500 SF x 38% = 2,850 MAX IMPERVIOUS SURFACE

	EXISTING	DEDUCT.	ADD	TOTAL
HOUSE:	1,248 SF	0 SF	186 SF	1,434 SF
DRIVEWAY:	288 SF	0 SF	0 SF	288 SF
WALKWAYS, LANDINGS:	194 SF	0 SF	0 SF	194 SF
PATIO:	234 SF	0 SF	0 SF	234 SF
TOTALS:	1,964 SF	0 SF	186 SF	2,150 SF

ACTUAL IMPERVIOUS COVERAGE: 2,150 SF
 MAX IMPERVIOUS COVERAGE: 2,850 SF
 ADDITIONAL IMPERVIOUS COVERAGE: 186 SF ADDITIONAL
 NOTE: ADDITIONAL IMPERVIOUS COVERAGE = 186 SF < 300 SF, THEREFORE NO STORM-WATER MANAGEMENT IS REQUIRED

BUILDING COVERAGE CALCULATIONS:

LOT SIZE: 7,500 SF x 28% = 2,100 SF MAX BUILDING COVERAGE

	EXISTING	DEDUCT.	ADD	TOTAL
HOUSE:	1,248 SF	0 SF	186 SF	1,434 SF
DECK:	138 SF	0 SF	0 SF	138 SF
TOTALS:	1,386 SF	0 SF	186 SF	1,572 SF

ACTUAL BUILDING COVERAGE: 1,572 SF
 MAX BUILDING COVERAGE: 2,100 SF

BUILDING HEIGHT:

	REQUIRED	EXISTING	PROPOSED
HOUSE:	32'-0"	31'-9"	NO CHANGE
STORIES:	2-1/2	2-1/2	NO CHANGE

YARD REQUIREMENTS:

	REQUIRED	PROVIDED	COMPLIANT
FRONT YARD SETBACK (MORSE STREET):	25'-0"	25'-10"	YES
FRONT YARD SETBACK (CAROLINA STREET):	25'-0"	14'-0"	NO**
SIDE YARD (10% OF 75' = 7'-6"):	7'-6"	5'-9"	YES*
REAR YARD SETBACK (SEE CALCULATION BELOW):	30'-0"	42'-9"	YES

*NO INCREASE TO EXISTING NON-CONFORMING
 **SEEKING VARIANCE

LOT DEPTH: 100'
 30% OF FIRST 100' = 30'-0"
 TOTAL REAR YARD REQUIRED = 30'-0"

WINDOW SCHEDULE

SYM.	ROUGH OPENING	MODEL NO.	WINDOW TYPE	MANUF.	NOTES	QTY.
A	(2) 2'-0 1/2" x 4'-4 1/2"	(2) TW2642	DOUBLE HUNG	ANDERSEN 400 SERIES	6 OVER 6 LITE PATTERN, 2" FINISH MULL BETWEEN UNITS	2
B	2'-0 1/2" x 4'-4 1/2"	TW2642	DOUBLE HUNG	ANDERSEN 400 SERIES	6 OVER 6 LITE PATTERN	2

NOTES:

- TYPICAL WINDOW HEADER SHALL BE (2) 2" x 10" HEADER, UNLESS OTHERWISE NOTED ON PLANS.
- ALL UNITS SHALL BE ANDERSEN 400 SERIES, UNLESS NOTED OTHERWISE. WITH 7/8" SIMULATED DIVIDED LITE, WOOD PRIMED FRAMES, AND INSULATED, LOW E, ARGON FILLED GLASS, WITH SCREENS ON OPERABLE UNITS. VERIFY JAMB SIZES IN FIELD, POLISHED CHROME HARDWARE.
- CONFIRM SCREEN AND HARDWARE COLOR AND FINISH SELECTIONS WITH OWNER PRIOR TO ORDERING.
- SEE PLANS AND ELEVATIONS FOR HEAD HEIGHTS, LITE PATTERNS, AND HINGING.
- WINDOWS AT TUB AND STAIRS TO BE TEMPERED.

