

AREA CALCULATIONS

FIRST FLOOR AREA	2,194 SQ. FT.
SECOND FLOOR AREA	1,628 SQ. FT.
TOTAL AREA	3,822 SQ. FT.

ZONING ANALYSIS

	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT NUMBER	-	3	UNCHANGED	NO
BLOCK NUMBER	-	197	UNCHANGED	NO
ZONING DISTRICT	-	R-1 ZONE	UNCHANGED	NO
MINIMUM LOT AREA	12,000 SF	8,356 SF	UNCHANGED	NO; EXISTING NON-CONFORMING
MINIMUM LOT WIDTH	80 FEET	64.64 FEET	UNCHANGED	NO; EXISTING NON-CONFORMING
LOT DEPTH		116.5 FEET	UNCHANGED	NO
FRONT YARD SETBACK	35 FEET 30.00 FEET PREVAILING (SEE CHART BELOW)	47.5 FEET	34 FEET	NO
REAR YARD SETBACK	30% OF 1ST 100 FEET OF LOT DEPTH 45% OF NEXT 50 FEET OF LOT DEPTH 65% OF NEXT 50 FEET OF LOT DEPTH 90% OF BALANCE OF LOT DEPTH TOTAL REAR YARD REQUIRED	30 FT 7.4 FT --- FT --- FT 37.4 FT	± 30.7 FEET ± 30.24 FEET (ADDITION)	YES; 116 FEET OVER PERMITTED; 0.46 (± 5.5') FEET OVER EXISTING
REAR YARD SETBACK (DECK @ FIRST FLOOR LEVEL)	25% OF REAR YARD SETBACK (4.95 FEET) 28.4 FEET MINIMUM	± 18 FEET	UNCHANGED	YES; 10.4 FEET OVER (UNCHANGED FROM EXISTING DECK SETBACK)
SIDE YARD SETBACK - SIDE YARD (ONE)	10% OF LOT WIDTH (7'-0" MIN.)	8.2 FEET (RIGHT) 9.4 FEET (LEFT)	7.23 FEET 4.32 FT (ADDITION) 4.13 FT (PORCH)	YES; (SINGLE) 3 FEET OVER PERMITTED (LEFT SIDE) (COMBINED) 3.04 FEET OVER PERMITTED; 1.24 FEET OVER EXISTING
SIDE YARD SETBACK - SIDE YARD (BOTH)	30% OF LOT WIDTH (19.4 FEET)	17.6 FEET	16.36 FEET	
MAXIMUM BUILDING COVERAGE	25% (2,034 SF) N/ 12,000 SF LOT SIZE: (3,000 SF)	1,846 SF 22.7% (A,B,G) (NOTE 1)	2,563 SF 31.5% (A,H,J,K,L,M) (NOTE 1)	YES; 524 SF (6.5%) OVER PERMITTED
MAXIMUM PERCENT OF LOT IN IMPERVIOUS SURFACE (NOTE 1)	35% (2,848 SF) N/ 12,000 SF LOT SIZE: (4,200 SF)	3,145 SF 38.67% (A,B,C,D,E,F) (NOTE 1)	3,163 SF 38.8% (A,H,J,K,L,N,O,P) (NOTE 1)	YES; 215 SF (3.4%) OVER PERMITTED; 18 SF MORE THAN EXISTING NON-CONFORMING
BUILDING HEIGHT MAX	2 1/2 STORIES 36 FEET ABOVE BASE FLOOD ELEVATION (BASE FLOOD ELEVATION OF 10.6 FEET (NAVD 88) IS BASED ON THE D.E.P. MAP) (F.E.M.A. MAP BFE IS 60.6 FEET (NAVD 88))	1 1/2 STORIES ± 17 FEET	2 1/2 STORIES ± 34.9 FEET (FROM DEP) BASE FLOOD ELEVATION ± 36.9 FEET (FROM FEMA) BASE FLOOD ELEVATION	NO
FLOODPLAIN DISTRICT PROVISIONS (SECTION 255-3666c2 & 3)	ALTERATION TO BE LESS THAN 50% MARKET VALUE INCREASE IN VOLUME/AREA TO BE LESS THAN 25% OF EXISTING STRUCTURE			YES; ALTERATIONS MORE THAN 50% YES; INCREASE MORE THAN 25%

GENERAL NOTES:-

- THE PREMISES SHOWN HEREON WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO SUCH FACTS AS A CURRENT TITLE SEARCH MAY DISCLOSE. THE PROPERTY ALSO MAY BE SUBJECT TO THE FOLLOWING:
 - A) RIGHTS OF CLAIMS OF PARTIES IN POSSESSION SHOWN BY THE PUBLIC RECORD.
 - B) RIGHTS OF CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORD.
 - C) EASEMENTS OR CLAIMS OF EASEMENTS, SHOWN BY THE PUBLIC RECORD.
 - D) EASEMENTS OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORD.
- NO DETERMINATIONS HAVE BEEN MADE REGARDING UNDERGROUND UTILITIES WHICH MAY EXIST, UNLESS AS SHOWN.
- NO DETERMINATIONS HAVE BEEN MADE REGARDING HAZARDOUS MATERIAL CONDITIONS.
- NO DETERMINATIONS HAVE BEEN MADE REGARDING WETLANDS LOCATION.
- PLANIMETRIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., JANUARY 26, 2021.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO CONSTRUCTION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVENTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- TOPOGRAPHIC INFORMATION SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., JANUARY 26, 2021.

NOTE 1: LIST OF AREAS, IMPERVIOUS COVERAGE CALCULATIONS

A. EXISTING BUILDING FOOTPRINT	1,487 SF
B. EXISTING FRONT PORCH (TO BE REMOVED)	144 SF
C. EXISTING FRONT WALKWAY (TO BE REMOVED)	101 SF
D. EXISTING DRIVEWAY (REPAVED)	815 SF
E. EXISTING SIDE BRICK WALKWAY (TO BE REMOVED)	135 SF
F. EXISTING REAR PATIO AND STEPS (TO BE REMOVED)	463 SF
G. EXISTING DECK (TO BE REBUILT)	215 SF
H. PROPOSED FRONT/SIDE ADDITION	571 SF
J. PROPOSED REAR ADDITION	34 SF
K. PROPOSED REAR CANTILEVERED ADDITION	36 SF
L. PROPOSED FRONT PORCH	204 SF
M. EXISTING REAR WOOD DECK REBUILT	215 SF
N. PROPOSED SIDE WALKWAY W/ PERVIOUS PAVERS	103 SF
O. DRIVEWAY REPAVED W/ PERVIOUS PAVERS	660 SF
P. PROPOSED FRONT WALKWAY W/ PERVIOUS PAVERS	52 SF

NOTE:

- THE LEFT HAND DRAWING IS A REPRODUCTION OF AN ORIGINAL SURVEY
- ALL MARKED UP NOTES ADDED TO THE ORIGINAL DRAWING HAVE BEEN CLOUDED IN.

