

APPLICANT & OWNER

HARTZ MOUNTAIN INDUSTRIES, INC.
400 PLAZA DRIVE
TOWN OF SECAUCUS, NEW JERSEY 07094

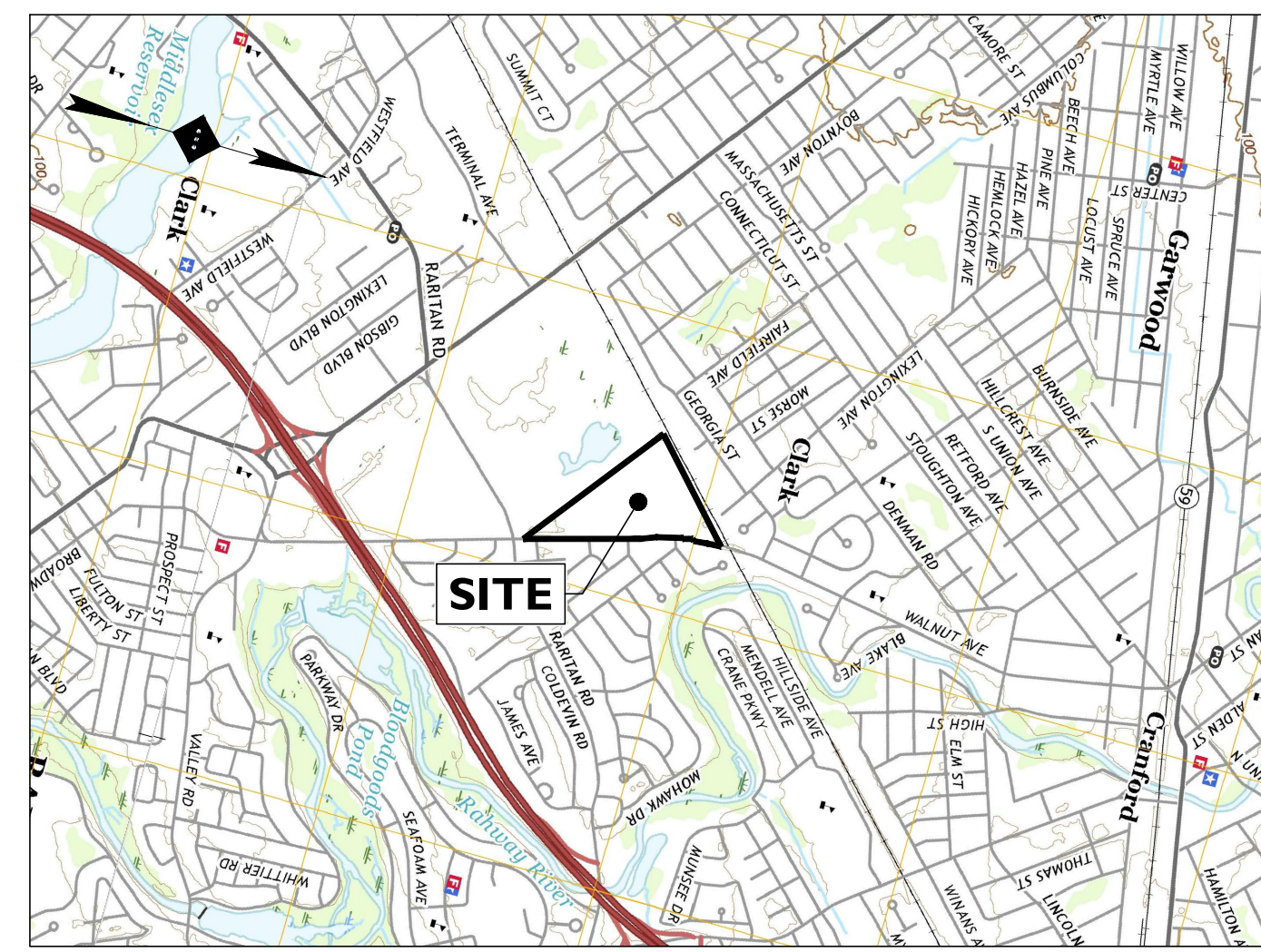
HARTZ
MOUNTAIN
INDUSTRIES
400 PLAZA DRIVE
P.O. BOX 1515
SECAUCUS, N.J. 07096-1515



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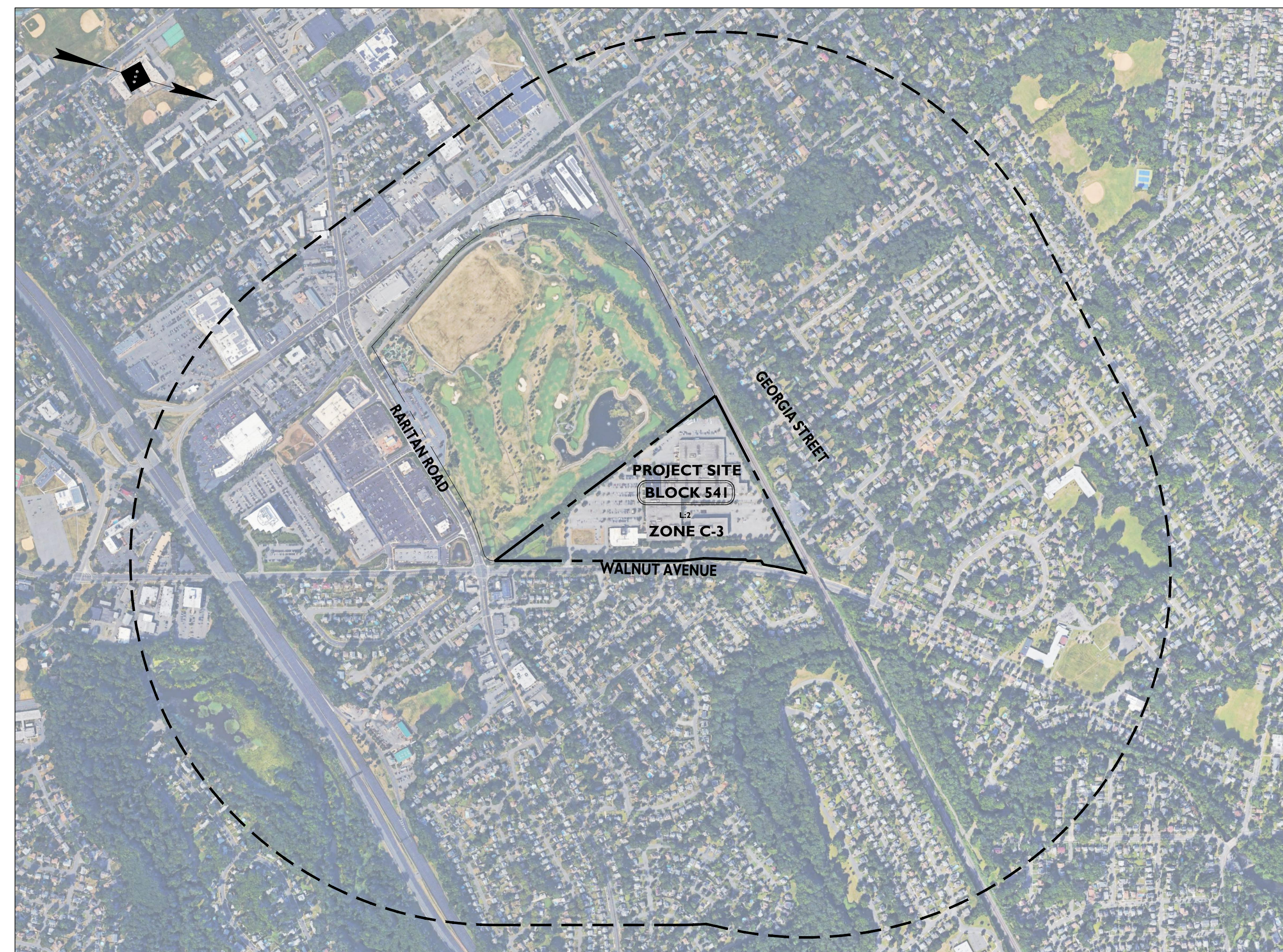
NOTES :



LOCATION MAP
SCALE: 1" = 2,000'±

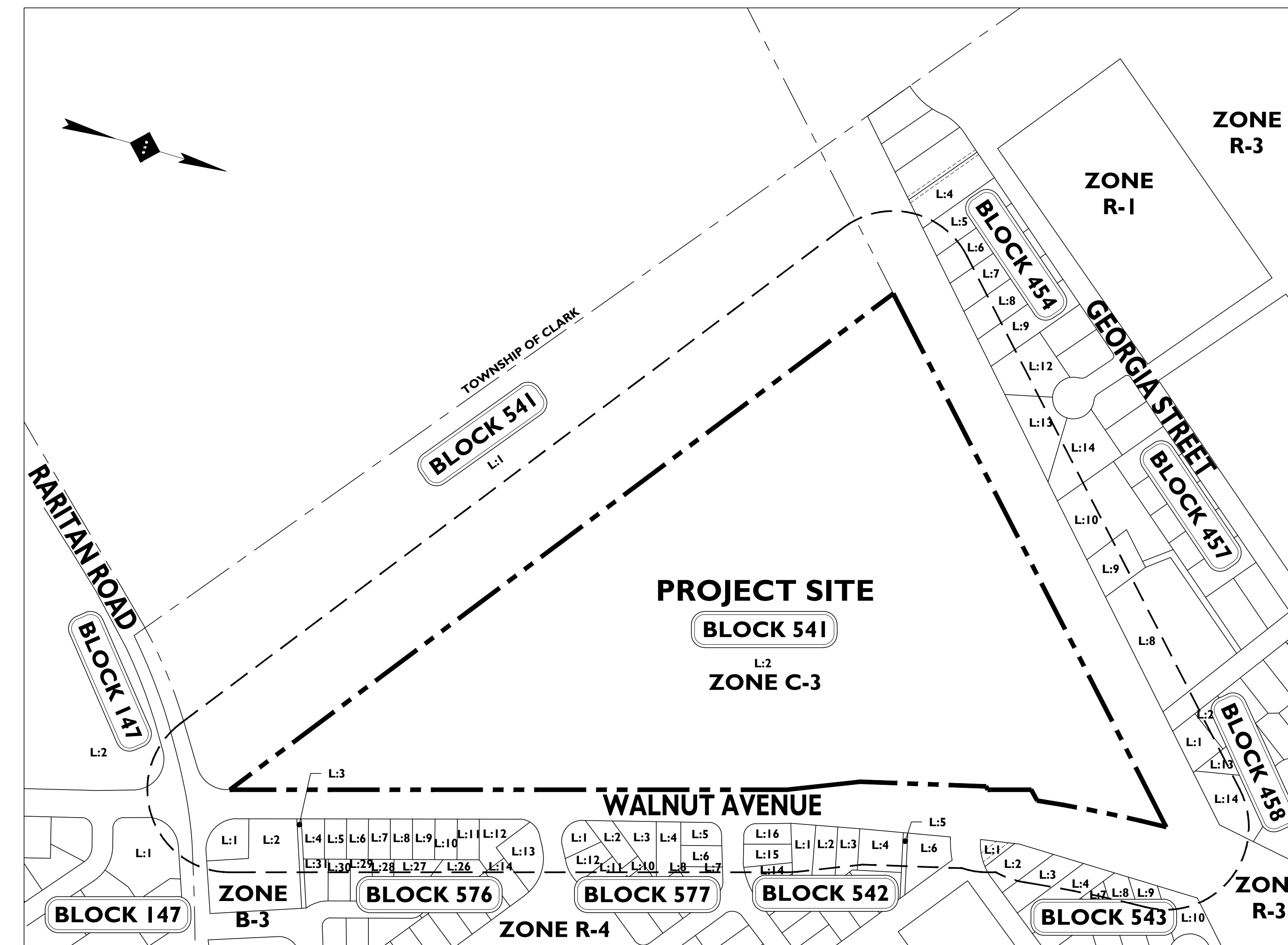
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR HARTZ MOUNTAIN INDUSTRIES, INC. CHANGE OF USE & PROPOSED SITE IMPROVEMENTS

BLOCK 541, LOT 2
750 WALNUT AVENUE
TOWNSHIP OF CRANFORD
UNION COUNTY, NEW JERSEY



SOURCE: AERIAL MAP FROM GOOGLE EARTH PRO, DATED MAY 2018.

AERIAL MAP
SCALE: 1" = 200'±



SOURCE: TOWNSHIP OF CRANFORD TAX MAP SHEETS 96, 97, 129, 133, & 142, AND TOWNSHIP OF CLARK TAX MAP SHEET 35.

KEY MAP
SCALE: 1" = 200'±

PLANS PREPARED BY:



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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHIC SURVEY, PREPARED BY CONTROL LAYOUTS, INC DATED NOVEMBER 9, 2016.
 - ARCHITECTURAL PLANS PREPARED BY H-CRANFORD CONDUIT LIMITED PARTNERSHIP DATED JANUARY 31, 2020.
 - AERIAL MAP FROM GOOGLE EARTH PRO, DATED MAY 2018.
 - LOCATION MAP OBTAINED FROM THE US DEPT. OF THE INTERIOR US GEOLOGICAL SURVEY 7.5 MINUTE SERIES ROSELLE & PERTH AMBOY QUADRANGLE 2016.
 - TOWNSHIP OF CRANFORD TAX MAP SHEETS 96, 97, 129, 133, & 142, AND TOWNSHIP OF CLARK TAX MAP SHEET 35.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
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NO.	BY	DATE	ISSUE OR REVISION
01	KG	03-30-20	SUBMISSION TO TOWNSHIP
			REVISION :

PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

COVER SHEET

DESIGNER:
ZACHARY E. CHAPLIN
012 08 4 53605

DATE : 02/25/2020

PROJECT NO. : T-16509

DRAWING BY: KG

CHK BY: ZC

DWG NO:

C-1

CADD FILE NO: 1 OF 13

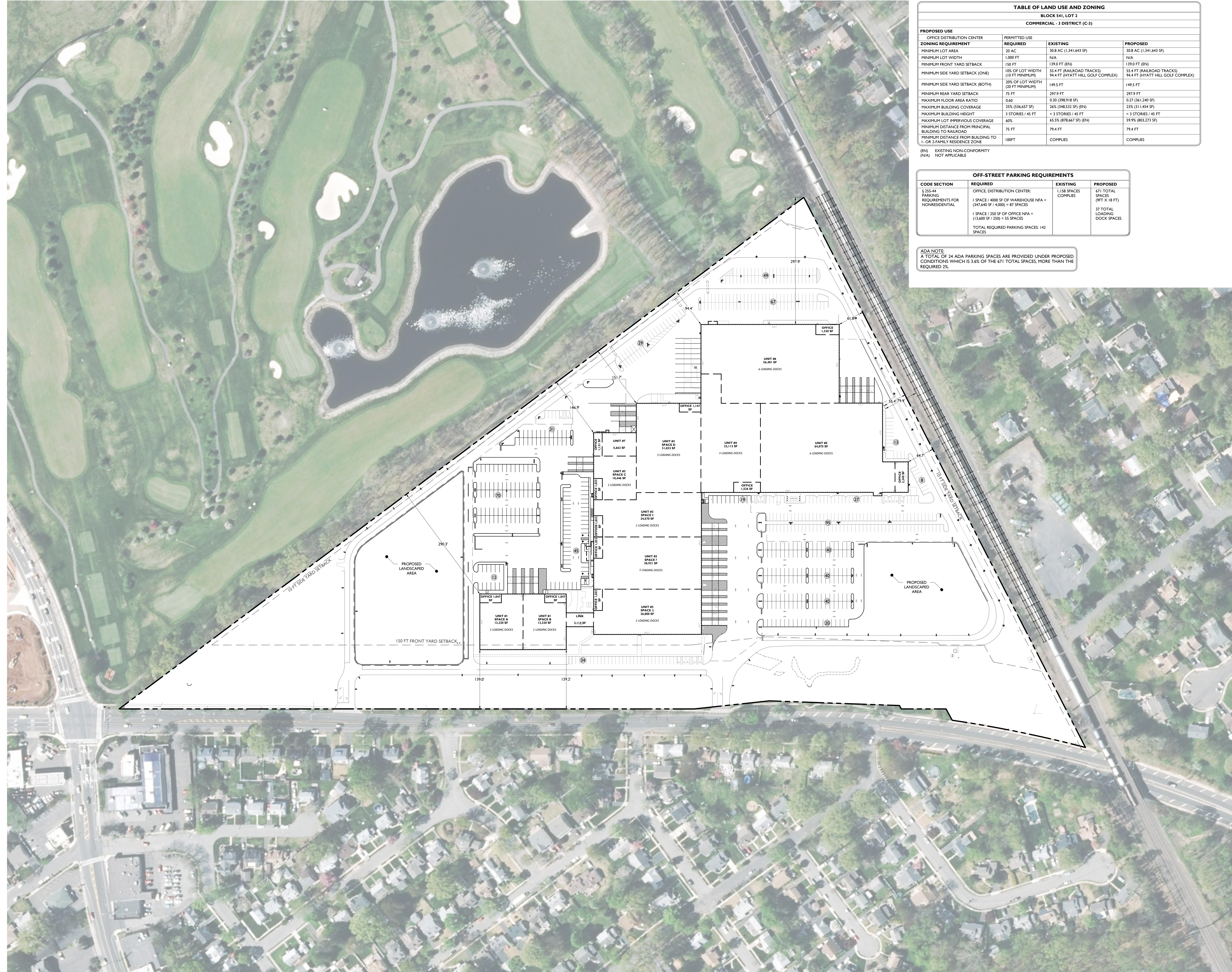


TABLE OF LAND USE AND ZONING			
BLOCK 541, LOT 2			
COMMERCIAL - 3 DISTRICT (C-3)			
PROPOSED USE	OFFICE DISTRIBUTION CENTER	PERMITTED USE	OFFICE DISTRIBUTION CENTER
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20 AC	30.8 AC (1,341,643 SF)	30.8 AC (1,341,643 SF)
MINIMUM LOT WIDTH	1,000 FT	N/A	N/A
MINIMUM FRONT YARD SETBACK	150 FT	130.0 FT (EN)	130.0 FT (EN)
MINIMUM SIDE YARD SETBACK (ONE)	10% OF LOT WIDTH (10 FT MINIMUM)	55.4 FT (RAILROAD TRACKS) 94.4 FT (WYATT HILL GOLF COMPLEX)	55.4 FT (RAILROAD TRACKS) 94.4 FT (WYATT HILL GOLF COMPLEX)
MINIMUM SIDE YARD SETBACK (BOTH)	20% OF LOT WIDTH (20 FT MINIMUM)	149.5 FT	149.5 FT
MINIMUM REAR YARD SETBACK	75 FT	297.9 FT	297.9 FT
MAXIMUM FLOOR AREA RATIO	0.60	0.30 (198,918 SF)	0.37 (161,240 SF)
MAXIMUM BUILDING COVERAGE	25% (536,657 SF)	33% (148,532 SF) (EN)	33% (148,532 SF)
MAXIMUM BUILDING HEIGHT	3 STORIES / 45 FT	< 3 STORIES / 45 FT	< 3 STORIES / 45 FT
MAXIMUM LOT IMPERVIOUS COVERAGE	60%	65.5% (878,667 SF) (EN)	59.9% (803,273 SF)
MINIMUM DISTANCE FROM PRINCIPAL BUILDING TO RAILROAD	75 FT	79.4 FT	79.4 FT
MINIMUM DISTANCE FROM BUILDING TO L-OR 2-FAMILY RESIDENCE ZONE	100 FT	COMPLIES	COMPLIES

OFF-STREET PARKING REQUIREMENTS			
CODE SECTION	REQUIRED	EXISTING	PROPOSED
§ 255-44 PARKING REQUIREMENTS FOR NONRESIDENTIAL	OFFICE DISTRIBUTION CENTER: 1 SPACE / 4000 SF OF WAREHOUSE NFA = (347,640 SF / 4,000) = 87 SPACES 1 SPACE / 250 SF OF OFFICE NFA = (13,600 SF / 250) = 55 SPACES TOTAL REQUIRED PARKING SPACES: 142 SPACES	1,118 SPACES COMPLIES	671 TOTAL SPACES (99' X 18 FT) 37 TOTAL LOADING DOCK SPACES

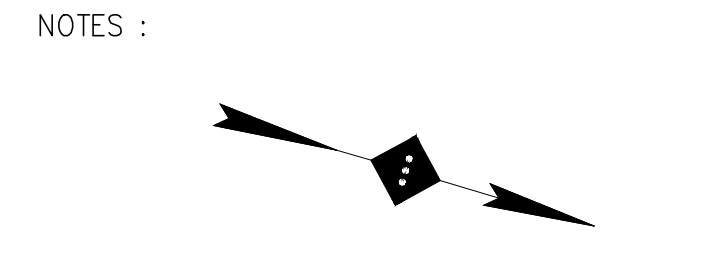
ADA NOTE:
A TOTAL OF 24 ADA PARKING SPACES ARE PROVIDED UNDER PROPOSED CONDITIONS WHICH IS 3.6% OF THE 671 TOTAL SPACES, MORE THAN THE REQUIRED 2%.