ELECTRICAL NOTES:

1. OWNER AND GC TO HAVE ELECTRICAL WALKTHROUGH TO VERIFY FINAL LOCATIONS FOR OUTLETS, SWITCHES, ETC.
2. CONNECT NEW OUTLETS TO EXISTING SERVICE. VERIFY THAT THE EXISTING SERVICE IS SUFFICIENT FOR THE ADDITIONAL ELECTRICAL REQUIREMENTS OF THE ADDITIONS AND RENOVATIONS.
3. ALL FIXTURES SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE SPECIFIED.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW APPLIANCE CONNECTIONS. PROVIDE NEW CIRCUITS AS REQUIRED.

ELECTRICAL SYMBOLS

- ⊕ DUPLEX CONVENIENCE RECEPTACLE
- ⊕ GFI DUPLEX CONVENIENCE RECEPTACLE WITH GFI (GROUND FAULT INTERRUPTION), EACH (AT COUNTER HEIGHT)
- CEILING RECESSED LIGHT (STYLE TO BE DETERMINED BY OWNER)
- EXTERIOR LIGHT (STYLE TO BE DETERMINED BY OWNER)
- LIGHT SWITCH
- 3-WAY LIGHT SWITCH (MULTIPLE SWITCH CONTROL LIGHT)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CEILING MOUNTED LIGHT OR CEILING FAN
- CABLE

SYMBOLS LEGEND

DRAWING TAGS	ELEVATION REFERENCE DRAWING NUMBER
⊕	SECTION REFERENCE DRAWING NUMBER
⊕	DETAIL REFERENCE DRAWING NUMBER

WALL TYPES	PLAN SYMBOLS
— EXISTING, TO REMAIN	■ POST
- - - EXISTING, TO BE REMOVED	--- BEAM
▨ NEW WALL CONSTRUCTION	⊕ WINDOW SYMBOL
	⊕ DOOR SYMBOL
	⊕ EXIST DOOR
	⊕ NEW DOOR

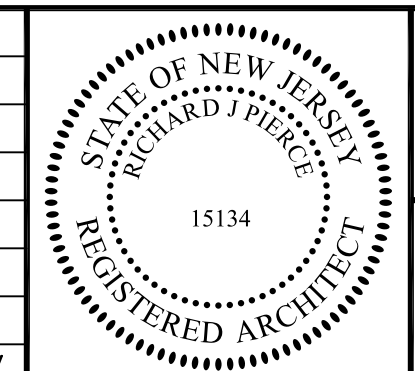
GENERAL NOTES:

1. IN AS MUCH AS THE PROFESSIONAL SERVICES OF THE DESIGN PROFESSIONAL DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATIONS OF THE CONTRACTOR'S WORK OR PERFORMANCE, THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS.
2. IN AS MUCH AS THE REMODELING AND OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS CANNOT BE VERIFIED WITHOUT EXPENDING GREAT SUMS OF MONEY, OR DESTROYING OTHERWISE ADVQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE WHICH IS DIRECTLY OR INDIRECTLY THE RESULT OF HIDDEN LATENT DEFECTS WHICH COULD NOT BE DETERMINED BY REASONABLE INVESTIGATION.
3. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT, AT ONCE. NO CHANGE IN PLANS, DETAILS, OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. THE CONTRACTOR SHALL KEEP THE WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
5. THE CONTRACTOR SHALL LAY OUT HIS WORK AND BE SOLELY RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS AND DIRECTIONS TO ALL PARTIES.
6. UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. COMPLETE SWEEPING OF ALL AREAS, AND THE REMOVAL OF ALL RUBBISH AND DEBRIS
 - B. REMOVAL OF ALL STAINS AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC. MAKING REPAIRS TO DAMAGED ASPHALT PAVING.
 - C. RESTORATION OF PROPERTY BY FILLING OF ALL RUTS WITH RAKED TOPSOIL AND
7. THE CONTRACTOR SHALL PATCH ALL AREAS WHICH ARE AFFECTED BY THE CONSTRUCTION TO MATCH THE EXISTING OR NEW ADJACENT MATERIALS AND SURFACES.