TOTAL AREA WITH PROPOSED PERVIOUS PAVERS:

815 SF (NO REDUCTION)	766 SF (PERMEABLE PAVERS W/ VOID SPACE OF 6%) (44 SF REDUCTION) SEE SHEET PBI-4
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PREVAILING FRONT YARD SET WITHIN 200 FEET OF 6 PARK DRIVE

HOUSE NUMBER ON PARK DR.	#12	#8	#6	#4	#2
LOT NUMBER	5	4	3	2	1
EXISTING HOUSE SETBACK FROM STREET CURB	57 FT	67 FT	62 FT	65 FT	62 FEET
EXISTING FRONT YARD SETBACK FROM HOUSE	36 FT	48.5 FT (ASSUMED)	47.5 FT (ASSUMED)	23.5 FT	30.00 FT (AVERAGE)

NOTES:-

- REFERENCES WERE MADE TO DEED BOOK 3821, PAGE 238.
- AT THE REQUEST OF THE OWNERS, PROPERTY CORNERS WERE NOT SET AT THIS TIME. PURSUANT TO ARTICLE 13:40-5.1 OF THE N.J.A.C., A WRITTEN WAIVER FROM THE SETTING OF CORNER MARKERS HAS BEEN OBTAINED.
- DIMENSIONS AS SHOWN ARE NOT INTENDED FOR THE CONSTRUCTION OF FENCES OR PERMANENT STRUCTURES.
- OFFSETS SHOWN ARE MEASURED FROM THE FRAME OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINE, UNLESS OTHERWISE NOTED.

CAUTION: THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

CERTIFICATION:-

I CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY MADE ON JANUARY 26, 2021, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS FROMLGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS & LAND SURVEYORS".

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.

LEGEND

STREET SIGN	○	IRON BAR FOUND	○
CLEANOUT	●	MAILBOX	□
SANITARY MANHOLE	⊙	STREET TREE	○
DRAINAGE MANHOLE	⊕	EXIST. SPOT ELEVATION	x 0.00
CATCH BASIN	⊖	EXISTING CONTOUR LINE	- - - -
CATCH BASIN	⊗	GAS LINE	- - - -
SOIL BORING	⊙	WATER LINE	- - - -
UTILITY WIRE	⊙	GAS VALVE	⊙
UTILITY POLE	⊙	WATER VALVE	⊙
P.K. NAIL FOUND	⊙	FIRE HYDRANT	⊙
CONC. MONUMENT FOUND	⊙	LIGHT POST	⊙

DESCRIPTION:-

BEING KNOWN AND DESIGNATED AS LOT 3 IN BLOCK 197 ON THE TOWNSHIP OF CRANFORD TAX ASSESSMENT MAP.

BEING MORE COMMONLY KNOWN AS NO. 6 PARK DRIVE, TOWNSHIP OF CRANFORD, UNION COUNTY, NEW JERSEY.

ELEVATIONS SHOWN ARE BASED ON NAVD 88



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320 NORTH AVENUE EAST
CRANFORD, N.J. 07016
Phone (908) 276-2715 Fax (908) 709-1738
Email: info@hcciq.net

VICTOR E. VINEGRA
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LICENSE NO. 34480

REV.	DATE	DESCRIPTION	CHK'D	APP'VD

BOUNDARY AND TOPOGRAPHIC SURVEY OF
6 PARK DRIVE
LOT 3, BLOCK 197
TOWNSHIP OF CRANFORD UNION COUNTY NEW JERSEY

SCALE: 1"=10'
DATE: 02/18/2022
DESIGNED BY: V.E.V.
DRAWN BY: T.N.C./R.L.D.
WORK FILE: 2021194 SURVEY
CERTIFICATE OF AUTHORIZATION No.: 246A27962100
PROJECT No.: 2021194

JOB NUMBER
21-108

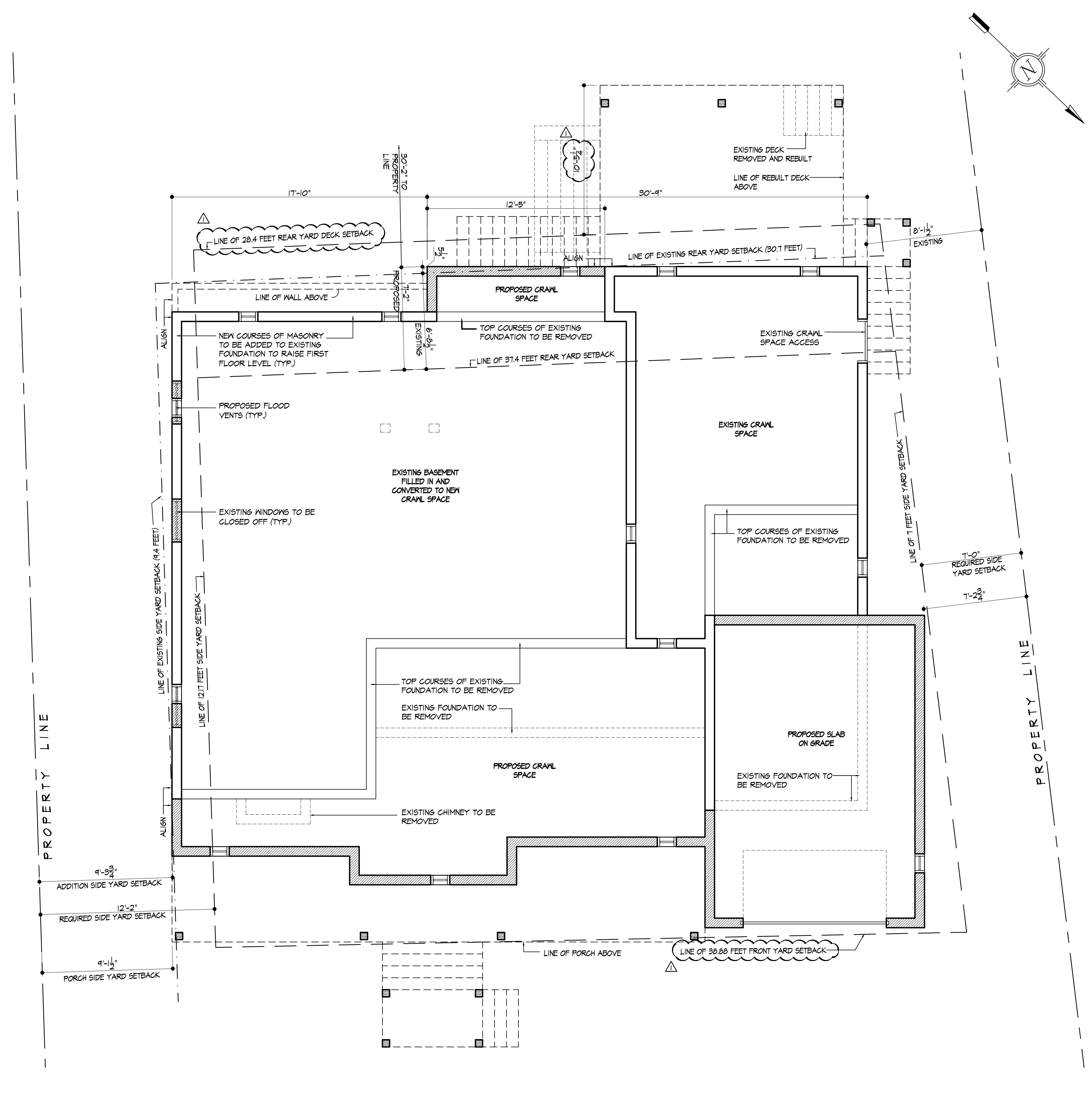
CONTRACTOR AND/OR SUBCONTRACTOR SHALL NOT SCALE THESE PLANS OR SPECIFICATIONS. ANY DIMENSIONS SHOWN ON THESE PLANS SHALL BE TAKEN FROM THE ORIGINAL DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REVISIONS	DATE	DESCRIPTION	BY	CHECKED BY
1	02/24/2022	REVISION PER DDC MEETING DATED 01/18/2022	mm	A.J.H.