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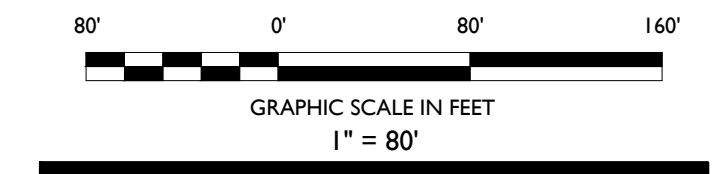


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SITE LEGEND	
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	PROPOSED CURB
---	EXISTING CURB
---	EXISTING BUILDING
---	LIMIT OF PROPOSED FULL-DEPTH ASPHALT



01	KG	03-30-20	SUBMISSION TO TOWNSHIP
NO.	BY	DATE	ISSUE OR REVISION
REVISION :			

PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :
OVERALL SITE PLAN

DESIGNER: ZACHARY E. CHAPLIN NJ REG # 53605	DATE : 02/25/2020
PROJECT NO. : T-16509	DRAWING BY: KG
CHK BY: ZC	DWG NO:
C-2	
CADD FILE NO:	2 OF 13

NOTE: ALL EXISTING LIGHT POLES TO BE REMOVED

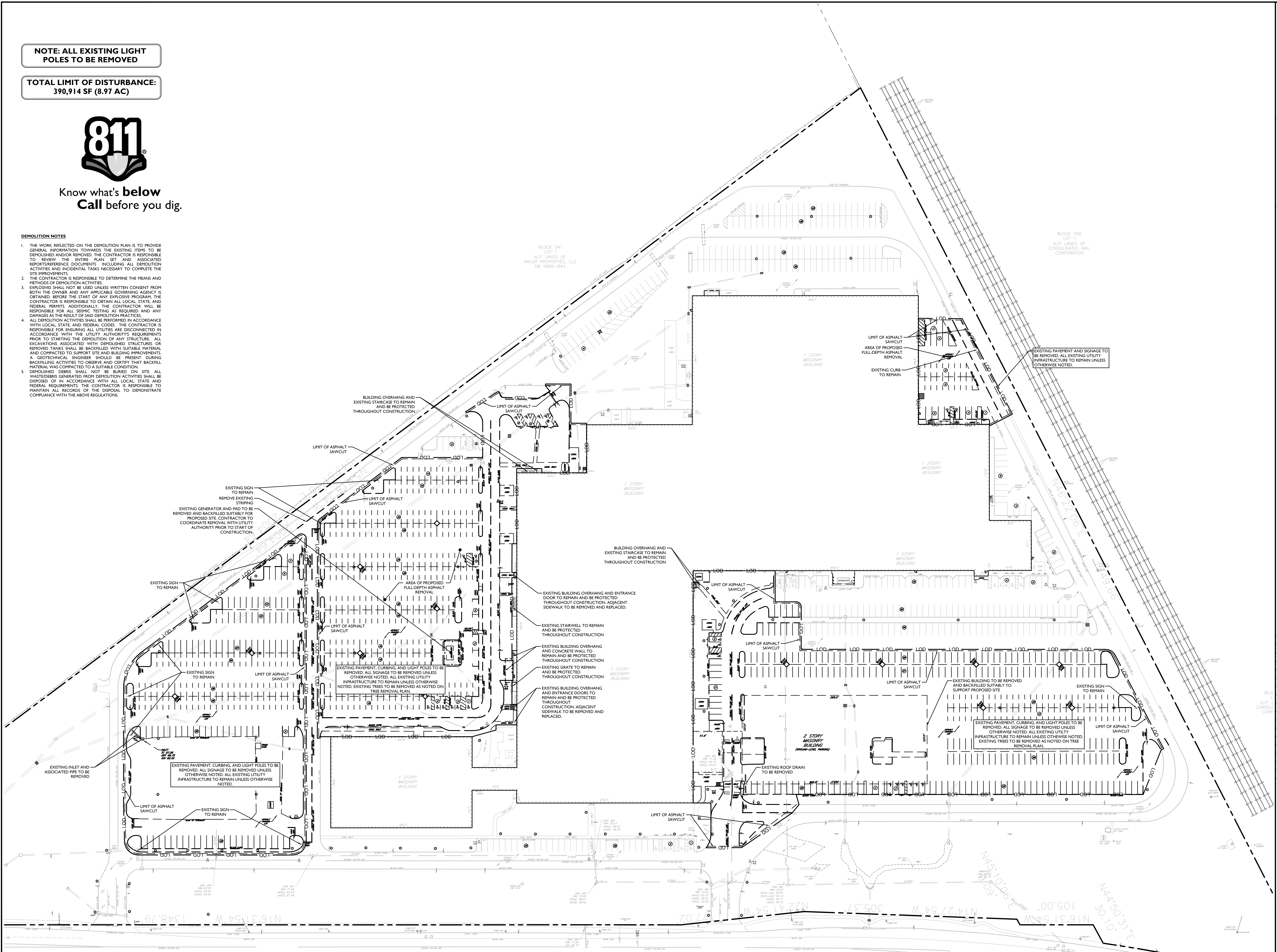
TOTAL LIMIT OF DISTURBANCE: 390,914 SF (8.97 AC)



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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES' REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



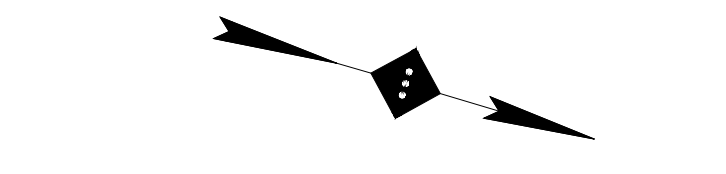
WALNUT STREET
66' R.O.W.

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66' R.O.W.

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NOTES :



SITE LEGEND
- - - - - FEATURE TO BE REMOVED / DEMOLISHED
- - - - - LIMIT OF DISTURBANCE
- - - - - ASPHALT SAWCUT

NO.	BY	DATE	ISSUE OR REVISION
01	KG	03-30-20	SUBMISSION TO TOWNSHIP
			ISSUE OR REVISION

REVISION :

PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :
DEMOLITION PLAN

DATE : 02/25/2020
PROJECT NO. : T-16509
DRAWING BY : KG
CHK BY : ZC
DWG NO. :
C-3
CADD FILE NO. : 3 OF 13

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS' FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT OBTAINING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

CONTRACTOR TO MILL AND OVERLAY WHERE CUT OR FILL IS LESS THAN 3" BUT GREATER THAN 1.5"

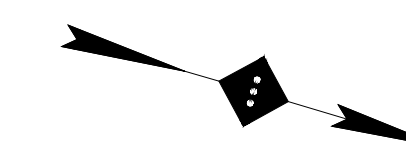
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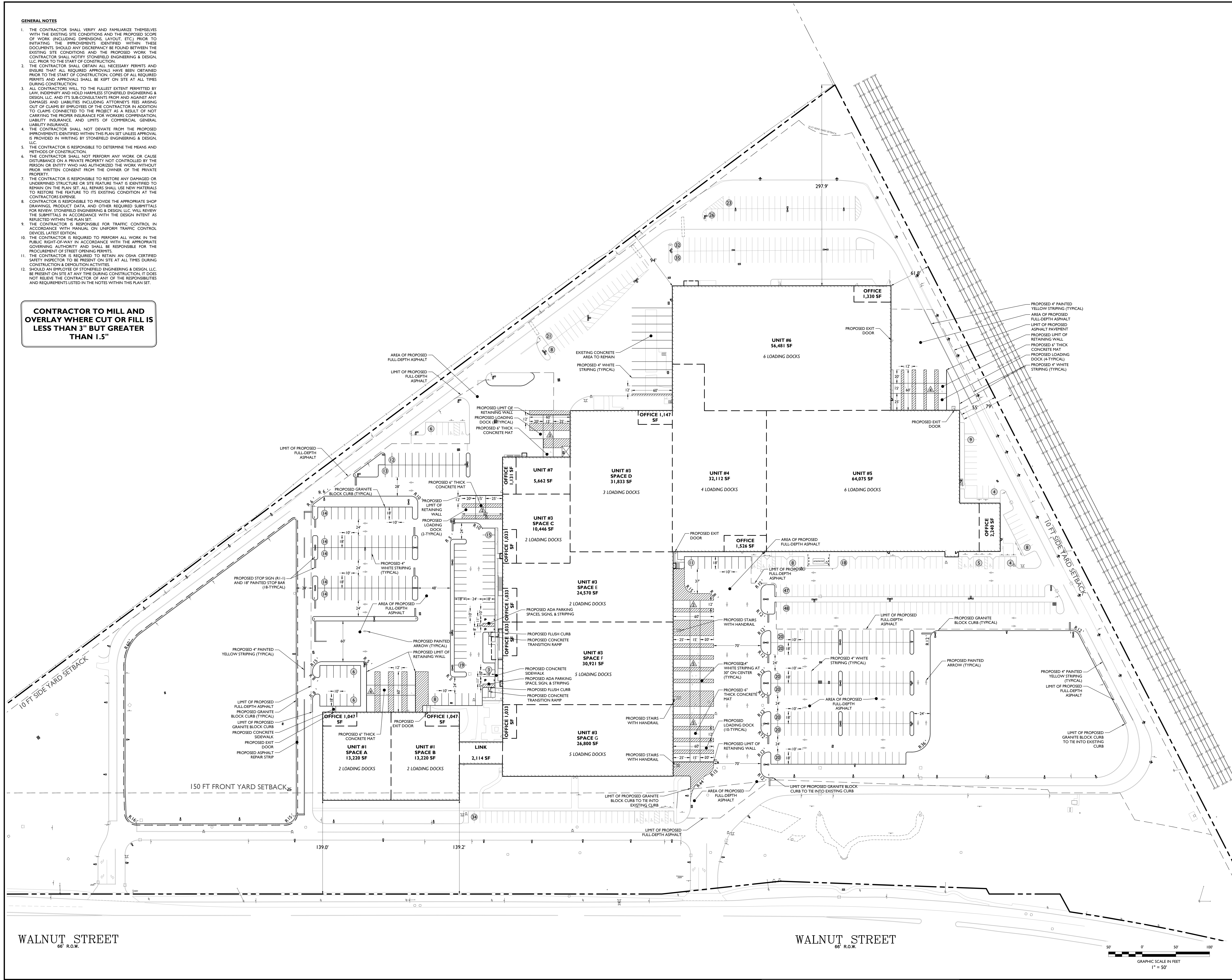
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NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- ==== PROPOSED CURB
- ===== EXISTING CURB
- ▨ PROPOSED CONCRETE PAVEMENT
- - - - - LIMIT OF PROPOSED FULL-DEPTH ASPHALT
- ▨ PROPOSED ASPHALT REPAIR STRIP
- ▨ EXISTING BUILDING



01	KG	03-30-20	SUBMISSION TO TOWNSHIP
NO.	BY	DATE	ISSUE OR REVISION

REVISION:

PROJECT:
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE:

SITE PLAN

DESIGNER:
ZACHARY E. CHAPLIN
012 08 4 53605

DATE: 02/25/2020

PROJECT NO.: T-16509

DRAWING BY: KG

CHK BY: ZC

DWG NO:

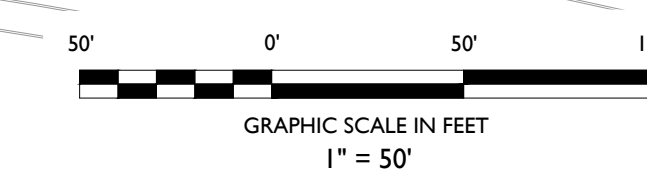
CAD FILE NO: 4

OF 13

C-4

WALNUT STREET
66' R.O.W.

WALNUT STREET
66' R.O.W.



ALL EXISTING UTILITY CONNECTIONS TO REMAIN

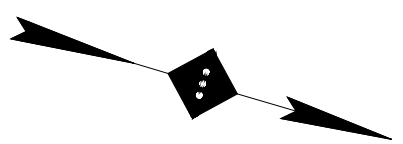
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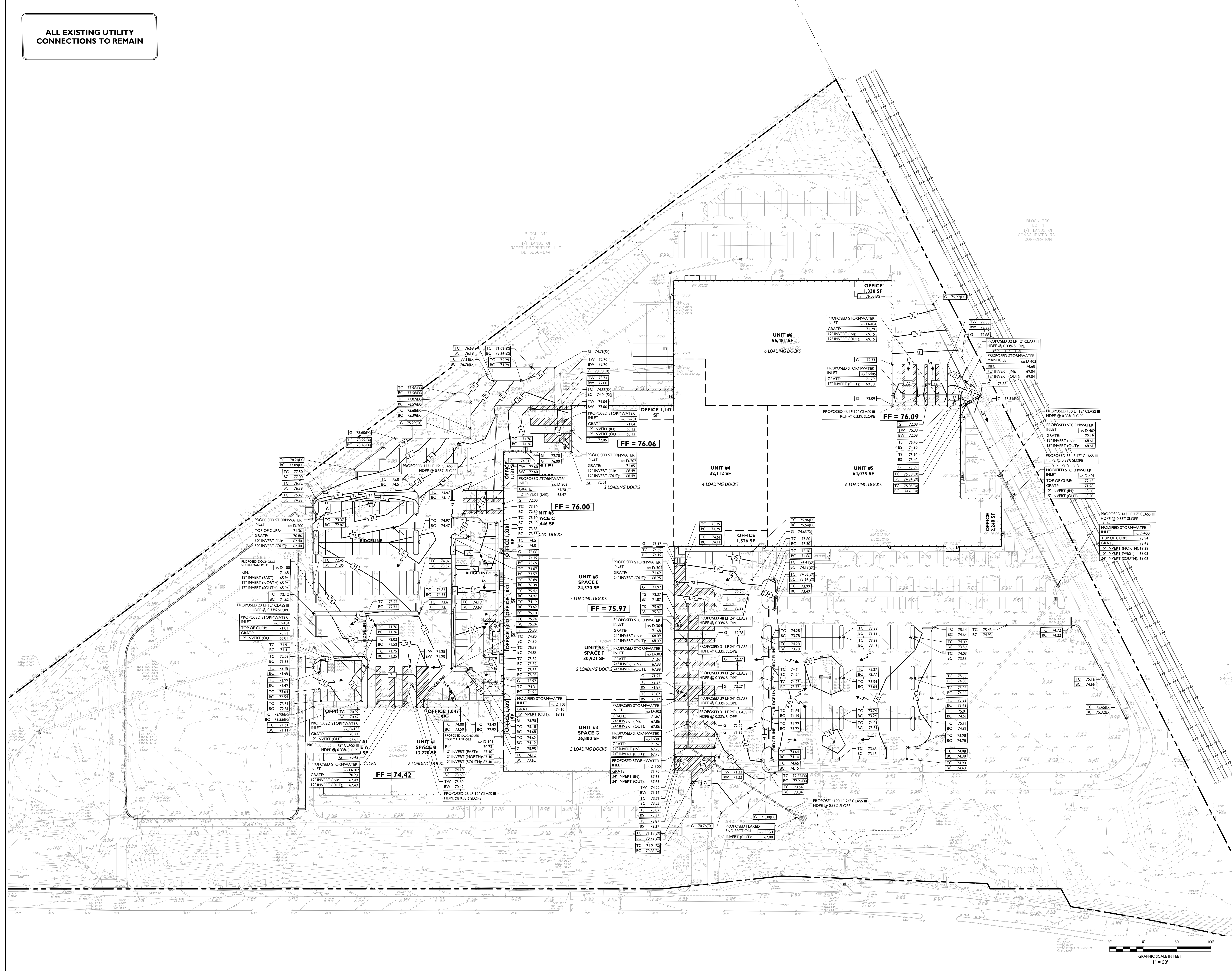
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NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- ==== PROPOSED CURB
- ===== EXISTING CURB
- EXISTING BUILDING
- CONTOUR LINE
- RIDGE LINE