SPAN TABLES (BASED ON 2018 I.R.C. NJ EDITION TABLE R502.3.1(1), R502.5.1(1), AND R502.5.1(2))

JOISTS	FIRST FLOOR (40' LL / 10' DL) (U360)		SECOND FLOOR (30' LL / 10' DL) (U360)		JOISTS	CEILING w/ STORAGE (20' LL / 10' DL) (U240)		CEILING w/o STORAGE (10' LL / 5' DL) (U240)	
	SPACING (O.C.)	MAX SPAN	MAX SPAN	MAX SPAN		SPACING (O.C.)	MAX SPAN	MAX SPAN	MAX SPAN
2 x 6	12"	10'-8"	11'-10"	12'-5"	2 x 4	12"	9'-10"	12'-5"	
	16"	9'-9"	10'-9"	11'-3"		16"	8'-11"	11'-3"	
	24"	8'-3"	9'-3"	9'-10"		24"	7'-3"	9'-10"	
2 x 8	12"	14'-2"	15'-7"	19'-6"	2 x 6	12"	15'-0"	19'-6"	
	16"	12'-9"	14'-2"	17'-8"		16"	13'-0"	17'-8"	
	24"	10'-5"	11'-8"	15'-0"		24"	10'-8"	15'-0"	
2 x 10	12"	18'-0"	19'-10"	25'-8"	2 x 8	12"	19'-1"	25'-8"	
	16"	15'-7"	17'-5"	23'-4"		16"	16'-6"	23'-4"	
	24"	12'-9"	14'-3"	19'-1"		24"	13'-6"	19'-1"	
2 x 12	12"	20'-11"	23'-4"	SEE NOTE A	2 x 10	12"	23'-3"	SEE NOTE A	
	16"	18'-1"	20'-3"	SEE NOTE A		16"	20'-2"	SEE NOTE A	
	24"	14'-9"	16'-6"	23'-3"		24"	16'-5"	23'-3"	