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ADDITIONS & ALTERATIONS
TO THE RESIDENCE OF
DAVID AND ARLENE WEICHERT
6 PARK DRIVE,
CRANFORD, NEW JERSEY

DRAWING: PLOT PLAN AND ZONING ANALYSIS
DATE: 12/08/2022
PBI-1



△ FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION

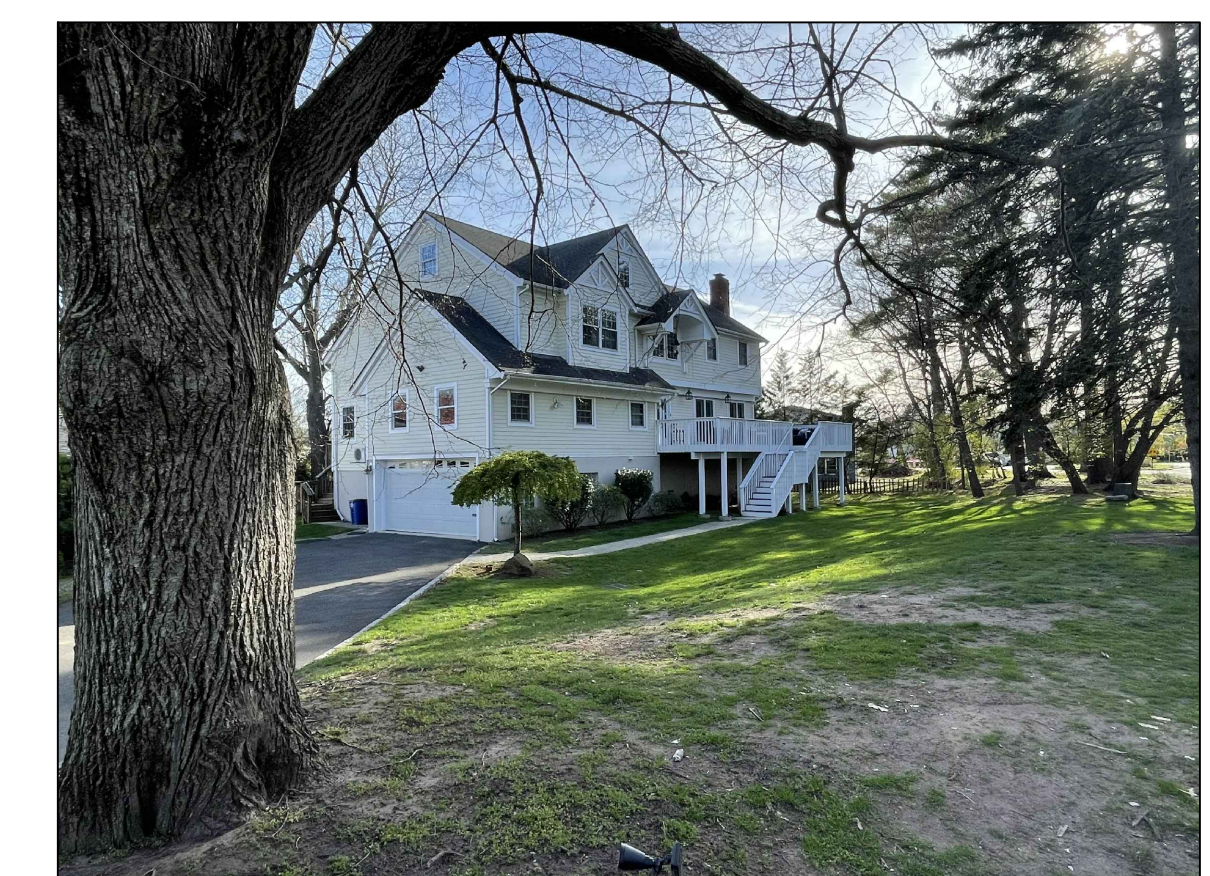


EXISTING RIGHT SIDE ELEVATION



EXISTING FRONT ELEVATION

FROM THE RIGHT SIDE NEIGHBOR (4 PARK DRIVE)



NEIGHBOR FRONT ELEVATION

NEIGHBOR 2 HOUSES TO THE RIGHT (2 PARK DRIVE)