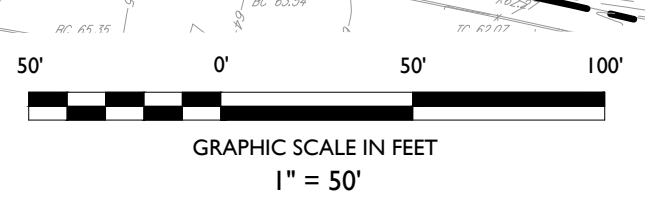


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PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :
GRADING & DRAINAGE PLAN

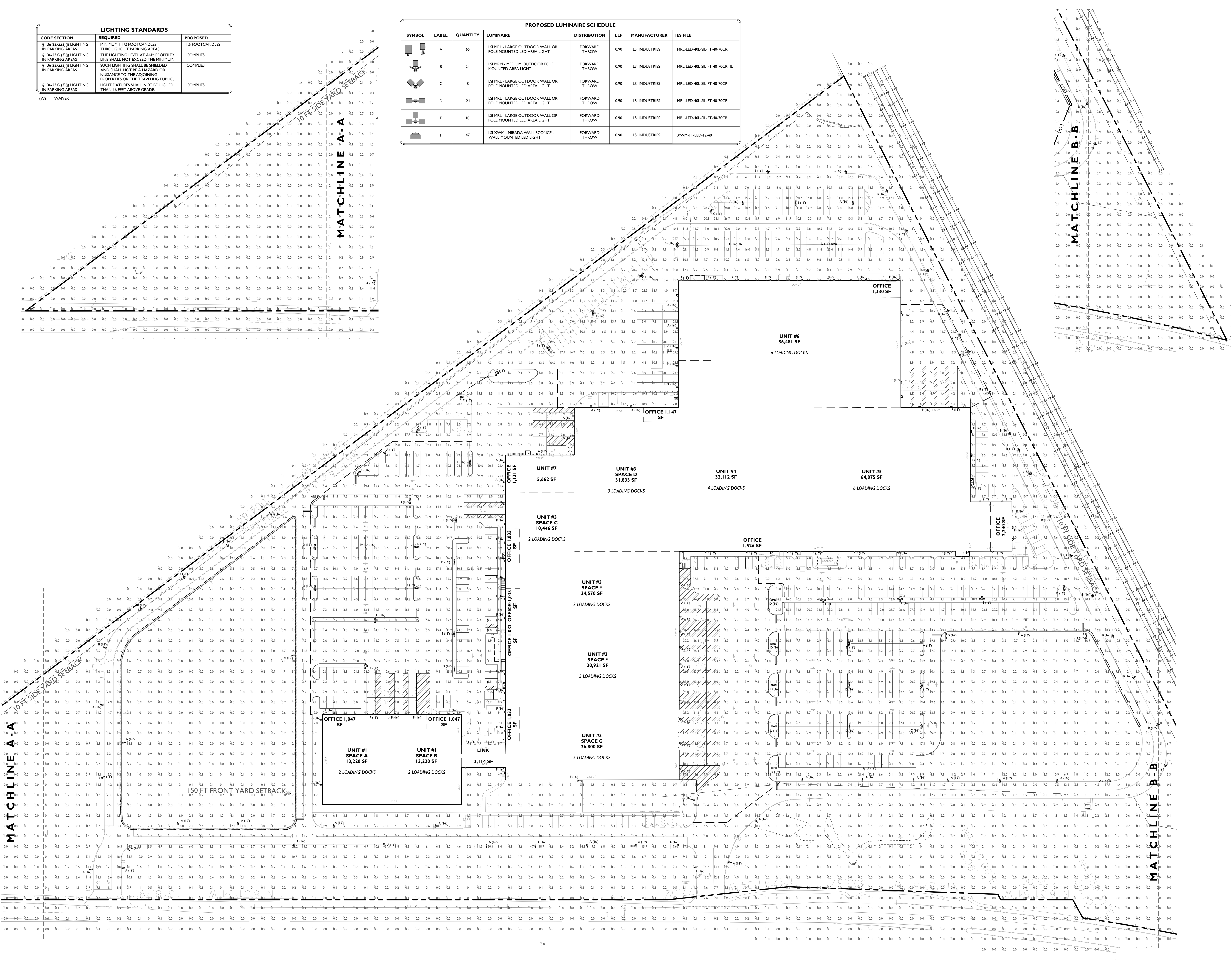
DATE : 02/25/2020
PROJECT NO. : T-16509
DRAWING BY : KG
CHK BY : ZC
DWG NO. :
C-5
CADD FILE NO. : 5
OF 13



LIGHTING STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
§ 136-23.G.(3)(i) LIGHTING IN PARKING AREAS	MINIMUM 1 1/2 FOOT CANDLES THROUGHOUT PARKING AREAS	1.5 FOOT CANDLES
§ 136-23.G.(3)(ii) LIGHTING IN PARKING AREAS	THE LIGHTING LEVEL AT ANY PROPERTY LINE SHALL NOT EXCEED THE MINIMUM SUCH LIGHTING SHALL BE SHIELDED AND SHALL NOT BE A HAZARD OR NUISANCE TO THE ADJOINING PROPERTIES OR THE TRAVELING PUBLIC.	COMPLIES
§ 136-23.G.(3)(iii) LIGHTING IN PARKING AREAS	LIGHT FIXTURES SHALL NOT BE HIGHER THAN 16 FEET ABOVE GRADE.	COMPLIES

(W) WAIVER

PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MANUFACTURER / IES FILE
	A	65	LSI MRL - LARGE OUTDOOR WALL OR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES / MRL-LED-40L-SIL-FT-40-70CRI
	B	24	LSI MRM - MEDIUM OUTDOOR POLE MOUNTED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES / MRL-LED-40L-SIL-FT-40-70CRI-L
	C	8	LSI MRL - LARGE OUTDOOR WALL OR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES / MRL-LED-40L-SIL-FT-40-70CRI
	D	21	LSI MRL - LARGE OUTDOOR WALL OR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES / MRL-LED-40L-SIL-FT-40-70CRI
	E	10	LSI MRL - LARGE OUTDOOR WALL OR POLE MOUNTED LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES / MRL-LED-40L-SIL-FT-40-70CRI
	F	47	LSI XWM - MIRADA WALL SCONCE - WALL MOUNTED LED LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES / XWM-FT-LED-12-40

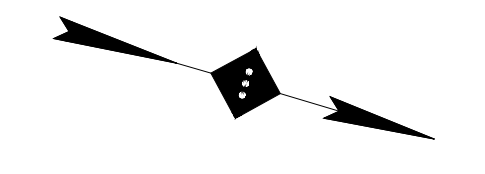


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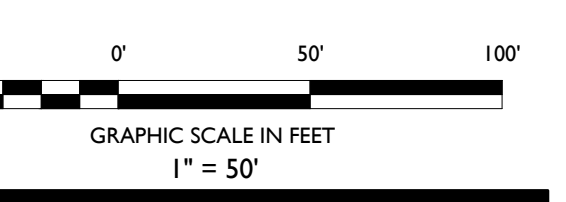


SITE LEGEND

- PROPERTY LINE
- LIMIT OF LIGHTING STUDY
- PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
- PROPOSED LIGHTING INTENSITY (FOOT CANDLES)
- PROPOSED AREA LIGHT
- PROPOSED BUILDING MOUNTED LIGHT

GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 * LIGHT EMITTING DIODES (LED): 0.90
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



DT	KG	03-30-20	SUBMISSION TO TOWNSHIP
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REVISION:			

PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

LIGHTING PLAN

DATE : 02/25/2020
PROJECT NO : T-16509

DRAWING BY : KG
CHK BY : ZC
DWN BY :

CAD FILE NO : 6 OF 13

C-6

SOIL EROSION AND SEDIMENT CONTROL NOTES

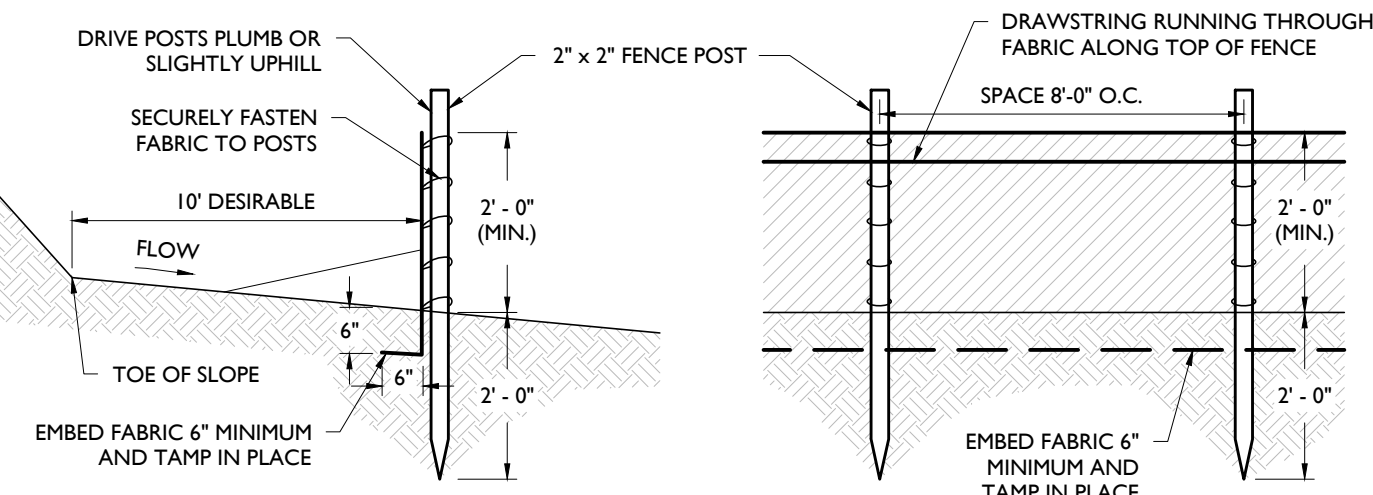
1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
4. PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (IE: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (IE: SLOPES GREATER THAN 3:1).
9. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A SIXFOOT (6') WIDE STRIP OF 1 1/2" OR 2" STONE AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SATISFACTORY ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
11. IN THAT NSA 424.39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.
19. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.

BASIN COMPACTION NOTES

1. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" INCHES WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
2. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED AND FIRMED IN ACCORDANCE WITH ABOVE.
3. IMMEDIATELY PRIOR TO TOPSOILING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" INCHES WHERE THERE HAS BEEN SOIL COMPACTION. THIS WILL HELP INSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
4. SOIL COMPACTION RESULTING FROM LAND GRADING ACTIVITIES CAN IMPACT THE INFILTRATION RATE OF THE SOIL. RESTORATION OF COMPACTED SOILS THROUGH DEEP TILLAGE (6" TO 12") AND THE ADDITION OF ORGANIC MATTER MAY BE REQUIRED IN PLANNED PERVIOUS AREAS TO ENHANCE THE INFILTRATION RATE OF THE DISTURBED SOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLE, IRRIGATION SYSTEMS, ETC.).
5. TO PREVENT COMPACTION OF THE SUBSOIL WHICH WILL REDUCE ITS INFILTRATION CAPACITY, BASINS SHOULD BE EXCAVATED WITH LIGHT EARTH MOVING EQUIPMENT, PREFERABLY WITH TRACKS OR OVER-SIZED TIRES RATHER THAN THE NORMAL RUBBER TIRES. ONCE THE FINAL CONSTRUCTION PHASE IS REACHED, THE FLOOR OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND SMOOTHED OVER WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT.

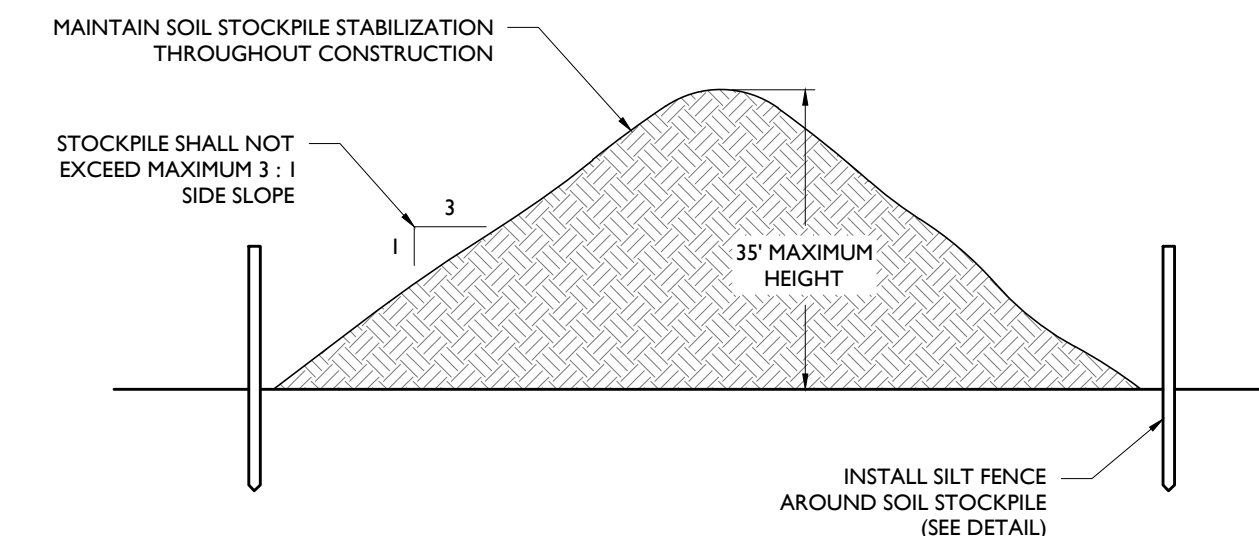
6. FOR BASIN ANNUAL TILLING OPERATIONS MAINTAIN INFILTRATION CAPACITY. THESE TILLED AREAS SHOULD BE RE-VEGETATED IMMEDIATELY TO PREVENT EROSION. DEEP TILLING CAN BE USED TO BREAKUP CLOGGED SURFACE LAYERS FOLLOWED BY REGARDING AND LEVELING SAND OR ORGANIC MATTER. CAN BE TILLED INTO THE BASIN FLOOR TO PROMOTE A RESTORED INFILTRATION CAPACITY. SEDIMENT REMOVAL PROCEDURES SHOULD NOT BE UNDERTAKEN UNTIL THE BASIN IS THOROUGHLY DRY. THE TOP LAYER SHOULD BE REMOVED BY LIGHT EQUIPMENT TO PREVENT COMPACTION. THE REMAINING SOIL CAN BE RETILED AND DISTURBED VEGETATION REPLANTED.



- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

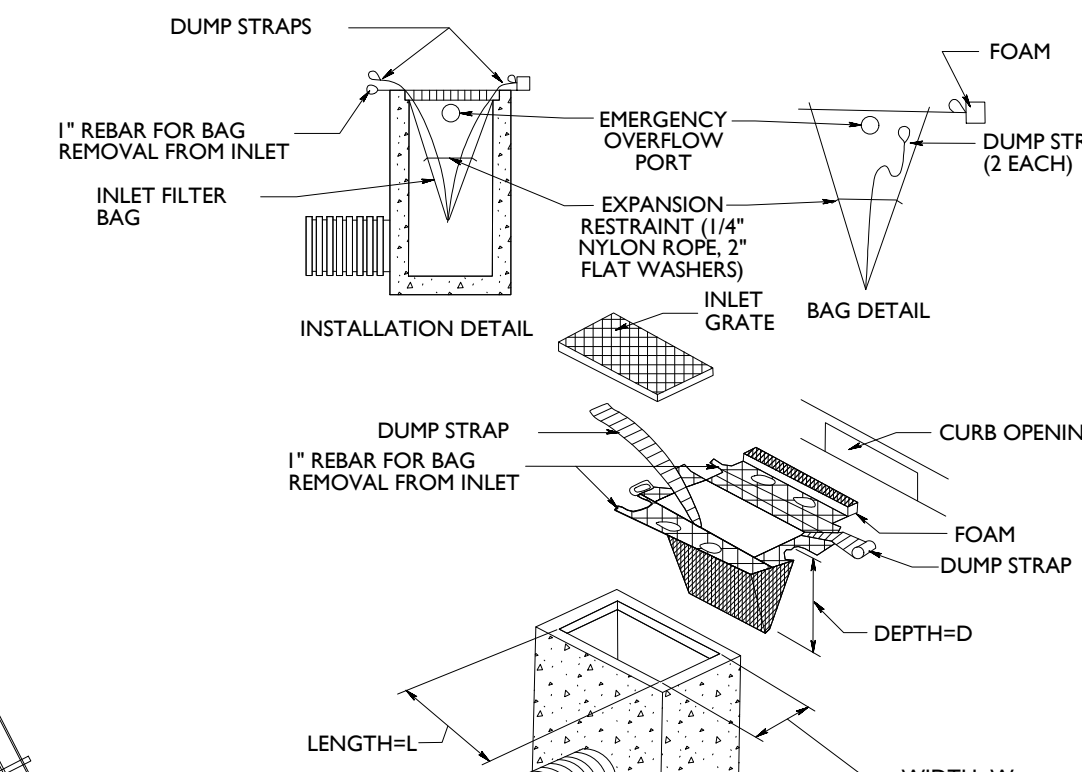
NOT TO SCALE



- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

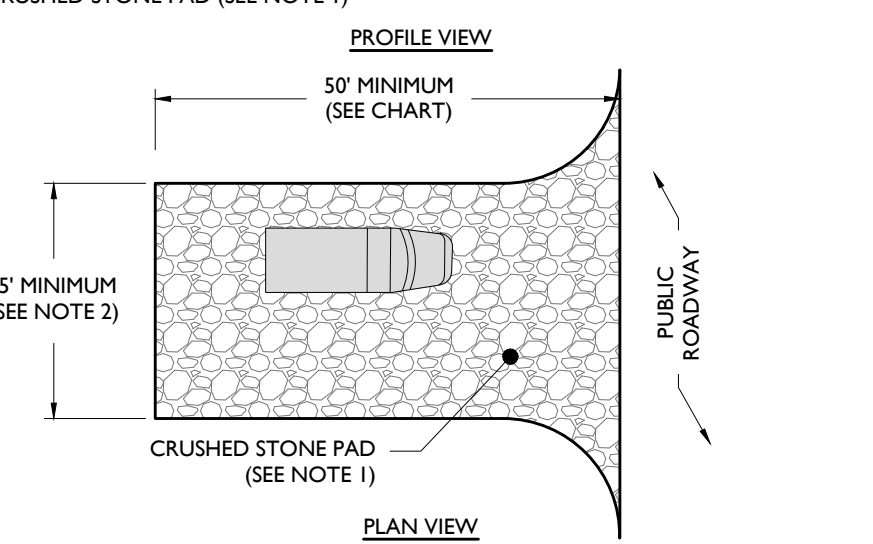
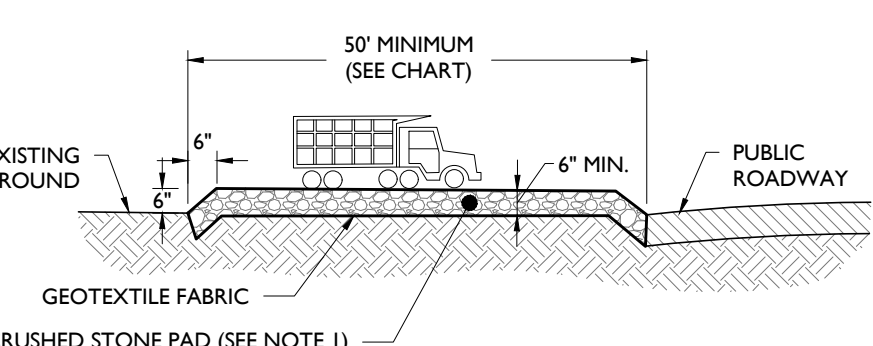
SOIL STOCKPILE DETAIL

NOT TO SCALE



INLET FILTER BAG DETAIL

- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
 2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.



STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

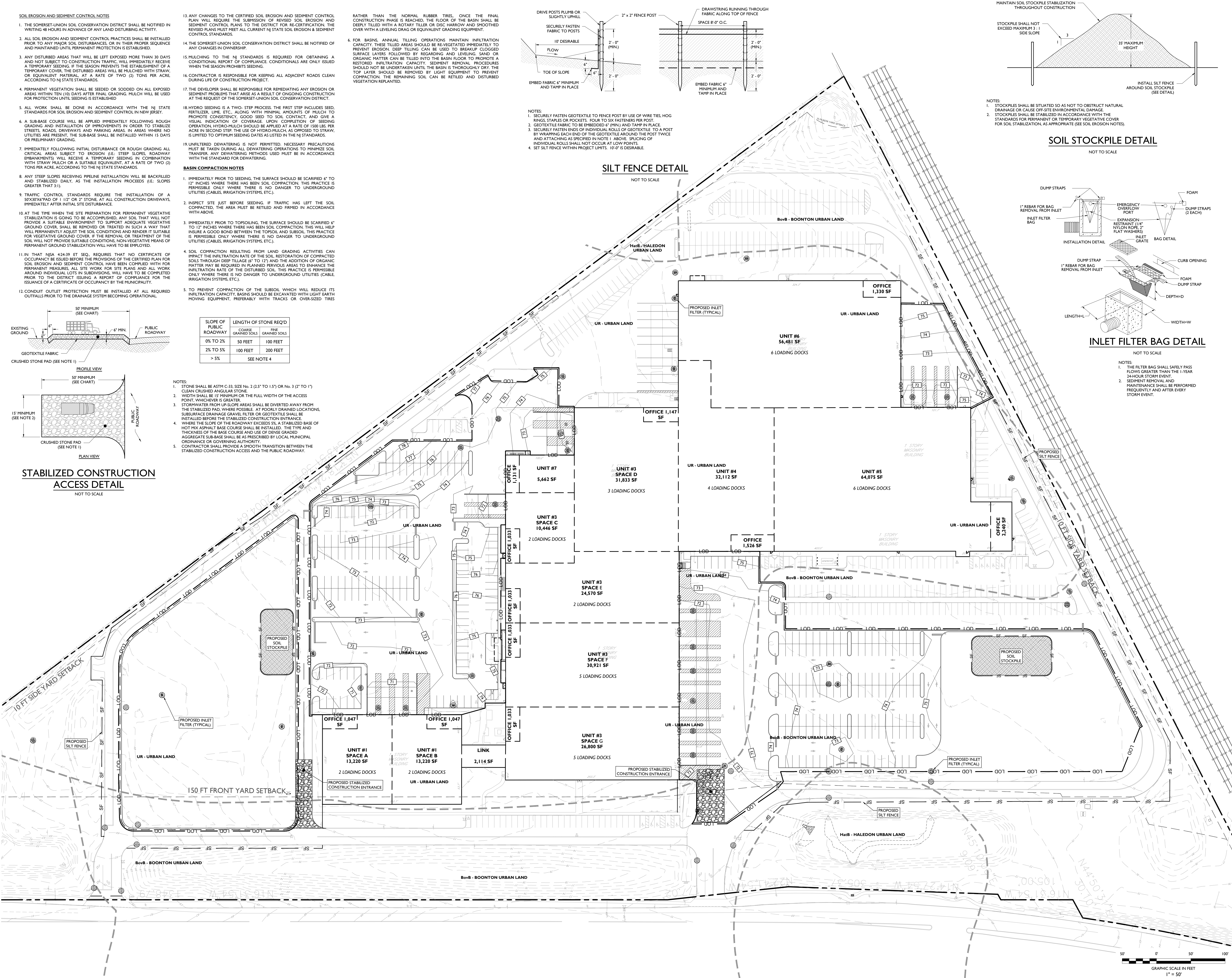
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D
0% TO 2%	50 FEET
2% TO 5%	100 FEET
> 5%	200 FEET

COARSE GRAINED SOILS
FINE GRAINED SOILS

SEE NOTE 4

NOTES:

1. STONE SHALL BE ASTM C-33, SIZE No. 2 (3/4" TO 1 1/2") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15" MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POOLY DRAINAGE LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADE AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

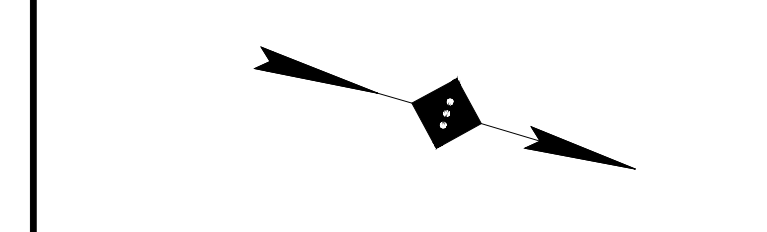


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NOTES:

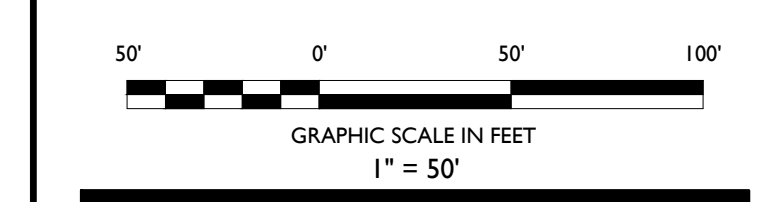


SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- PROPOSED CURB
- EXISTING CURB
- EXISTING BUILDING
- PROPOSED BUILDING
- LOD --- PROPOSED LIMIT OF DISTURBANCE
- SF --- PROPOSED SILT FENCE
- PROPOSED SOIL PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



01 KG 03-30-20 SUBMISSION TO TOWNSHIP
NO. BY DATE ISSUE OR REVISION

REVISION:

PROJECT: **PROPOSED REDEVELOPMENT**
750 WALNUT AVENUE
CRANFORD, N.J.

SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE: 02/25/2020
PROJECT NO.: T-16509
DRAWING BY: KG
CHK BY: ZC
DWG NO.:
C-7
CADD FILE NO.: 7 OF 13

TOTAL TRACT AREA
1,327,759 SF (30.48 AC)
TOTAL WOODED AREA ALONG WALNUT AVENUE
109,377 SF (2.51 AC)
WOODED ACRE SAMPLE PLOT
WOODED AREA SAMPLE: 11,700 SF (0.27 AC)
MULTIPLICATION FACTOR: 2.51 AC / 0.27 AC = 9.3

TREE REPLACEMENT CALCULATIONS

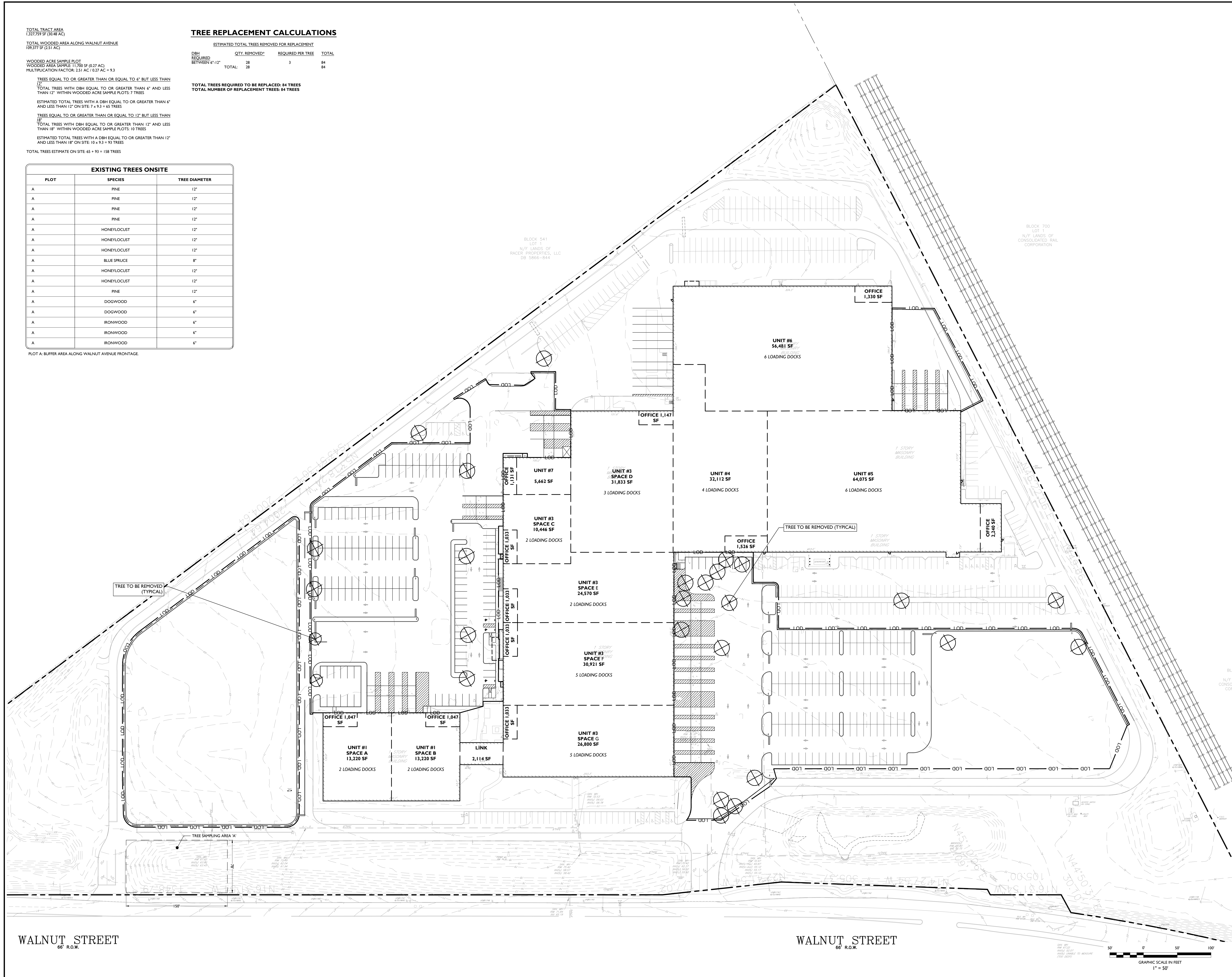
DBH REQUIRED BETWEEN 6"-12"	QTY. REMOVED*	REQUIRED PER TREE	TOTAL
	28	3	84
TOTAL:	28		84

TOTAL TREES REQUIRED TO BE REPLACED: 84 TREES
TOTAL NUMBER OF REPLACEMENT TREES: 84 TREES

TREES EQUAL TO OR GREATER THAN OR EQUAL TO 6" BUT LESS THAN 12"
TOTAL TREES WITH DBH EQUAL TO OR GREATER THAN 6" AND LESS THAN 12" WITHIN WOODED ACRE SAMPLE PLOTS: 7 TREES
ESTIMATED TOTAL TREES WITH A DBH EQUAL TO OR GREATER THAN 6" AND LESS THAN 12" ON SITE: 7 x 9.3 = 65 TREES
TREES EQUAL TO OR GREATER THAN OR EQUAL TO 12" BUT LESS THAN 18"
TOTAL TREES WITH DBH EQUAL TO OR GREATER THAN 12" AND LESS THAN 18" WITHIN WOODED ACRE SAMPLE PLOTS: 10 TREES
ESTIMATED TOTAL TREES WITH A DBH EQUAL TO OR GREATER THAN 12" AND LESS THAN 18" ON SITE: 10 x 9.3 = 93 TREES
TOTAL TREES ESTIMATE ON SITE: 65 + 93 = 158 TREES

PLOT	SPECIES	TREE DIAMETER
A	PINE	12"
A	PINE	12"
A	PINE	12"
A	PINE	12"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	BLUE SPRUCE	8"
A	HONEYLOCUST	12"
A	HONEYLOCUST	12"
A	PINE	12"
A	DOGWOOD	6"
A	DOGWOOD	6"
A	IRONWOOD	6"
A	IRONWOOD	6"
A	IRONWOOD	6"

PLOT A: BUFFER AREA ALONG WALNUT AVENUE FRONTAGE



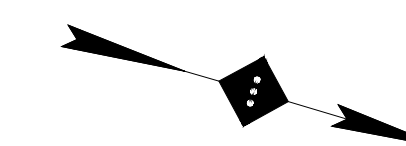
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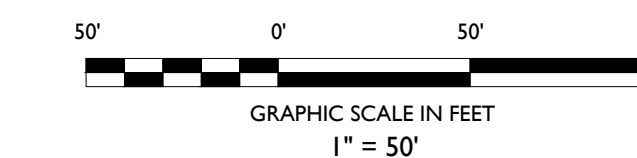
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NOTES :



LANDSCAPING LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY



NO.	BY	DATE	ISSUE OR REVISION
01	KG	03-30-20	SUBMISSION TO TOWNSHIP
			REVISION :

PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

TREE REPLACEMENT PLAN

ENGINEER:
ZACHARY E. CHAPLIN
NJ PE # 53605

DATE : 02/25/2020

PROJECT NO. : T-16509

DRAWING BY : KG

CHK BY : ZC

DWG NO. :

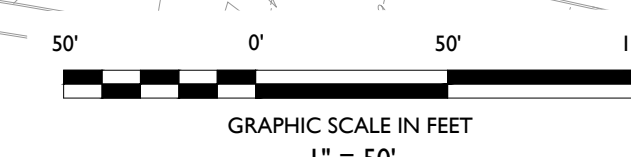
C-10

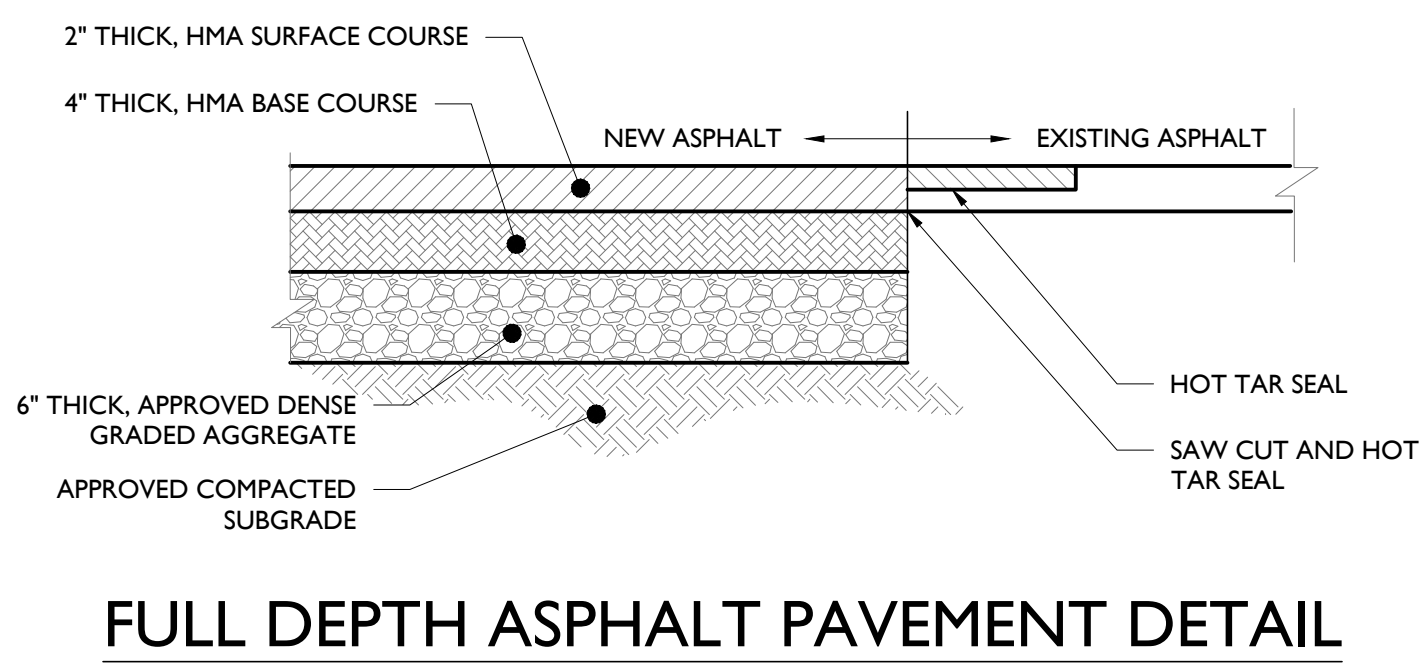
CADD FILE NO. :

10 OF 13

WALNUT STREET
66' R.O.W.

WALNUT STREET
66' R.O.W.