NOTES:
 A. SPAN EXCEEDS 26'-0" IN LENGTH
 ** VALUES PROVIDED FOR DOUGLAS FIR-LARCH #2



PROPOSED FAMILY ROOM ADDITION PLANS

LARACY RESIDENCE
 50 MORSE STREET, CRANFORD, NJ

Richard J. Pierce, Architect

9 Stratford Terrace, Cranford, New Jersey 07016 (908) 338 5037

DRAWING NO. of
 A-1

DATE 12-28-2021
PROJECT NO. 985
AS NOTED

DATE	DESCRIPTION	BY	REV



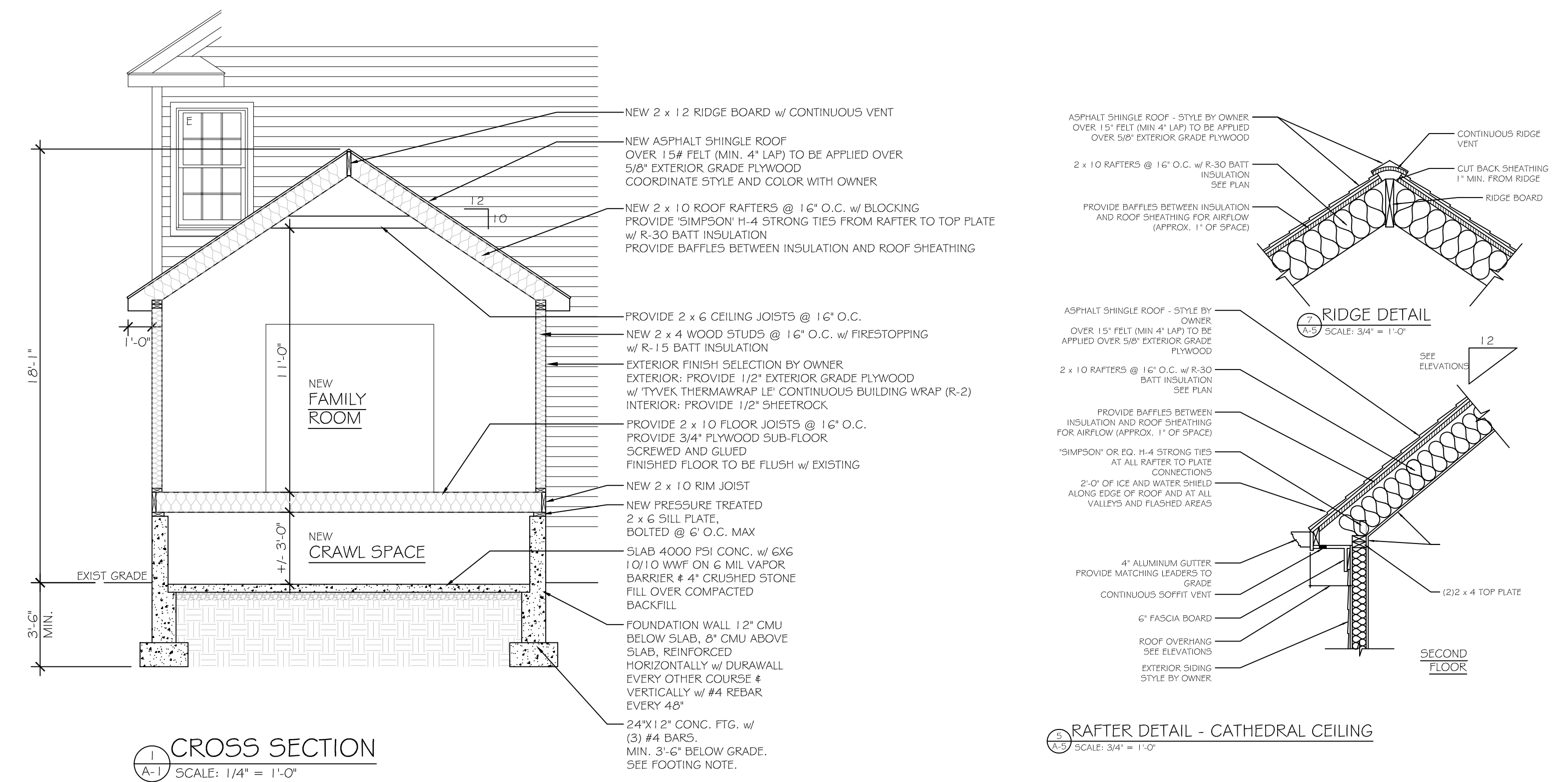
PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



CROSS SECTION
SCALE: 1/4" = 1'-0"

RAFTER DETAIL - CATHEDRAL CEILING
SCALE: 3/4" = 1'-0"

ELEVATION NOTES:

NEW 'ANDERSEN 400 SERIES' WINDOWS - STYLE BY OWNER - INSTALL PER MANUFACTURER'S SPECIFICATIONS - SEE ELEVATIONS FOR LITE PATTERNS - TYPICAL HEAD HEIGHT FOR WINDOWS TO BE 6'-8"

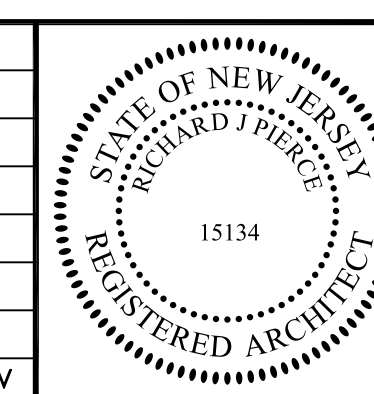
NEW ASPHALT SHINGLE ROOF OVER 5/8" EXTERIOR GRADE PLYWOOD - INSTALL PER MANUFACTURER'S SPECIFICATIONS

NEW PAINTED BEADBOARD SOFFITS (TYP. AT ALL OVERHANGS) - COLOR AND STYLE BY OWNER

NEW 'AZEK' FASCIAS AND FRIEZE - COLOR AND STYLE BY OWNER

NEW 'AZEK' RAKE BOARDS, TRIM, AND CASING - COLOR AND STYLE BY OWNER

DATE	DESCRIPTION	BY	REV



STRUCTURAL ENGINEER
MECHANICAL ENGINEER

ELEVATIONS, SECTION, DETAILS
LARACY RESIDENCE
50 MORSE STREET, CRANFORD, NJ
Richard J. Pierce, Architect
9 Stafford Terrace, Cranford, New Jersey 07016 (908) 338 5037

DRAWING NO. of
A-2
DATE: 12-28-2021
SCALE: AS NOTED
PROJECT NO.
985