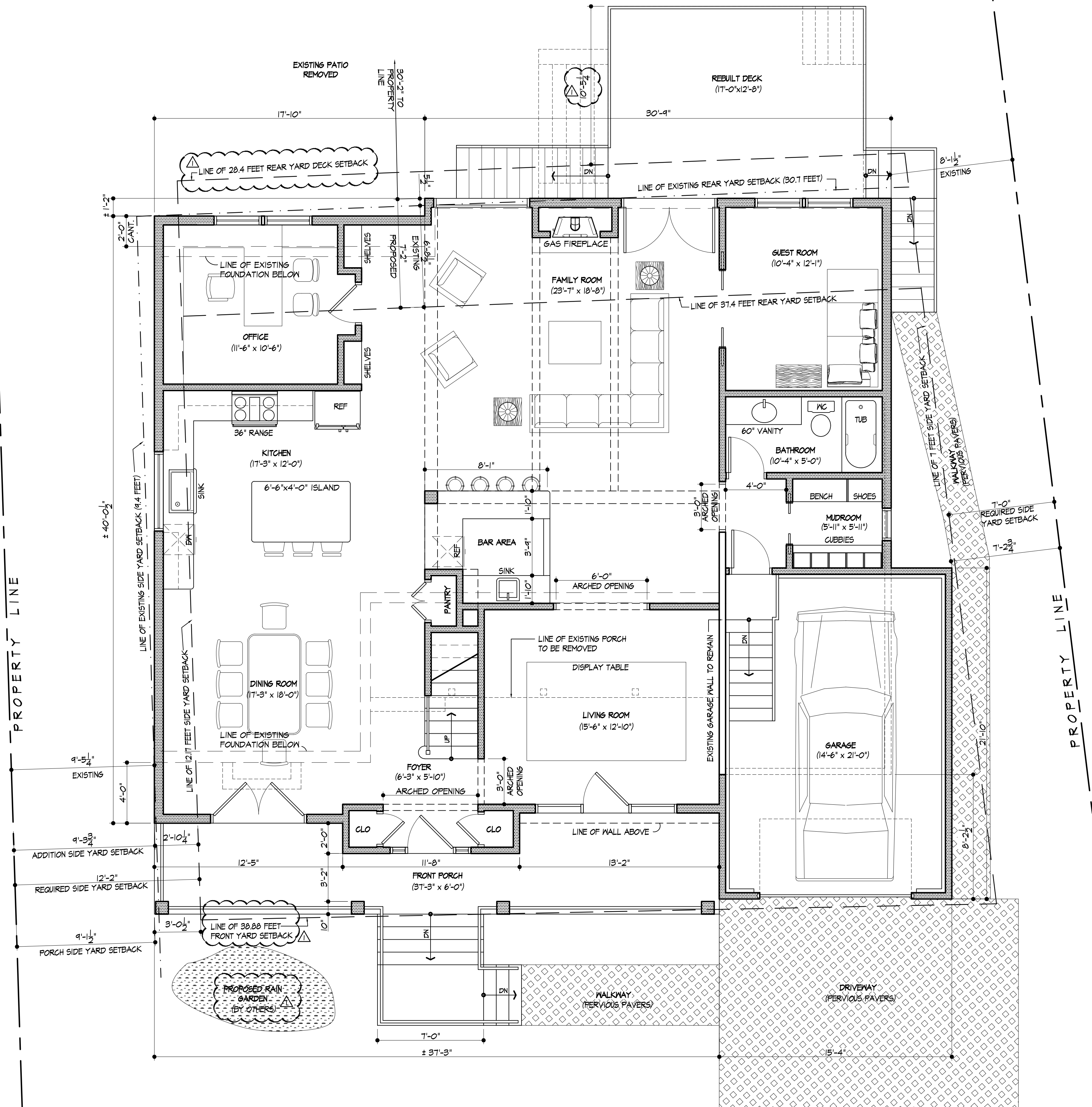
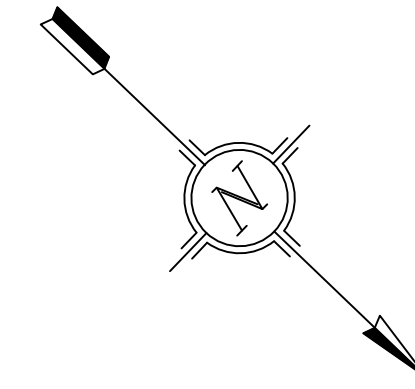
JOB NUMBER 21-108	
<small>THESE PLANS AND SPECIFICATIONS SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.</small>	
<small>DISCLOSURES</small> THESE PLANS AND SPECIFICATIONS AS WELL AS ANYTHING OF ANY NATURE OR KIND PREPARED BY OR FOR THE ARCHITECT OR ARCHITECTS, L.L.C. ARE THE PROPERTY OF ARCHITECTS, L.L.C. AND SHALL REMAIN THE PROPERTY OF ARCHITECTS, L.L.C. ANY REPRODUCTION OR USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT IS STRICTLY PROHIBITED.	<small>CONTRACTOR AND/OR SUBCONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR ANY PURPOSES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.</small>
<small>REVISIONS</small> NO. DESCRIPTION DATE 1 REVISION PER DDC MEETING DATED 01/06/2025 2	<small>DATE</small> 01/24/2025 <small>CHECKED BY</small> A.J.H. <small>DRAWN BY</small> mh
Arthur J Henn, AIA and Associates, LLC P: 908-709-6734 F: 908-709-6738 ART@AJHarchitect.com 20 East Summer Avenue Roselle Park, NJ 07204 <small>CERTIFICATE NUMBER</small> AH-15029	
ADDITIONS & ALTERATIONS TO THE RESIDENCE OF DAVID AND ARLENE WEICHERT 6 PARK DRIVE CRANFORD, NEW JERSEY <small>DATE</small> 12/09/2022 <small>DRAWING</small> FOUNDATION PLAN AND PHOTOS PB1-2	

AREA CALCULATIONS

FIRST FLOOR AREA	2,194 SQ. FT.
SECOND FLOOR AREA	1,688 SQ. FT.
TOTAL AREA	3,822 SQ. FT.

PARTITION LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- - - EXISTING CONSTRUCTION TO BE DEMOLISHED
- ▬ 2x4 WOOD STUD CONSTRUCTION W/ 1/2" GNB WALL FINISH (TYPICAL)



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION

TOWARDS LEFT SIDE NEIGHBOR

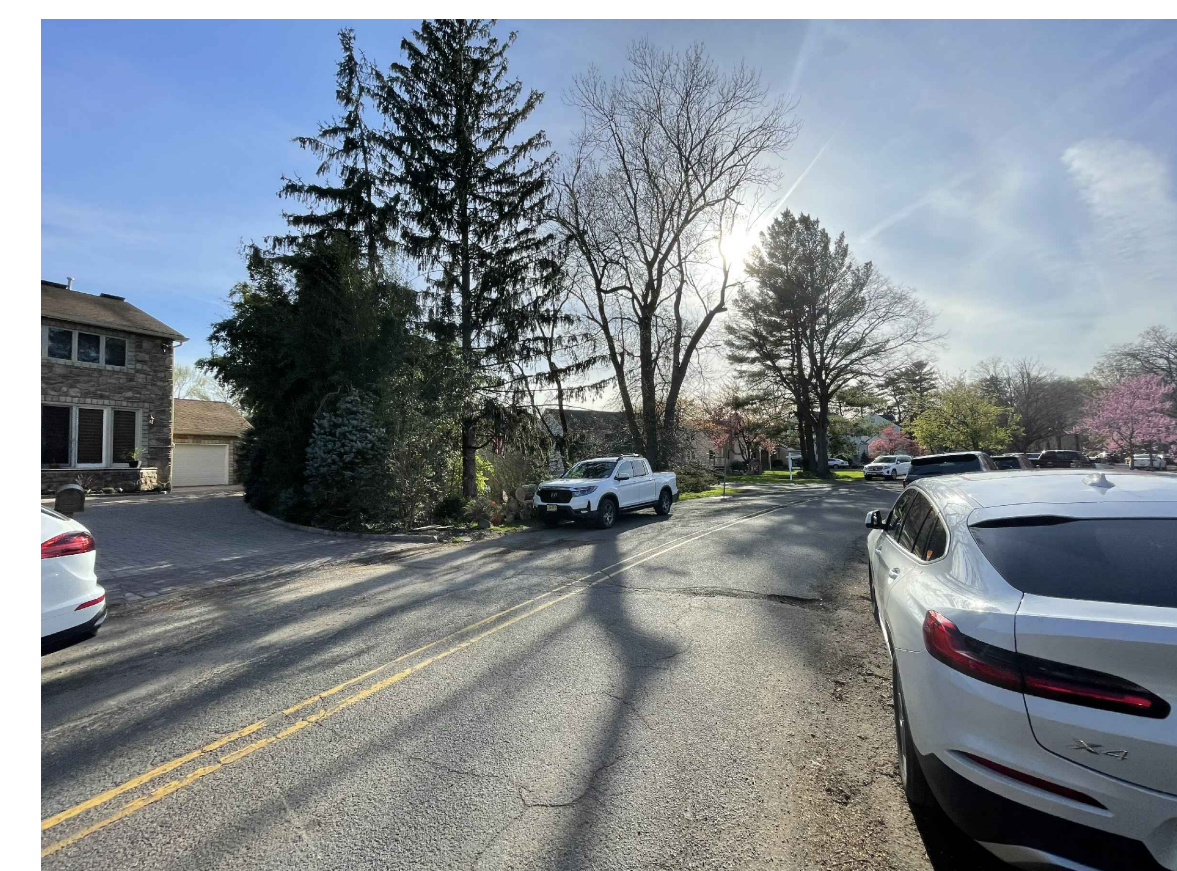


EXISTING FRONT ELEVATION

TOWARDS LEFT SIDE



EXISTING LEFT SIDE ELEVATION



STREET VIEW TOWARDS 6 PARK AVE

FROM 12 PARK AVE LOOKING NORTH

JOB NUMBER
21-108

DISCLOSURES
THESE PLANS AND SPECIFICATIONS SHALL BE KEPT ON FILE AT THE OFFICE OF THE ARCHITECT FOR THE LIFE OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

DATE	02/24/2025
REVISION	REVISION PER DEC MEETING DATED 01/16/2025
BY	mm
CHECKED BY	A.J.H.