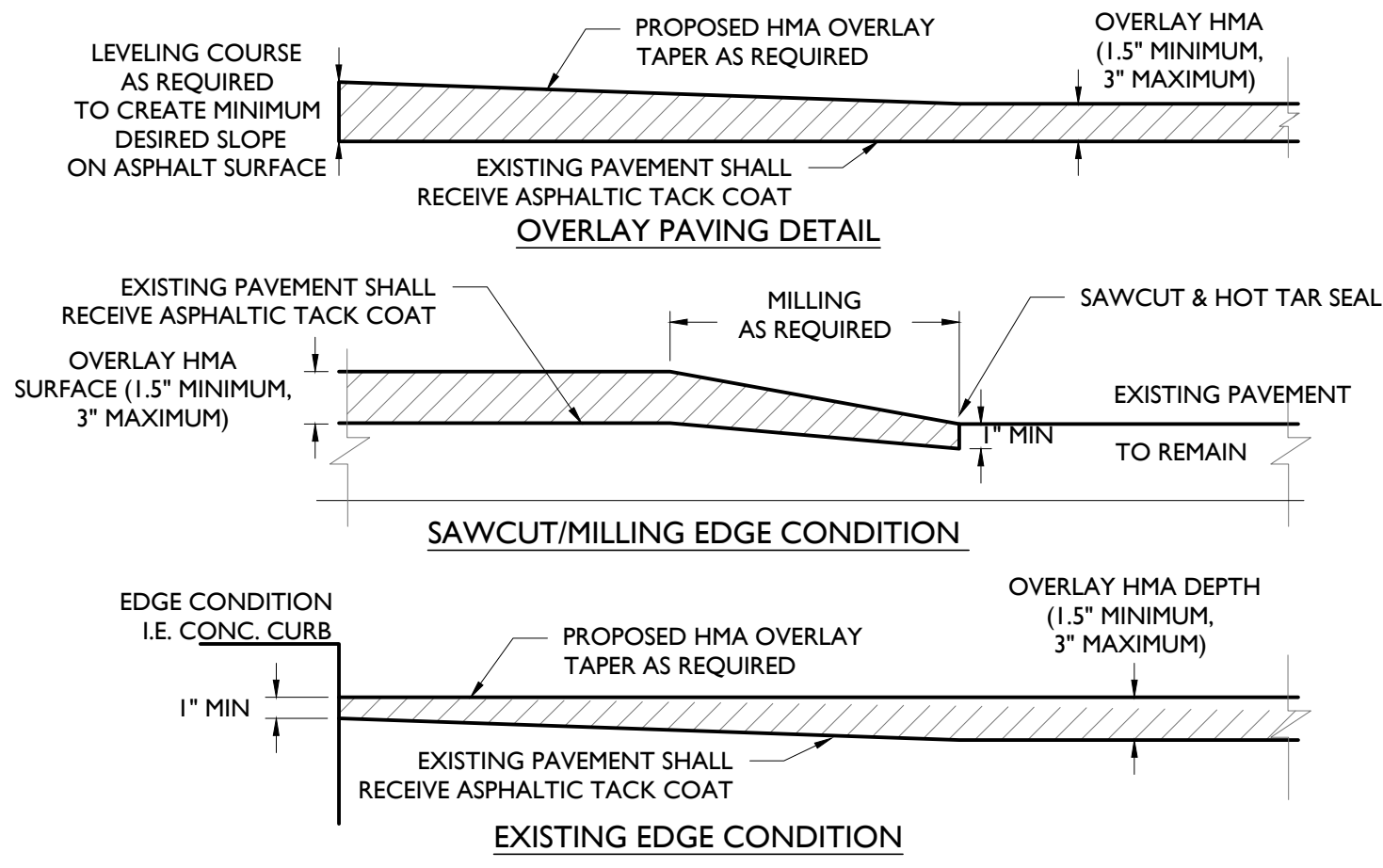




NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

NOT TO SCALE

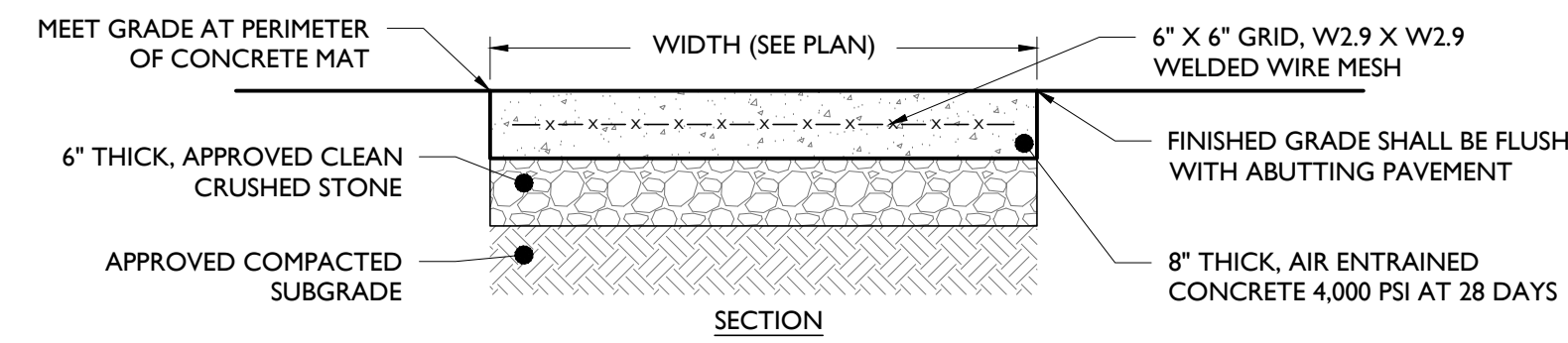
1



PAVEMENT MILLING & OVERLAY DETAIL

NOT TO SCALE

2

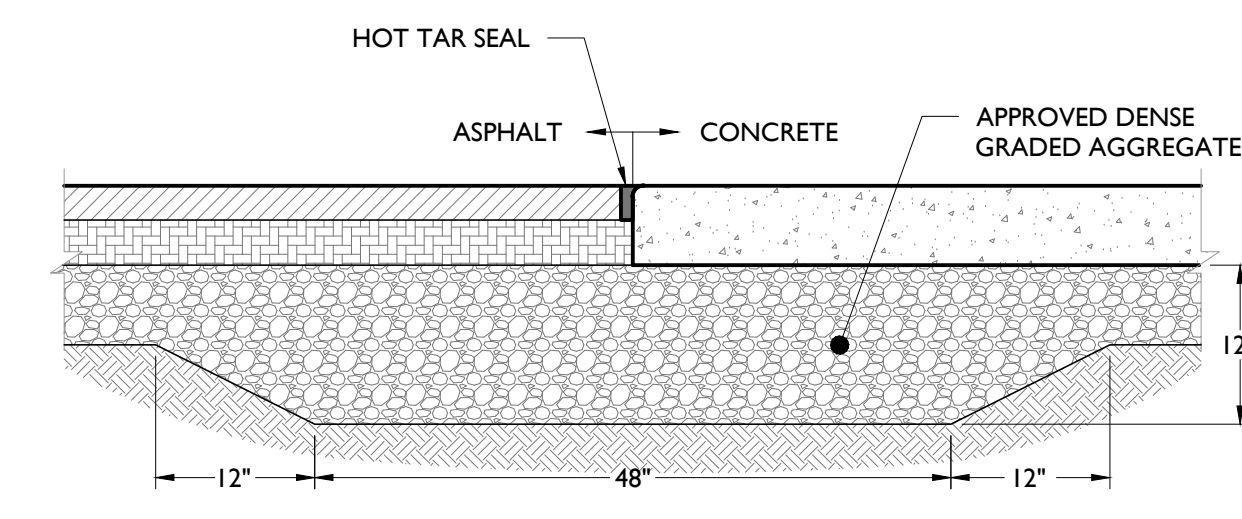


REINFORCED 8\"/>

NOT TO SCALE

NOTES:
1. 1/2\"/>

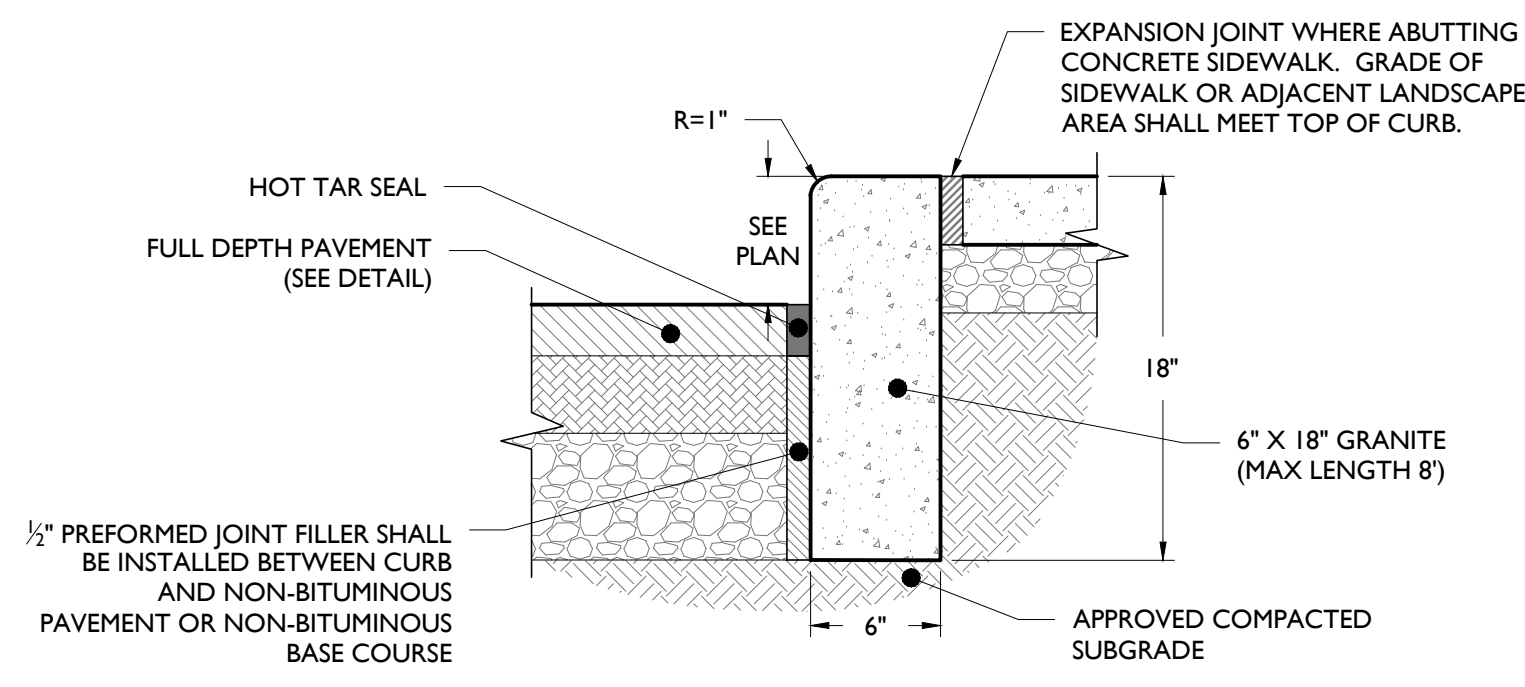
3



CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

4

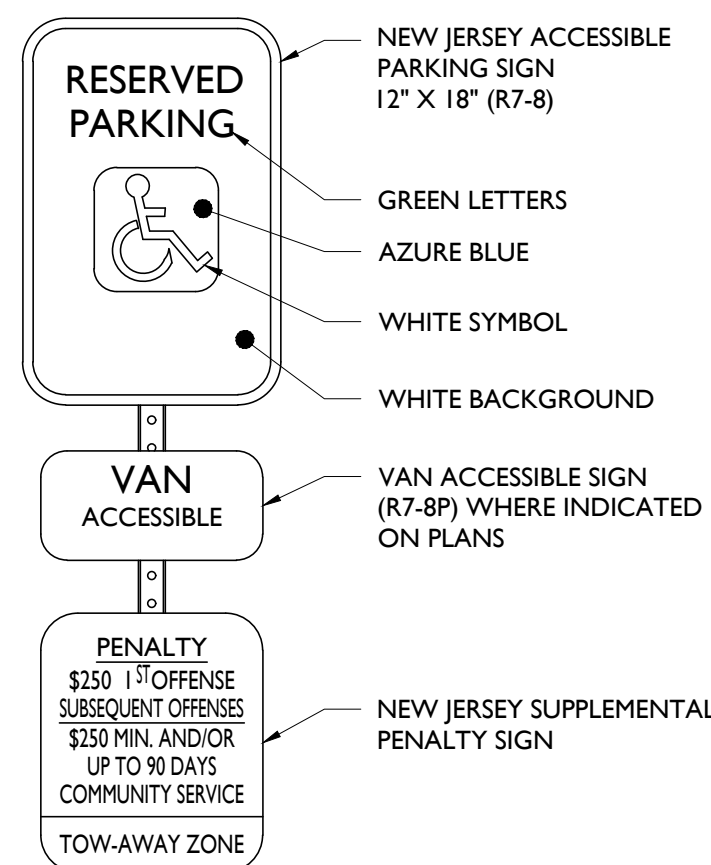


GRANITE BLOCK CURB DETAIL

NOT TO SCALE

NOTES:
1. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED BETWEEN EACH BLOCK WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2\"/>

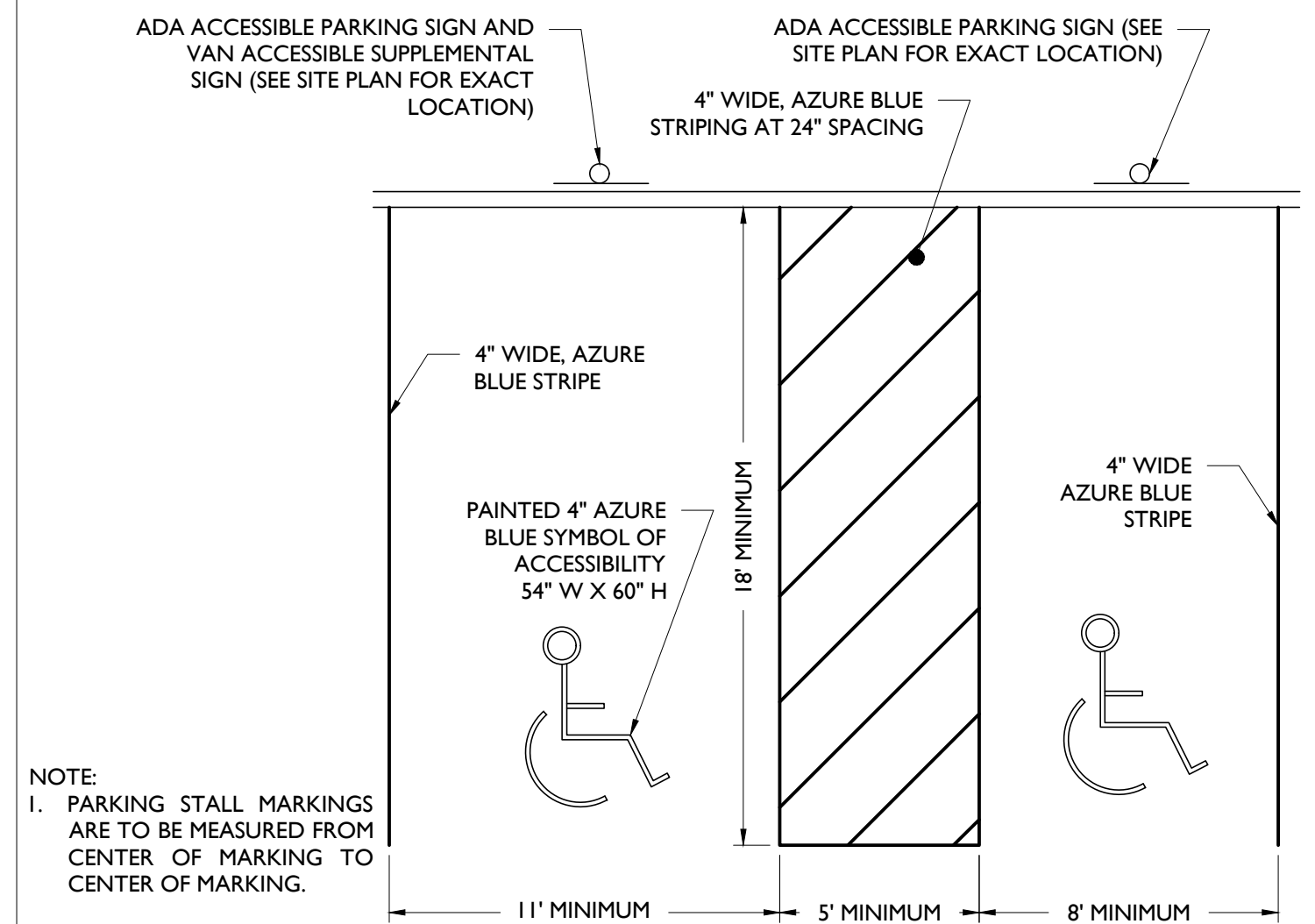
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ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