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ADDITIONS & ALTERATIONS
TO THE RESIDENCE OF
DAVID AND ARLENE WEICHERT
6 PARK DRIVE, CRANFORD, NEW JERSEY

DATE: 12/08/2023
DRAWING: FIRST FLOOR PLAN AND PHOTOS
PB1-3

INFILTRATION RATES for Unilock Permeable Pavers - Newly Installed

ADA Compliant	PAVER	JOINT MATERIAL	JOINT WIDTH*	VOID SPACE*	INFILTRATION RATE**	MINIMUM INFILTRATION RATE** FOR RAINFALL INTENSITY OF:			
						2"/hr	4.5"/hr	6.5"/hr	11"/hr
Small: 1/4" Joint	Eco-Line®	ASTM #9 Aqua Rock	6.25mm	5.8%	560	34	78	112	190
	Eco-Promenade®	ASTM #9 - SEK Chip	7 mm	10.12%	934	20	44	64	109
	Eco-Priora® Herringbone	ASTM #9 - SEK Chip	7 mm	7.08%	676	28	64	92	155
	Eco-Priora® 5 x 10	Kafka - 1/8 to 3/16"	7 mm	6.8%	633	29	66	96	162
	Eco-Priora® Pattern H	ASTM #9 - Roscoe Chip	7 mm	5.7%	509	35	79	114	193
	Eco-Priora® Pattern H	IDOT FA 22	7 mm	5.7%	347	35	79	114	193
	Eco-Priora® 10 x 10	Kafka - 1/16 to 3/16"	7 mm	4.6%	327	43	98	141	239
	Treo™ Permeable	ASTM #9 - SEK Chip	7 mm	5.5%	335*	36	81	118	200
	Town Hall®	Kafka - 1/8 to 3/16"	9mm	6.5%	784	31	69	100	169
	City Park Paver™	ASTM #9 - SEK Chip	10mm	4.2%	934	48	107	155	262
Medium: 3/8" to 1/2" Joint	DuraFlow (Eco-URCS)	ASTM #8 IDOT CA-16	12mm	8%	912	25	56	81	138
	Eco-Optiloc™	HPB	12 mm	7.3%	404	27	62	89	151
	Eco-Optiloc™	ASTM #8 IDOT CA-16	12 mm	7.3%	912	27	62	89	151
	Tribeca Cobble™	ASTM #9 Aqua Rock	10mm	5.6%	400	36	80	116	196
Large: 3/8" to 1/2" Joint	Thornbury™	ASTM #9 Aqua Rock	18mm	4.4%	385	45	102	148	250
	Eco-Stone™	ASTM #8 IDOT CA-16	6 mm	10.18%	784	19	42	60	102
	Ecoloc™	Kafka - 1/8 to 3/16"	7 mm	12.18%	1060	18	41	59	99

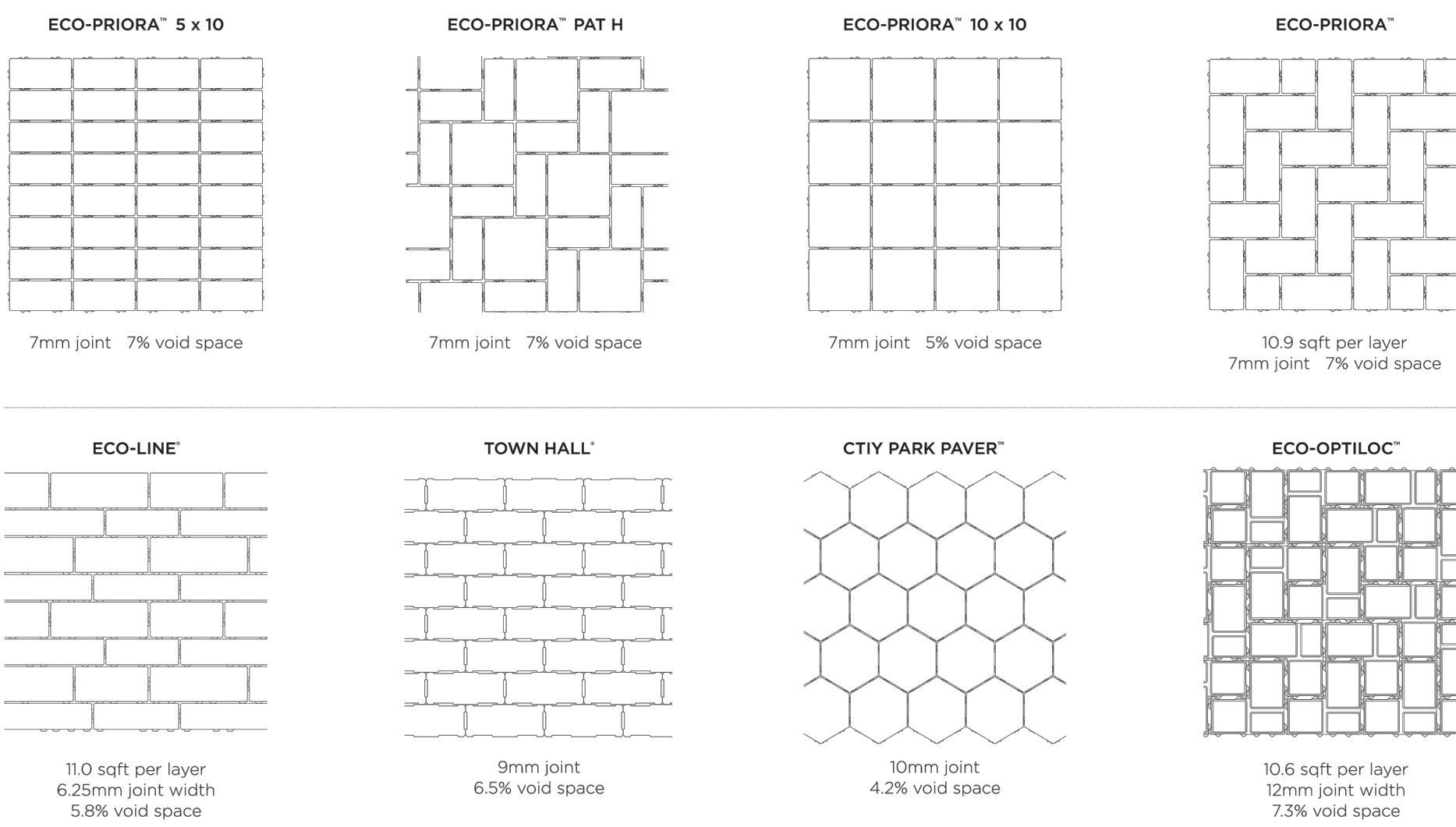
Permeable spacers are available for use with extended range of Unilock products. Ask your Unilock Representative for more information.

Note: The 2", 4.5", 6.5" and 11" per hour Rainfall Intensity examples are based on common 5 minute rainfall intensity charts and are not the same as total rainfall quantity.

* Joint Width is measured at the top of the paver. Void Space is calculated at the base of the paver.

** Infiltration rate is inches per hour based on testing done when first installed and is an approximation.

* Estimate based on similar void space data



APPROXIMATE PARTICLE SIZE	INFILTRATION OR PERMEABILITY IN/HR
ASTM No 8 (2 - 10 mm)	4000 to 1400
ASTM No 9 (2- 5 mm)	1400 to 140
ASTM No 10	140 to 14

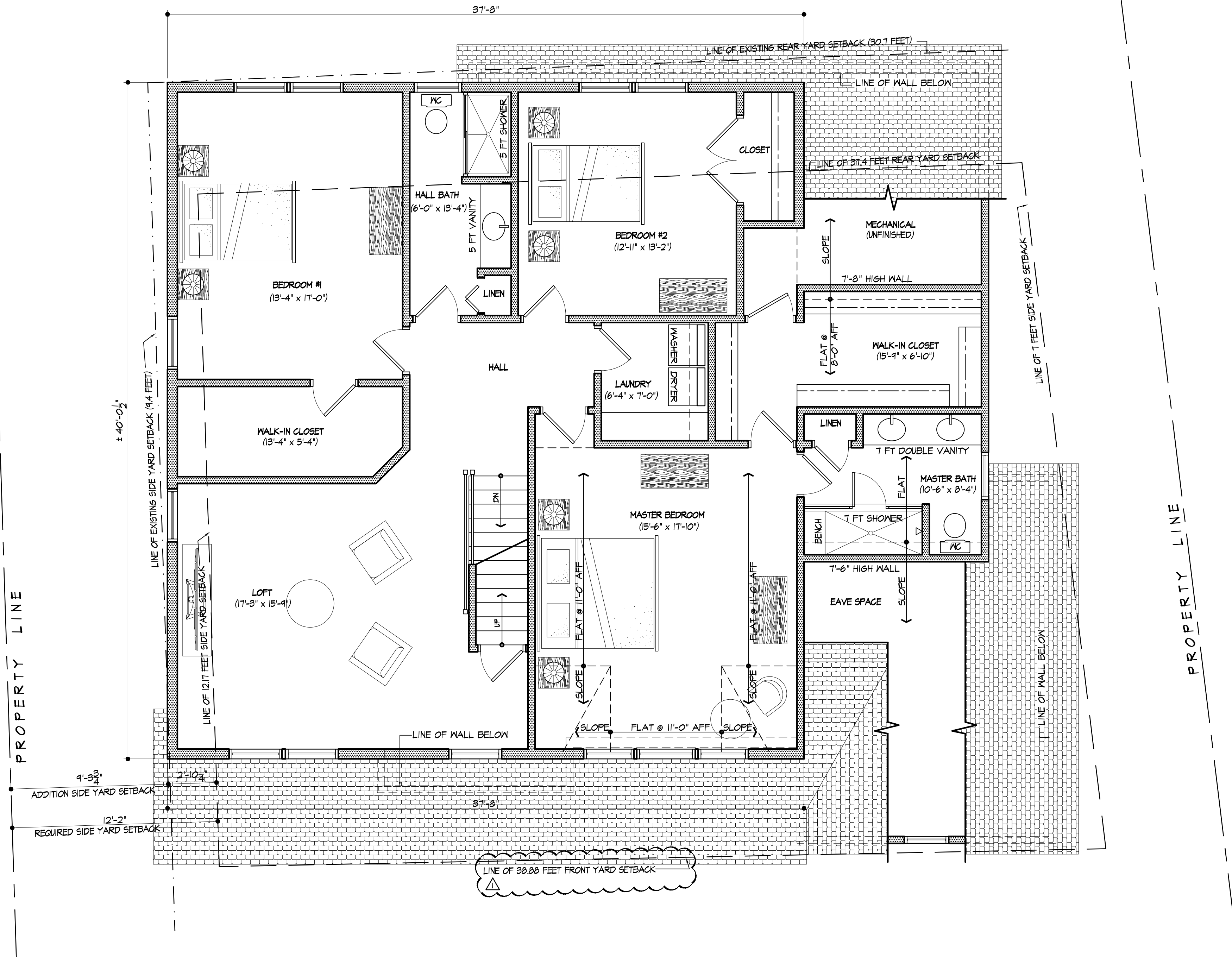
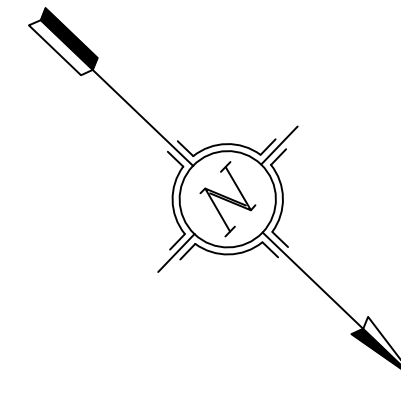
Independently tested at Unilock unless otherwise noted

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PARTITION LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- 2x4 WOOD STUD CONSTRUCTION w/1/2" GMB WALL FINISH (TYPICAL)



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

JOB NUMBER
21-108

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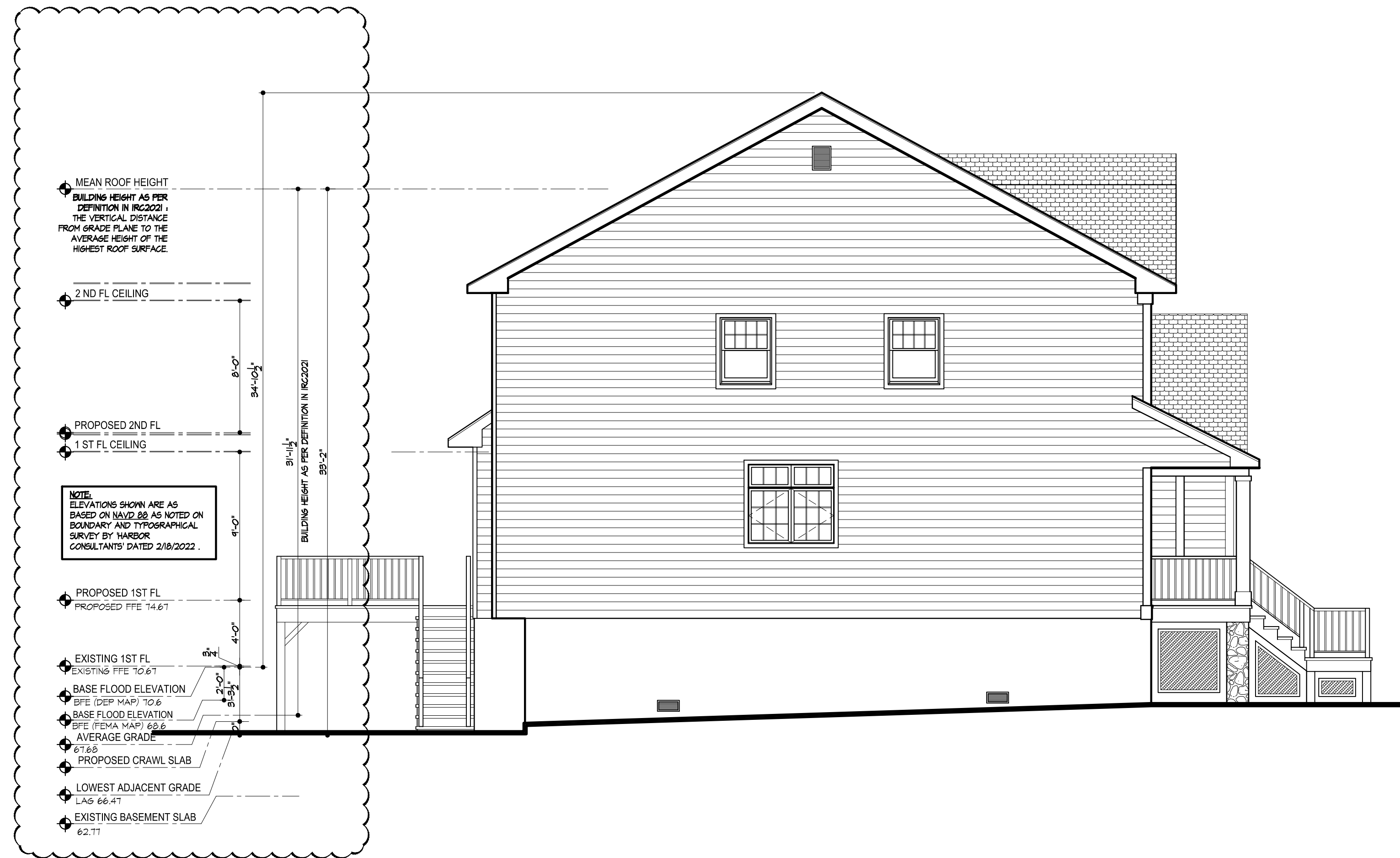
REVISIONS	DATE	DESCRIPTION
1	02/24/2025	REVISION PER DDC MEETING DATED 01/08/2025