7

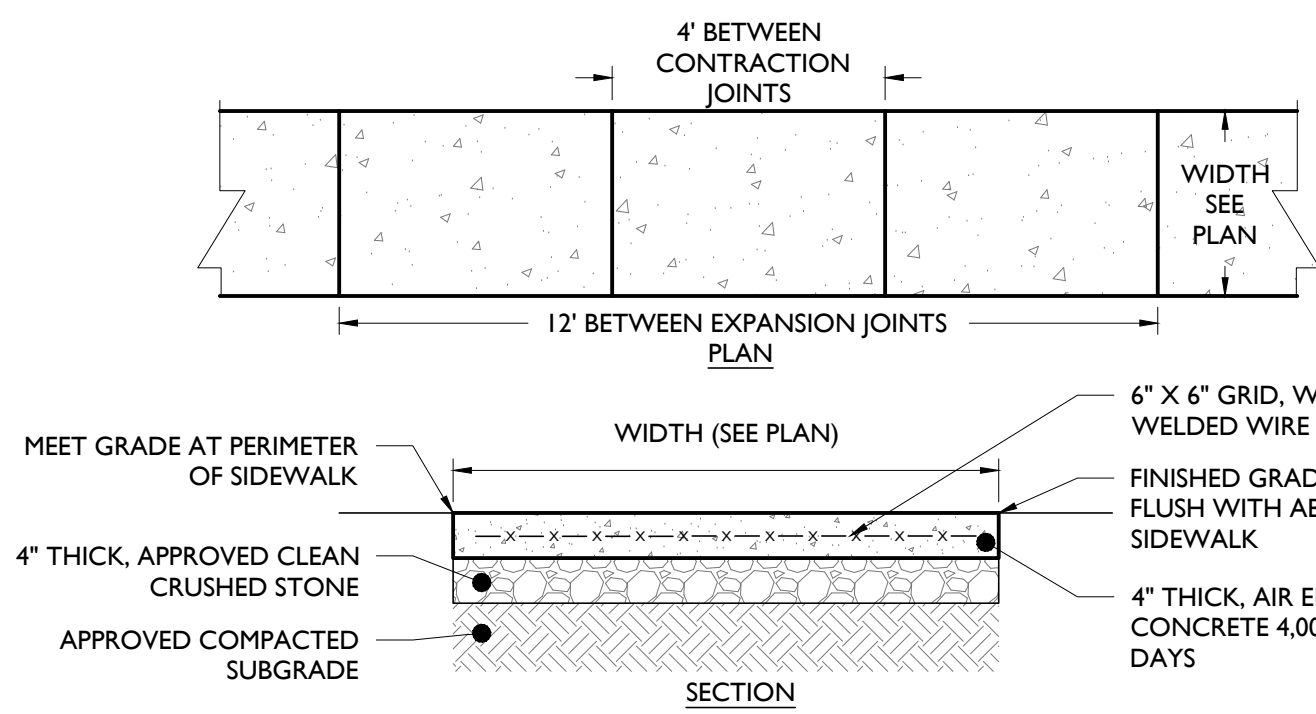


ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

8

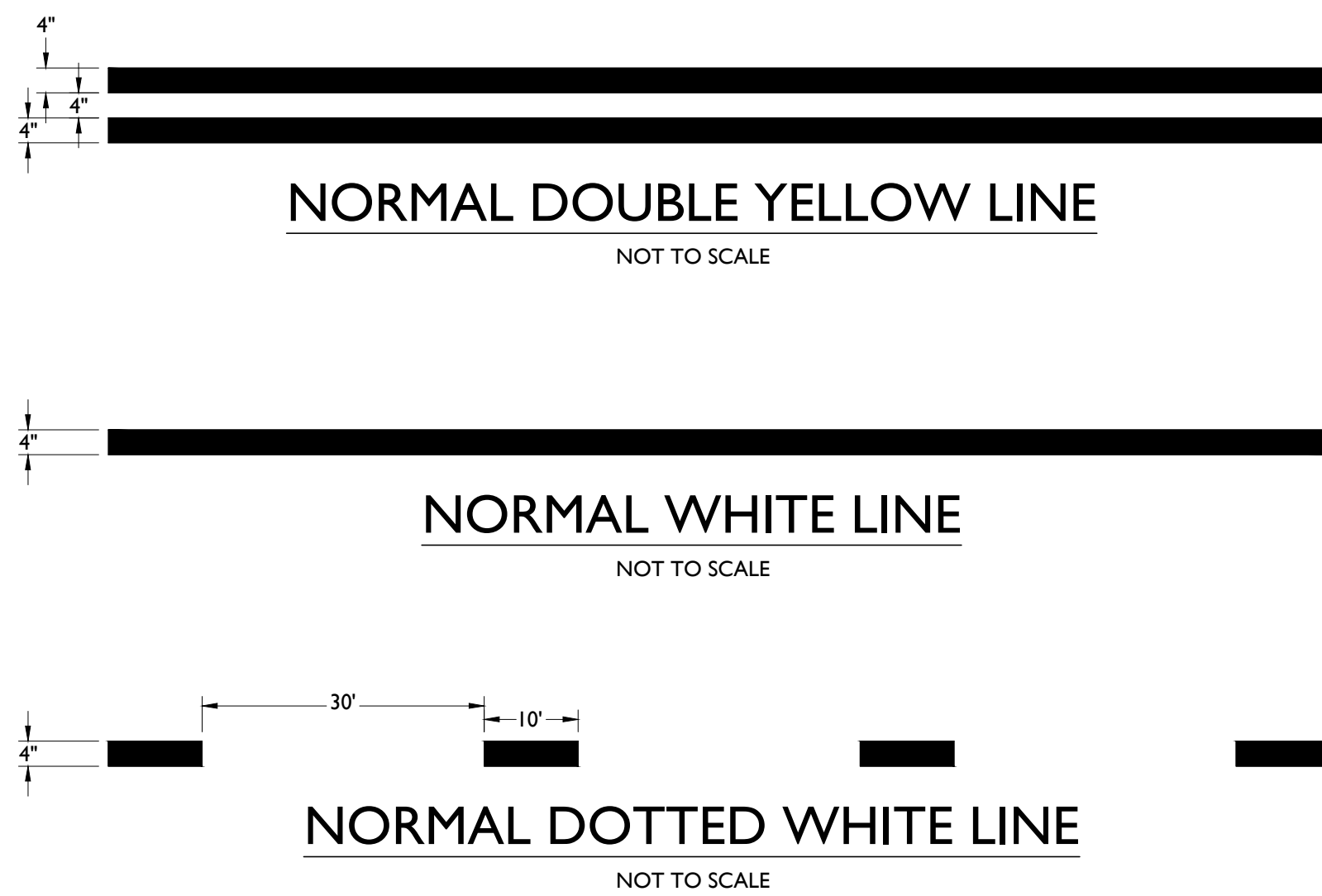


REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4\"/>

6



NORMAL DOUBLE YELLOW LINE

NOT TO SCALE

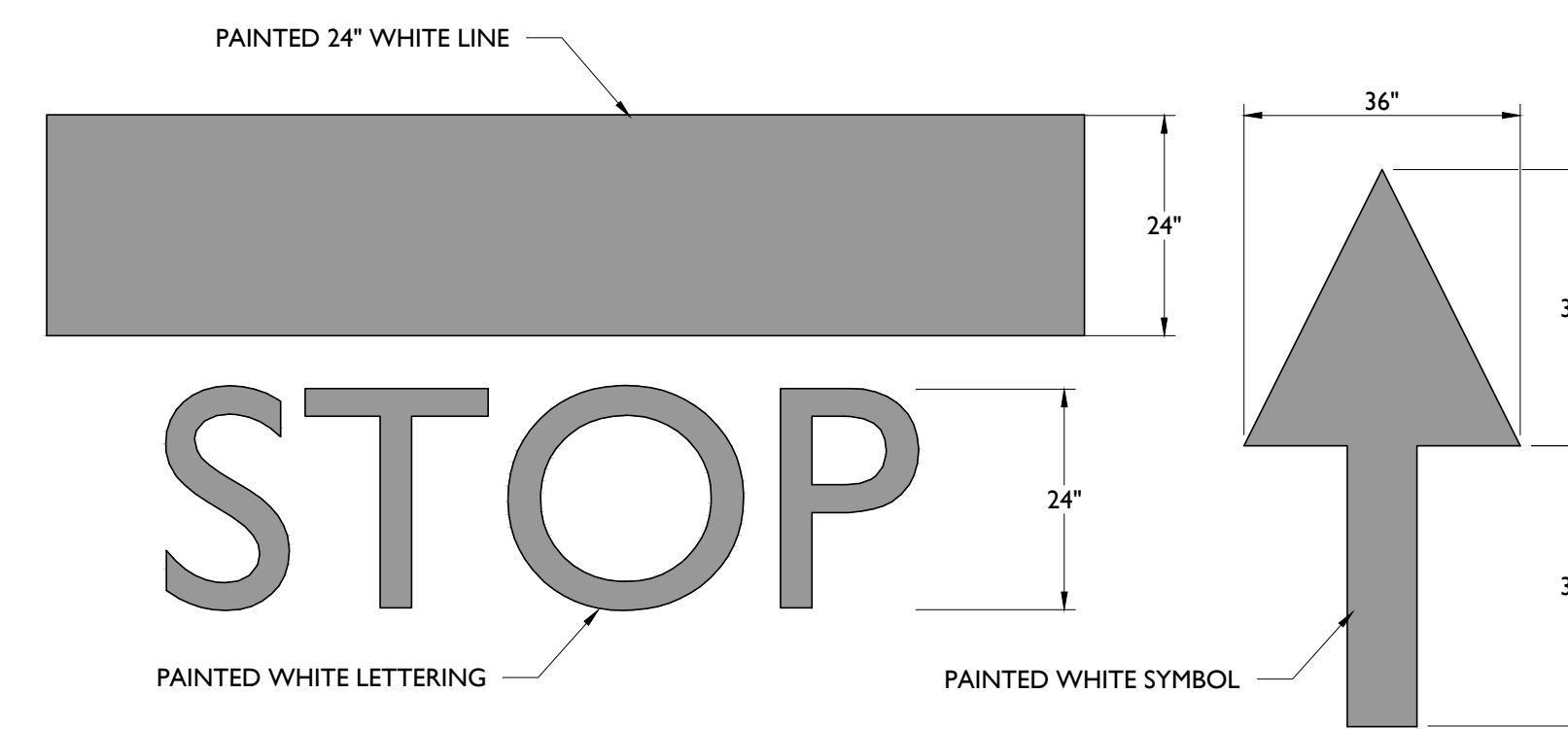
NORMAL WHITE LINE

NOT TO SCALE

NORMAL DOTTED WHITE LINE

NOT TO SCALE

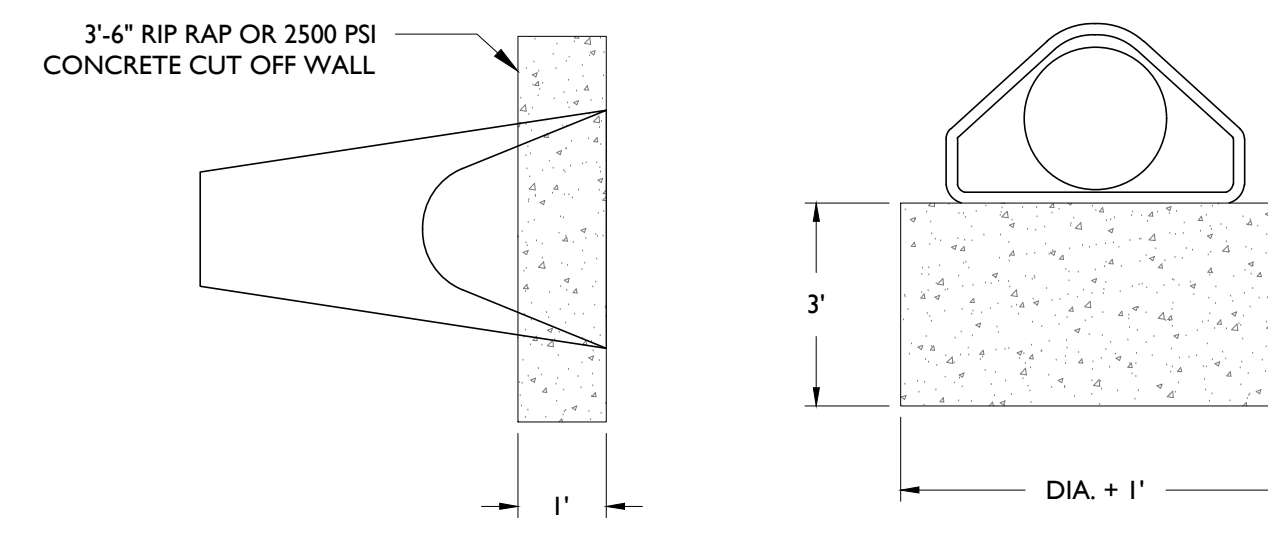
11



STOP BAR & ARROW DETAILS

NOT TO SCALE

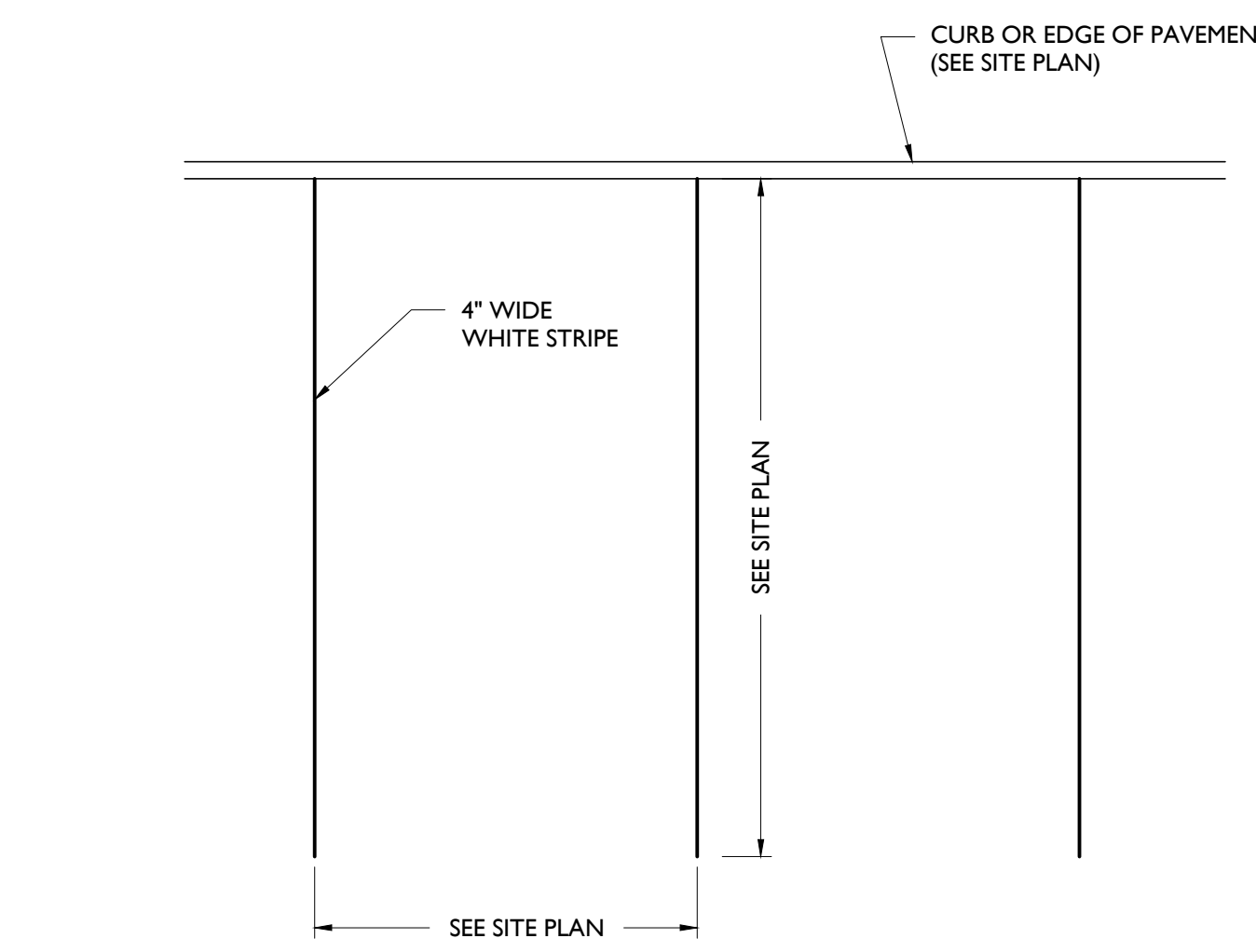
12



FLARED END SECTION DETAIL

NOT TO SCALE

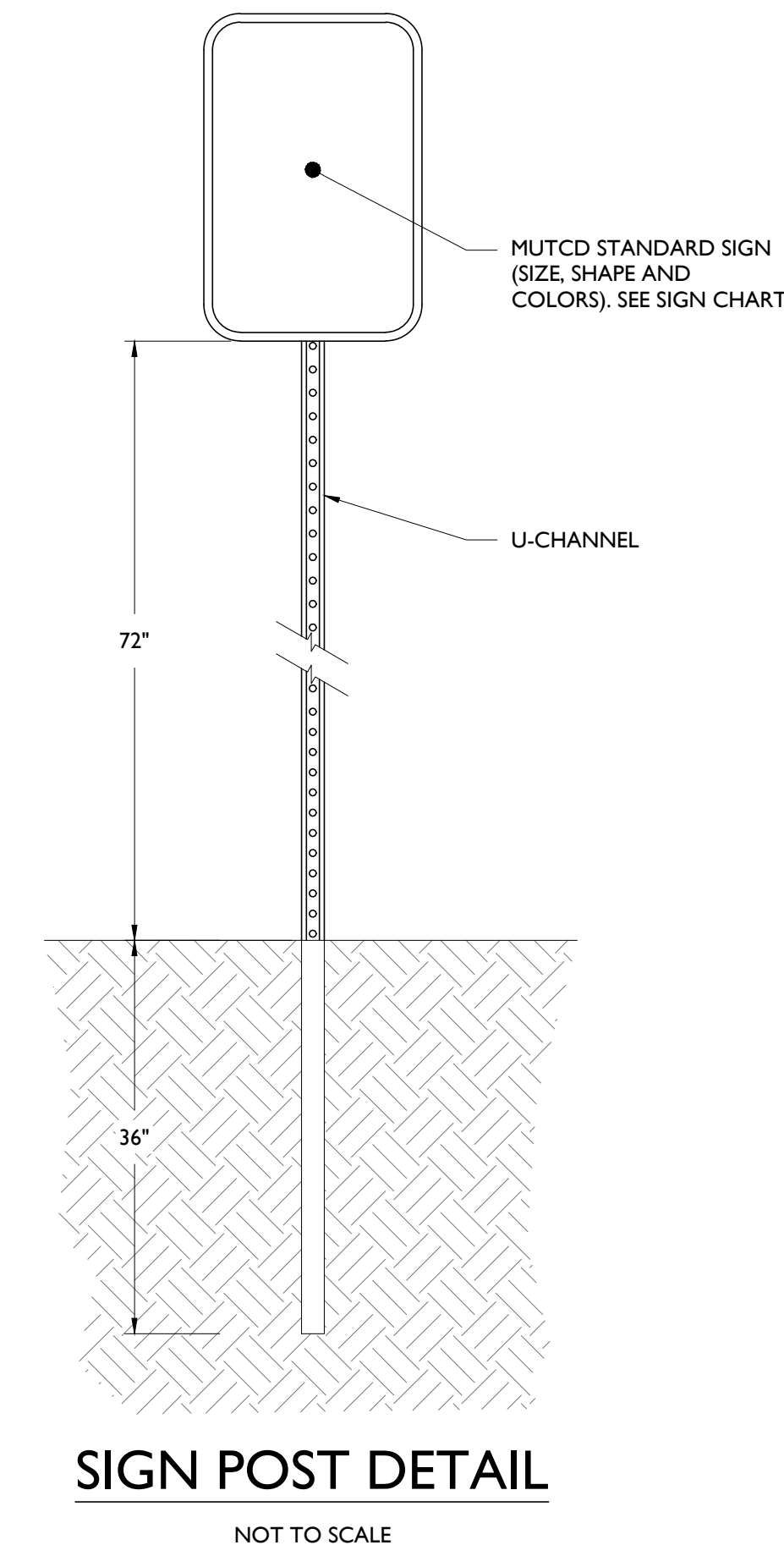
13



PARKING AND LOADING STALL MARKINGS

NOT TO SCALE

9



SIGN POST DETAIL

NOT TO SCALE

10

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
R1-1	STOP	RED	WHITE	36"x36"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