DATE: 12/09/2022
DRAWING: SECOND FLOOR PLAN AND PERMEABLE PAVEMENT INFORMATION
DRAWN BY: mm
CHECKED BY: A.J.H.

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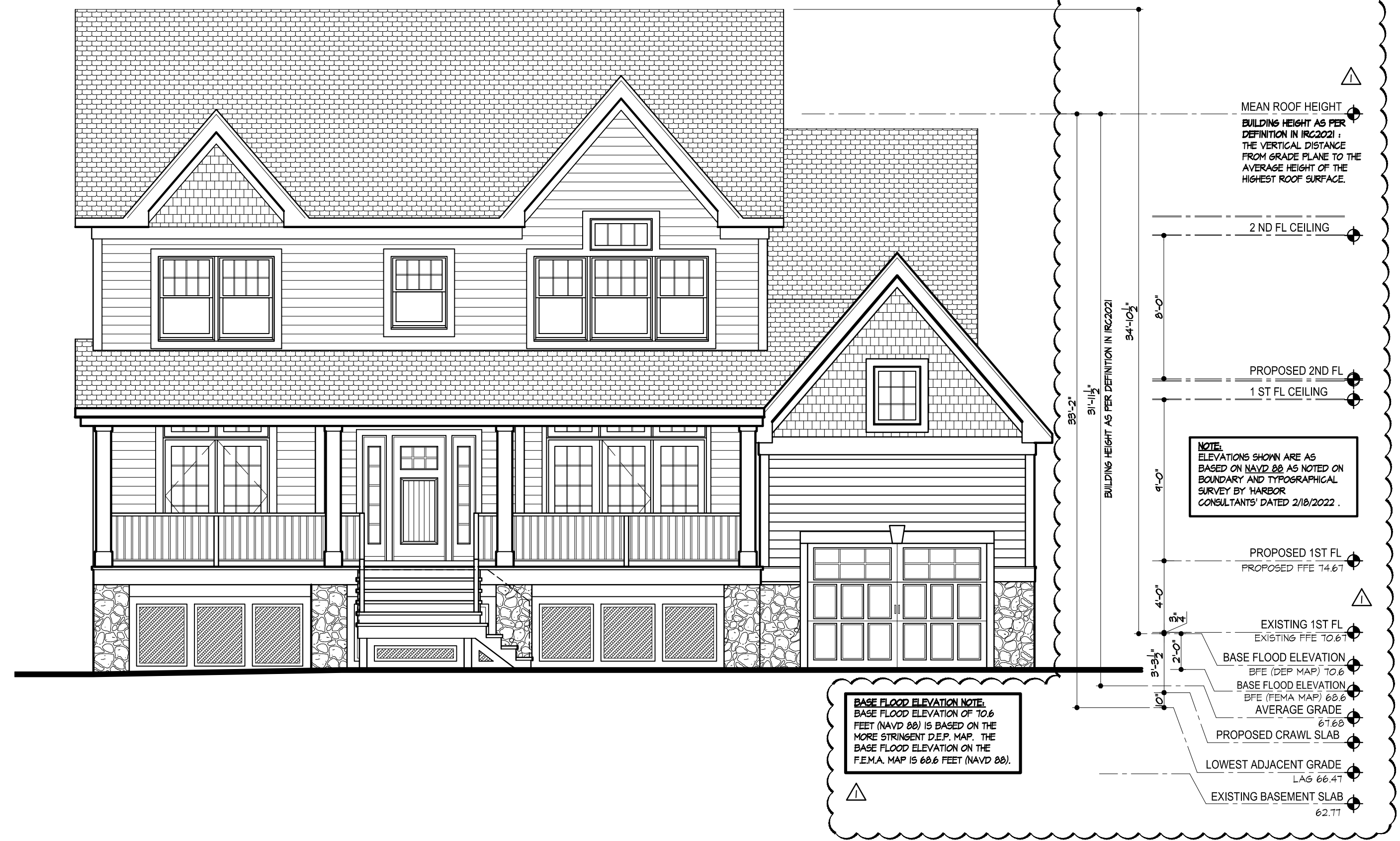
ADDITIONS & ALTERATIONS
TO THE RESIDENCE OF
DAVID AND ARLENE WEICHERT
6 PARK DRIVE,
CRANFORD, NEW JERSEY