NOT TO SCALE

13

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NOTES :

NO.	BY	DATE	ISSUE OR REVISION
01	KG	03-30-20	SUBMISSION TO TOWNSHIP

REVISION :

PROJECT :
PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

CONSTRUCTION DETAILS

DRAWN BY: ZACHARY E. CHAPLIN
DATE: 02/25/2020

PROJECT NO.: T-16509

DRAWING BY: KG

CHK BY: ZC

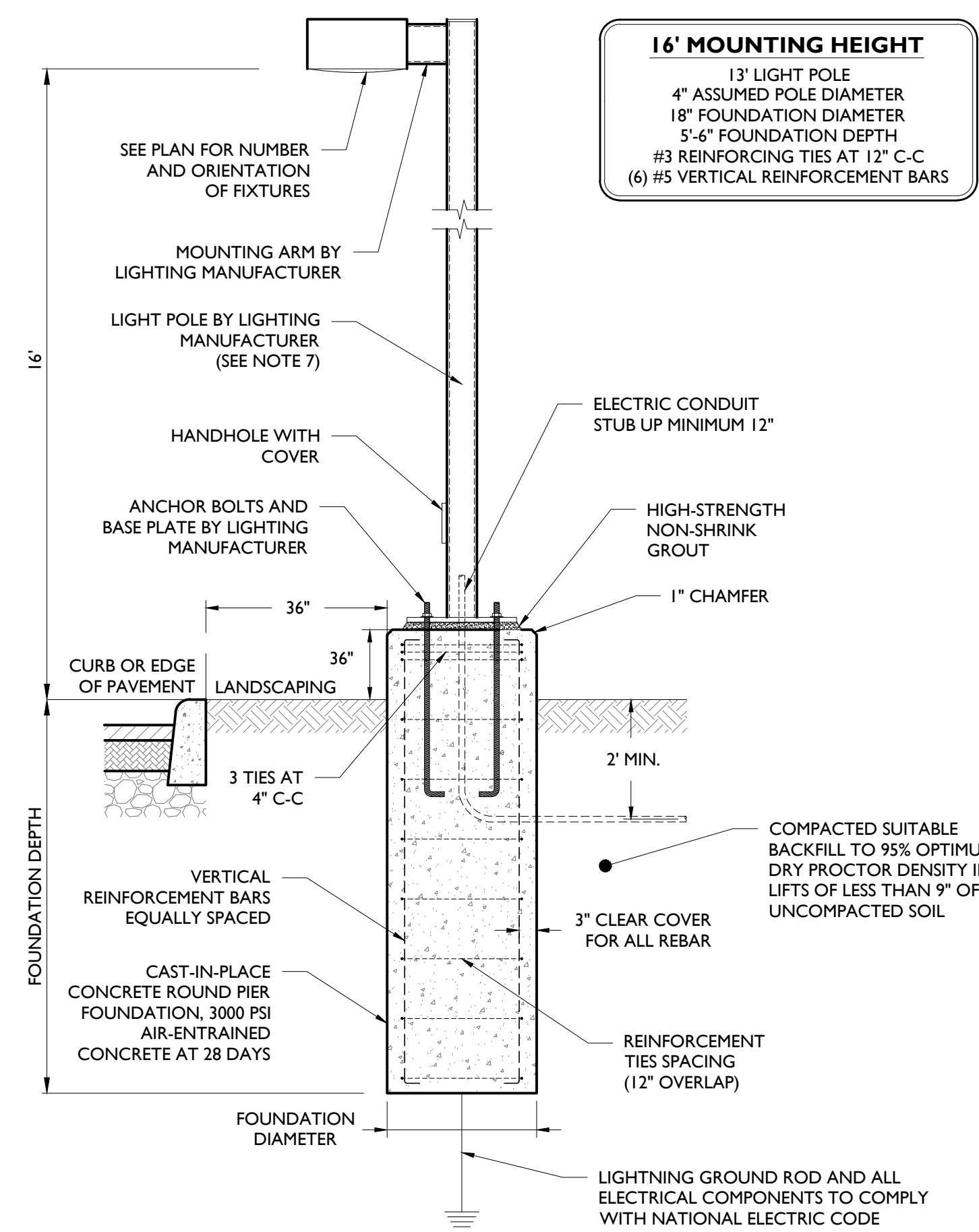
DWG NO:

C-11

CADD FILE NO: 11

OF 13

14



LIGHT POLE INSTALLATION DETAIL

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/ASCE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ALL BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Mirada Large - MRL Outdoor LED Area Light

Ordering Guide

TYPICAL ORDER EXAMPLE: **MRL LED 40L SIL FTA L UNV DIM 50 70CRI ALSCS04 BRZ IL**

Prefix	Lens	Lumen Package*	Lens	Distribution	Orientation†	Voltage
MRL - Mirada Large	LED	40L - 40,000 lms 66L - 66,000 lms	SIL - Silicone	2 - Type 2 3 - Type 3 SW - Type 5 Wide	(Blank) - Standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HW - High Voltage (347-480V)

*Consult factory for programmable wattages and lumen packages.

†FIA - Forward Throw Adhesive

Order	Color Temperature	Color Rendering	Controls	Finish	Options
DIM - 0-10V Dimming (100-100%)	40 - 4,000 CCT 80 - 8,000 CCT 27 - 2,700 CCT	70CRI - 70 CRI 80CRI - 80 CRI	Wireless Controls System: ALS - Art-Link System ALS01 - Art-Link System Control System Head / Satellite ALS02 - Art-Link System Control System with 12-20' Motion Sensor ALS03 - Art-Link System Control System Head / Satellite with 12-20' Motion Sensor ALS04 - Art-Link System Control System with 20-40' Motion Sensor ALS05 - Art-Link System Control System Head / Satellite with 20-40' Motion Sensor	WHI - White BRZ - Bronze GPT - Graphite MSV - Minimalist Silver PLP - Platinum Plus SVG - Satin Verde Green	(Blank) - None L - Integral Louver HSS*

Accessory Ordering Information

Description	Order Number	Description	Order Number
PC120 Protocol for use with CRFP option (120V)	122514	DF480 Double Fasting (480V)	DF480
PC208-277 Protocol for use with CRFP option (240V, 277V)	122515	DF347 Double Fasting (347V)	DF347
PC187 Protocol for use with CRFP option (187V)	158516	L - Integral Louver HSS	158516
PC480 Protocol for use with CRFP option (480V)	122519	Universal Mounting Bracket (UMB)**	08480GLR
ALS01 UNV T2 - Art-Link 2 Pin Twist Lock Connector**	051489	Adjustable Slip Ring (ASR)**	08130GLR
ALS02 UNV T2 - Art-Link 2 Pin Twist Lock Connector**	051490	Pole Quick Mount Bracket - Square Pole**	08703GLR
ALS03 UNV T2 - Art-Link 2 Pin Twist Lock Connector**	051491	Pole Quick Mount Bracket - 4" Round Pole**	08903GLR
ALS04 UNV T2 - Art-Link 2 Pin Twist Lock Connector**	051492	18" 18" Pole Quick Mount Bracket - Square Pole**	08903GLR
ALS05 UNV T2 - Art-Link 2 Pin Twist Lock Connector**	051493	18" 18" Pole Quick Mount Bracket - 4" Round Pole**	08903GLR
PC120 - 120V	PC120	883-280 883** CLR Wall Mount Bracket**	39210GLR
PC208-277 - 208-277V	PC247		
PC347 - 347V			

FOOTNOTES:

- Not available on "Type SW" distribution.
- Consult factory for availability.
- Not available in HF.
- Consult factory for Site Layout.
- RMS is field adjustable via a hand held Remote Configurator Tool, which must be ordered separately. See Accessory Ordering Information.
- Control device must be ordered separately. 7 pin standard. See Accessory Ordering Information.
- Accessories are shipped separately and sold individually.
- Factory included CRFP option required. See Options.
- CRFP is field adjustable via a hand held Remote Configurator Tool, which must be ordered separately. See Accessory Ordering Information.
- "CLR" denotes finish. See Finish options.
- 10 - "CLR" denotes finish. See Finish options.

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PROPOSED LED AREA LIGHT (LUMINAIRES A, B, C, D & E)

Mirada Wall Sconce - XWM Outdoor LED Wall Sconce

Ordering Guide

TYPICAL ORDER EXAMPLE: **XWM 2 LED 03L 27 UE BRZ ALSC**

Luminaire Prefix	Distribution	LED Technology	Lumen Package*	Color Temp	Voltage	Finish	Controls (Choose One)	Options
XWM - Mirada Wall Sconce	2 - Type 2 3 - Type 3 PT - Type 4 Forward Throw	LED	03L - 3,000 lms 04L - 4,000 lms 06L - 6,000 lms 09L - 9,000 lms	27 - 2700K 30 - 3000K 40 - 4000K 50 - 5000K	UE - Universal Voltage (120-277V) HW - High Voltage (347-480V)	BRZ - Bronze BLK - Black GPT - Graphite MSV - Minimalist Silver WHI - White PLP - Platinum Plus SVG - Satin Verde Green	Wireless Controls: ALS01 - Art-Link System Control System with 6-12' Motion Sensor ALS02 - Art-Link System Control System with 12-20' Motion Sensor ALS03 - Art-Link System Control System with 20-40' Motion Sensor	SB - Battery Back-up CWIB - Cold Weather Battery Back-up XPM - Pole Mounting Bracket

*Consult factory for programmable wattages and lumen packages.

Order	Color Temperature	Color Rendering	Controls	Finish	Options
DIM - 0-10V Dimming (100-100%)	40 - 4,000 CCT 80 - 8,000 CCT 27 - 2,700 CCT	70CRI - 70 CRI 80CRI - 80 CRI	Wireless Controls System: ALS - Art-Link System ALS01 - Art-Link System Control System Head / Satellite ALS02 - Art-Link System Control System with 12-20' Motion Sensor ALS03 - Art-Link System Control System Head / Satellite with 12-20' Motion Sensor ALS04 - Art-Link System Control System with 20-40' Motion Sensor ALS05 - Art-Link System Control System Head / Satellite with 20-40' Motion Sensor	WHI - White BRZ - Bronze GPT - Graphite MSV - Minimalist Silver PLP - Platinum Plus SVG - Satin Verde Green	(Blank) - None L - Integral Louver HSS*

Accessory Ordering Information

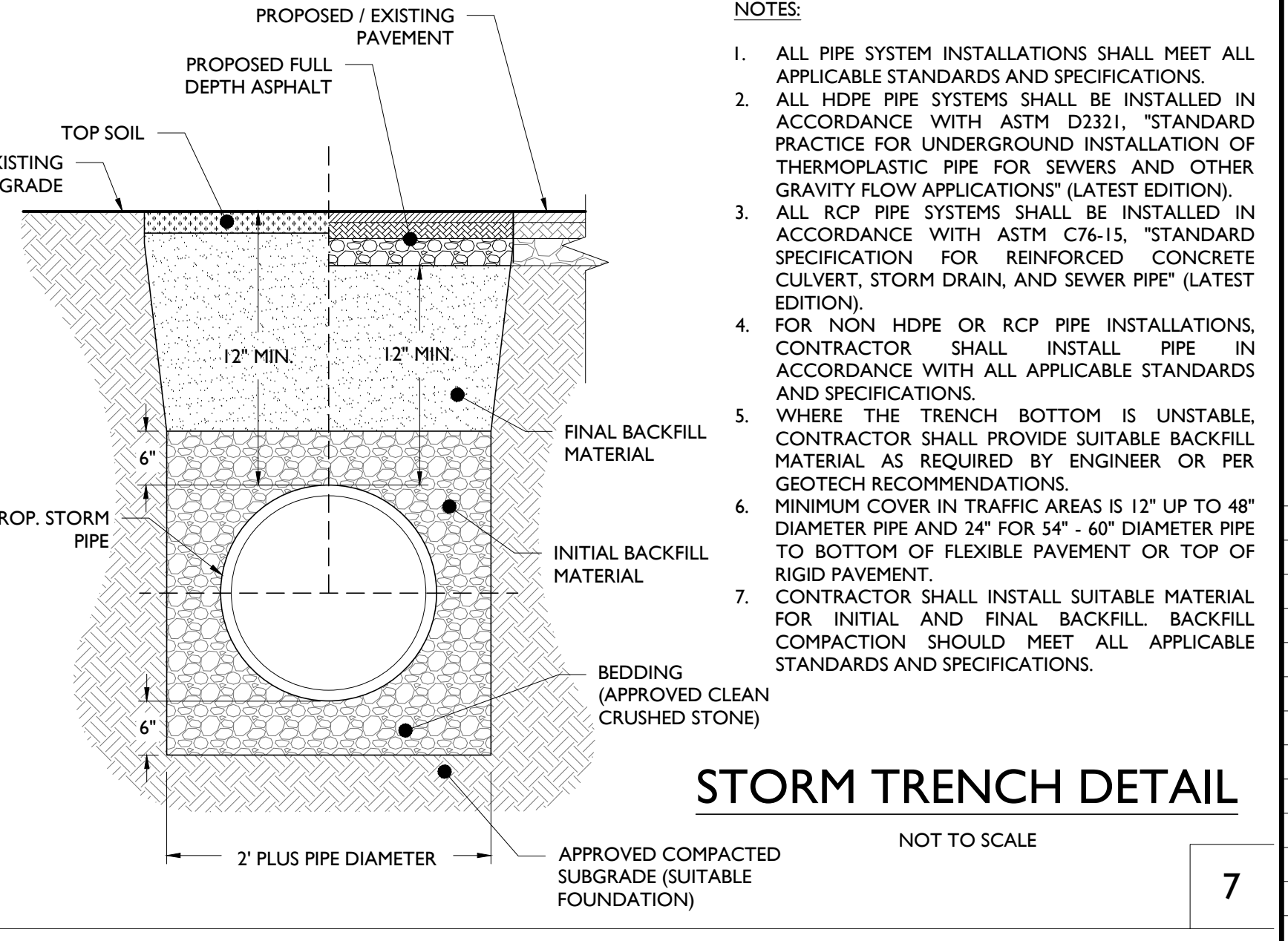
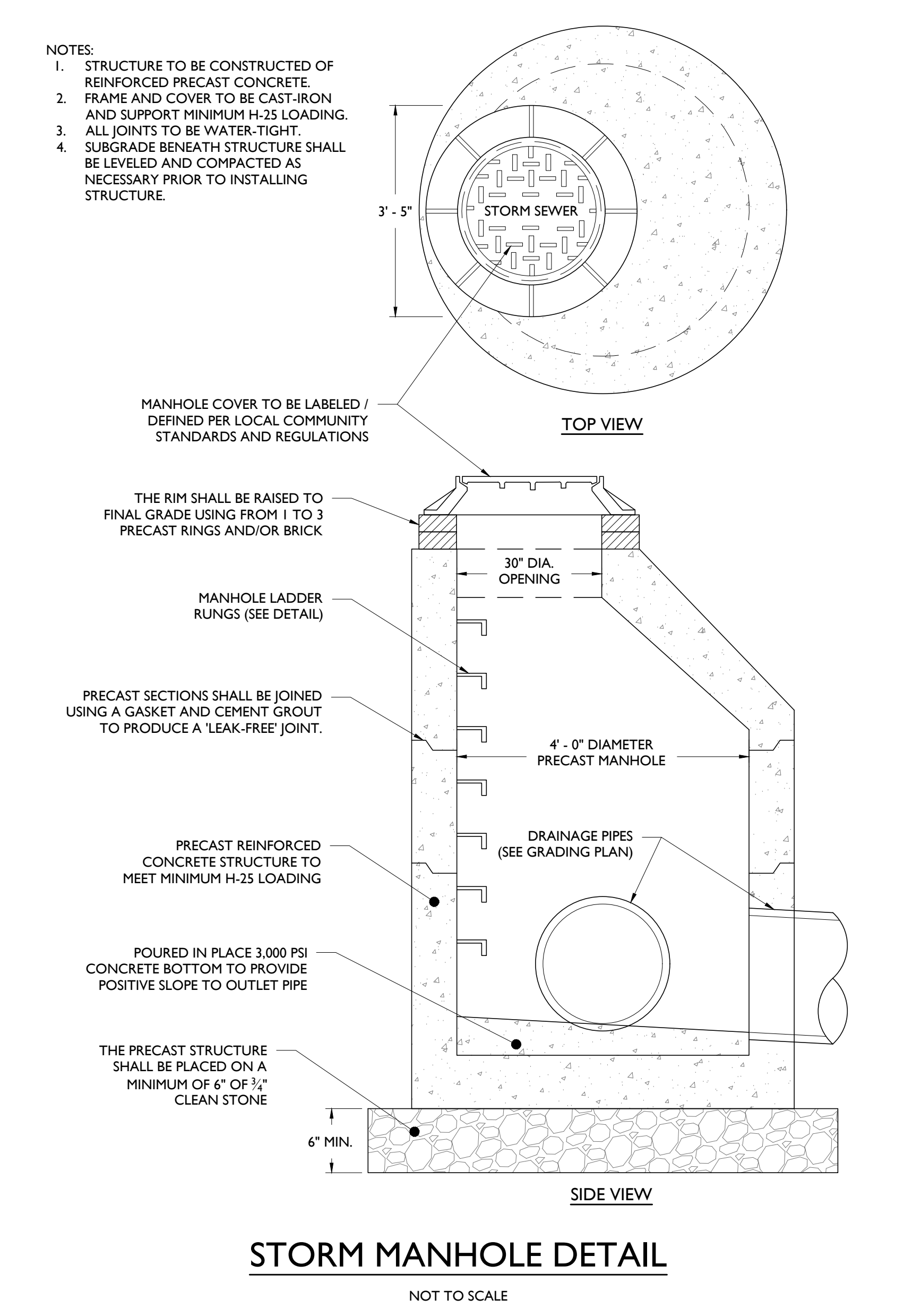
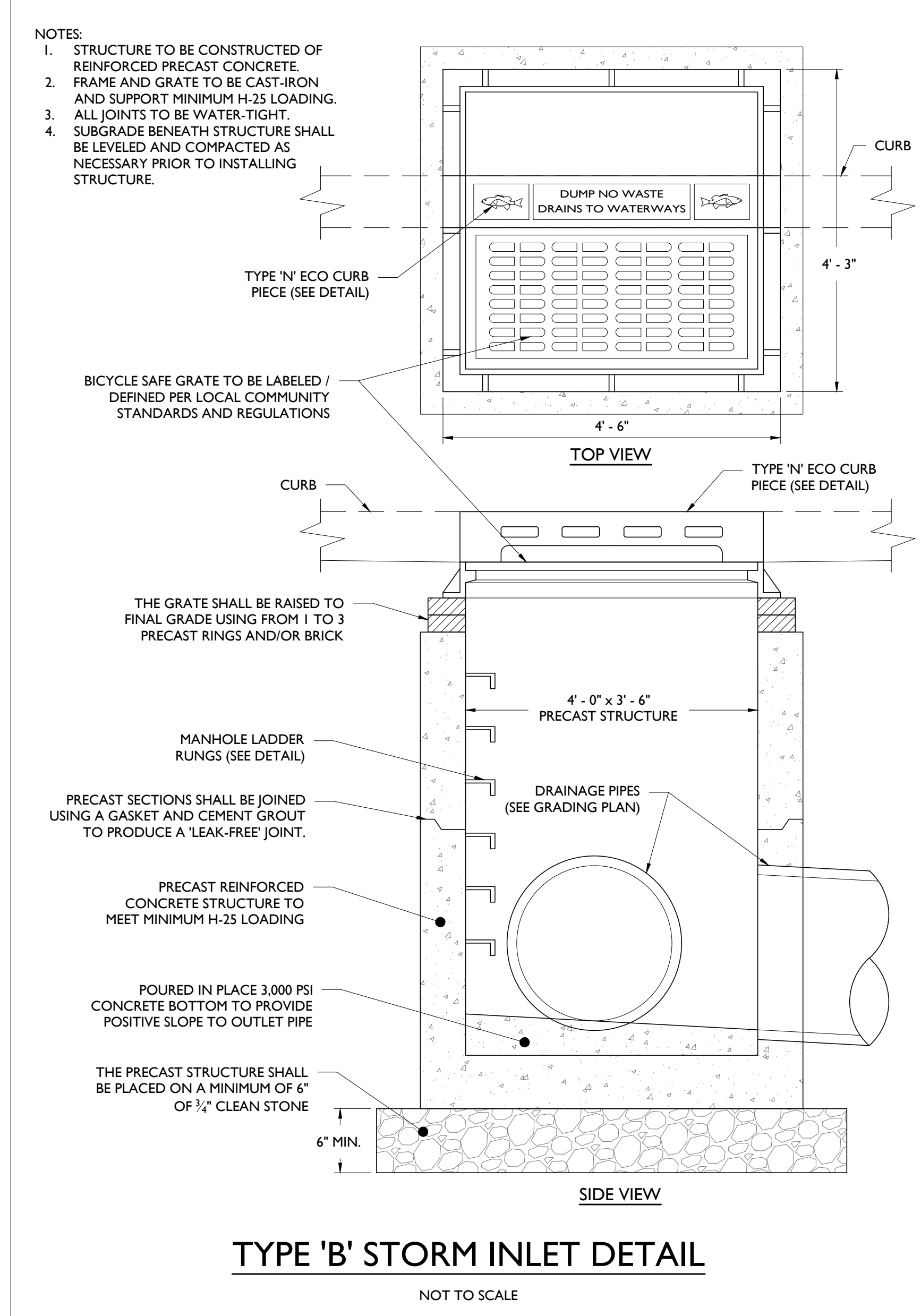
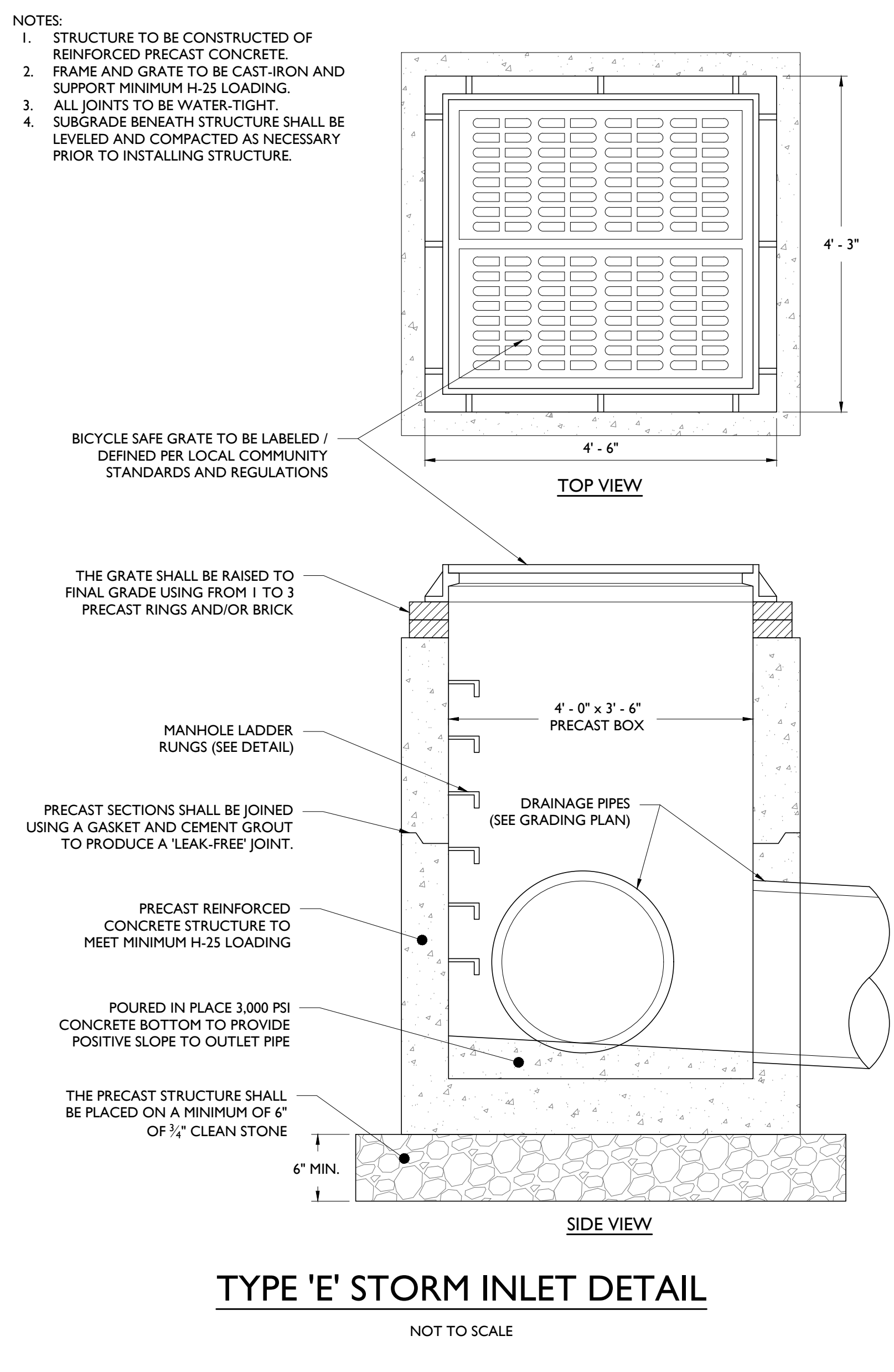
Description	Order Number	Description	Order Number
XWM SW BLK - Surface Mounting Bracket (Available in Black only)	0501151L9	DF480 - Double Fasting	DF480
PC120 - Single Fasting	PC120	DF340 - Double Fasting	DF340
PC208-277 - Single Fasting	PC208	DF480 - Double Fasting	DF480
PC347 - Single Fasting	PC347	DF480 - Double Fasting	DF480
		MS Remote Configurator Tool	08480