PB1-4



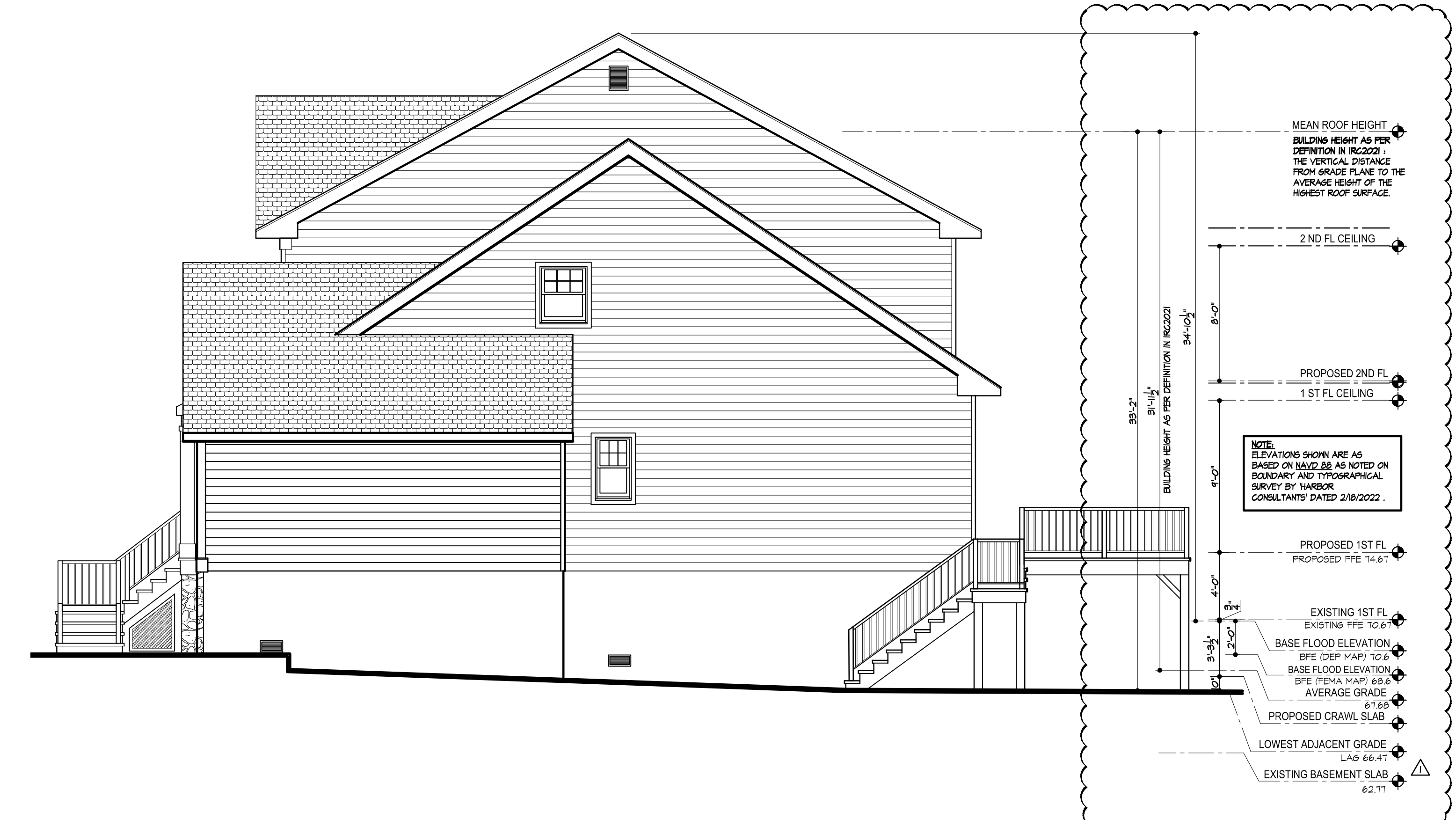
LEFT SIDE ELEVATION

SCALE: 3/8" = 1'-0"



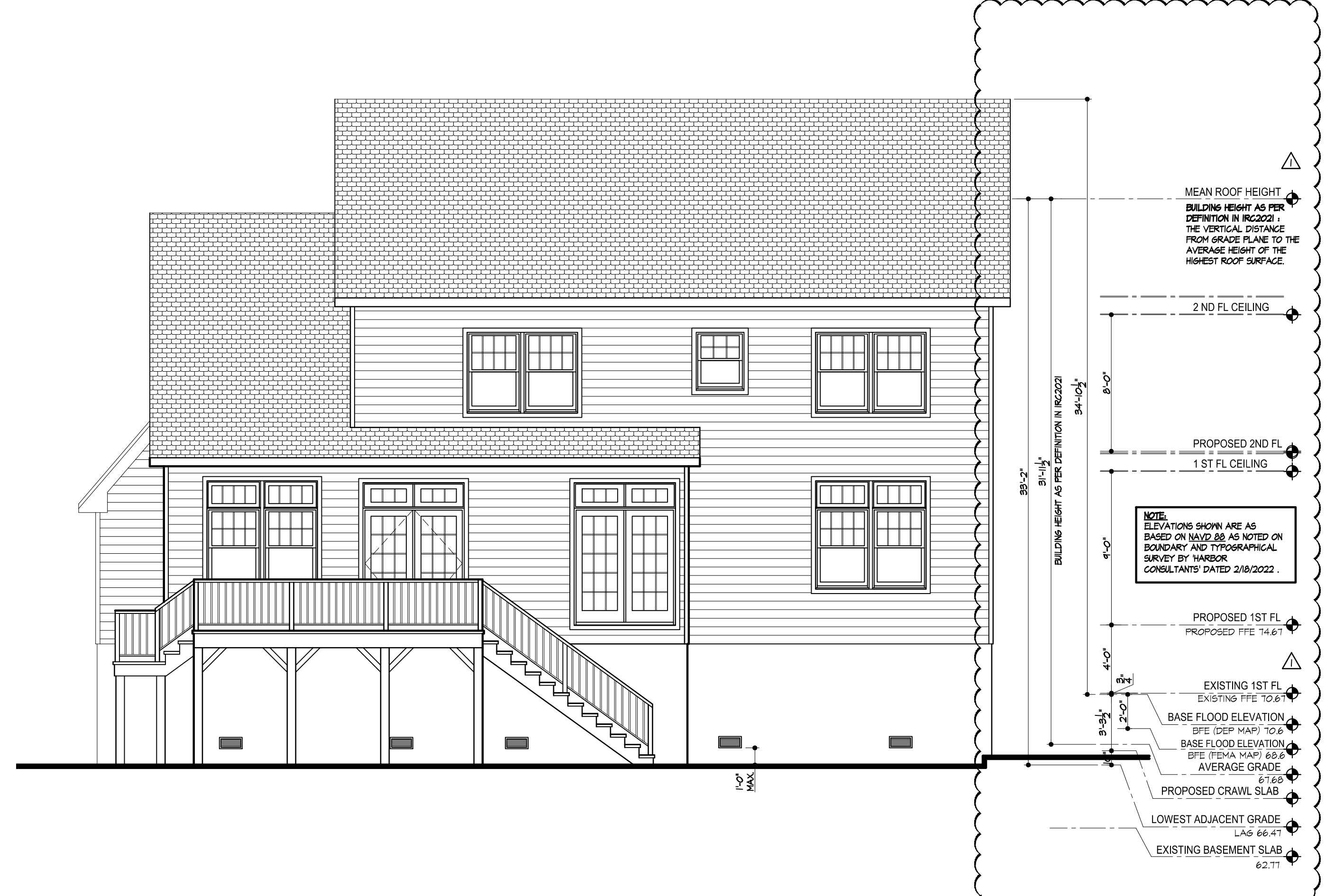
FRONT ELEVATION

SCALE: 3/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 3/8" = 1'-0"



REAR ELEVATION

SCALE: 3/8" = 1'-0"

DISCLOSURES
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REVISIONS	DATE	DESCRIPTION
1	02/08/2022	REVISION PER DRC MEETING DATED 01/8/2022

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Roselle Park, NJ 07204

ADDITIONS & ALTERATIONS
TO THE RESIDENCE OF
DAVID AND ARLENE WEICHERT
6 PARK DRIVE,
CRANFORD, NEW JERSEY