FOOTNOTES:

- Consult factory for availability.
- Not available in HF.
- Consult factory for Site Layout.
- RMS is field adjustable via a hand held Remote Configurator Tool, which must be ordered separately. See Accessory Ordering Information.
- Not available in UE.
- "CLR" denotes finish. See Finish options.
- Finishing must be located in field hole of pole or at the junction box.

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PROPOSED WALL MOUNTED LED LIGHT (LUMINAIRE F)



01	KG	03-30-20	SUBMISSION TO TOWNSHIP
NO.	BY	DATE	ISSUE OR REVISION
REVISION:			

PROJECT: **PROPOSED REDEVELOPMENT**
 750 WALNUT AVENUE
 CRANFORD, N.J.

DRAWING TITLE: **CONSTRUCTION DETAILS**

DESIGNER: **ZACHARY E. CHAPLIN**
 812 98 4 53605

DATE: 02/25/2020

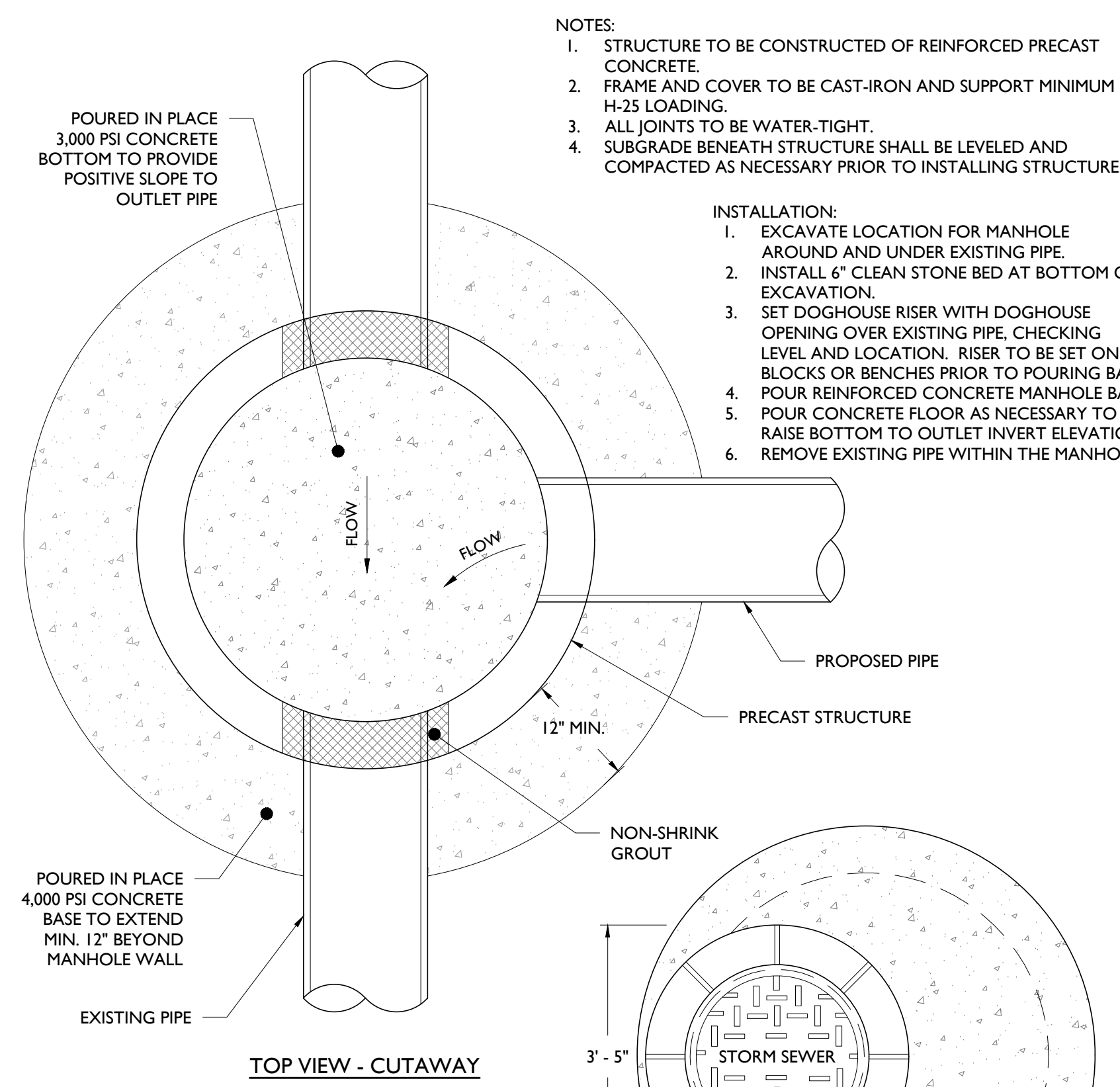
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DRAWING BY: KG

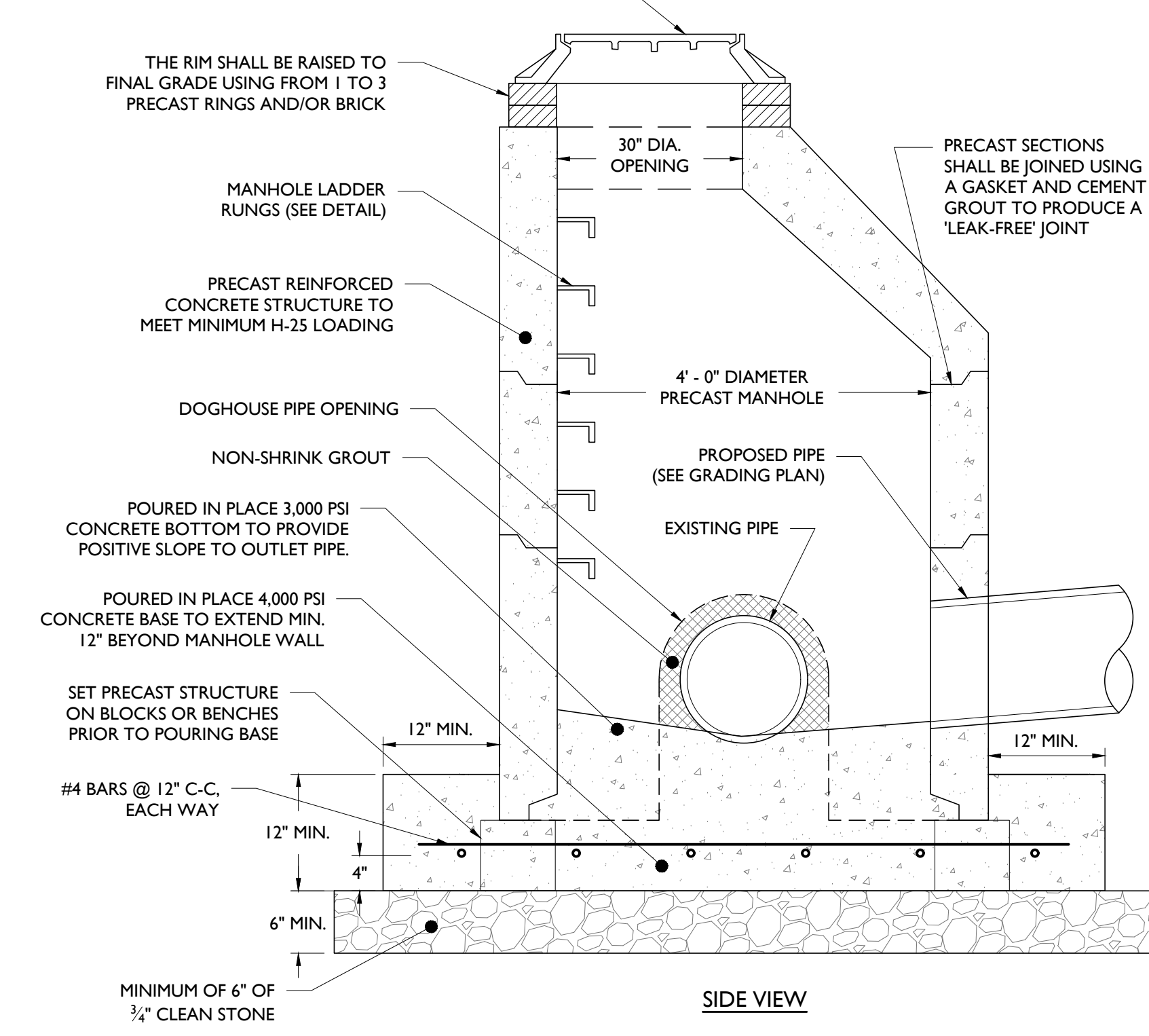
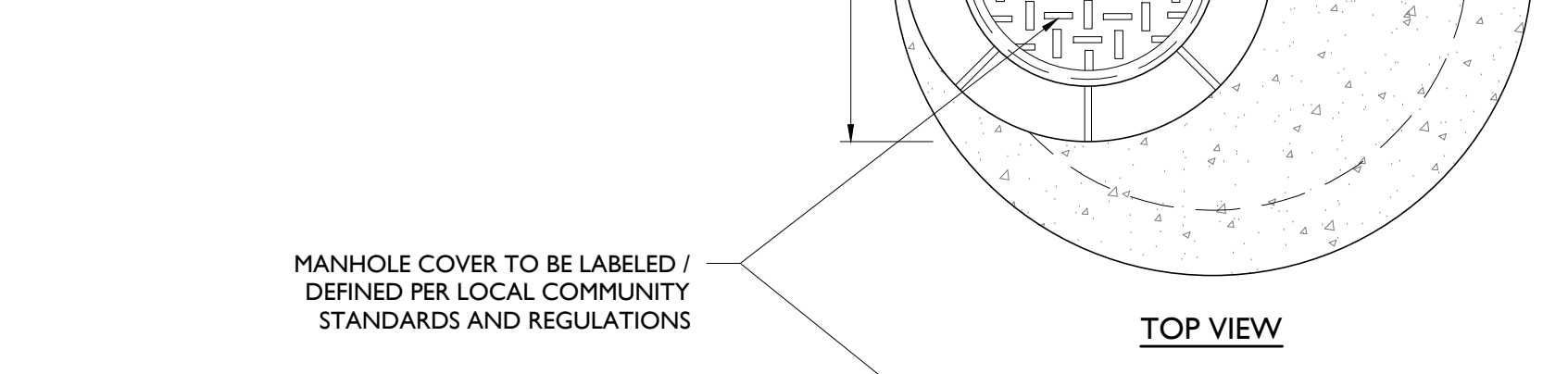
CHECK BY: ZC

DWG NO.: **C-12**

CADD FILE NO.: 12 OF 13



- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.
- INSTALLATION:
1. EXCAVATE LOCATION FOR MANHOLE AROUND AND UNDER EXISTING PIPE.
 2. INSTALL 6" CLEAN STONE BED AT BOTTOM OF EXCAVATION.
 3. SET DOGHOUSE RISER WITH DOGHOUSE OPENING OVER EXISTING PIPE, CHECKING LEVEL AND LOCATION. RISER TO BE SET ON BLOCKS OR BENCHES PRIOR TO POURING BASE.
 4. POUR REINFORCED CONCRETE MANHOLE BASE.
 5. POUR CONCRETE FLOOR AS NECESSARY TO RAISE BOTTOM TO OUTLET INVERT ELEVATION.
 6. REMOVE EXISTING PIPE WITHIN THE MANHOLE.



DOGHOUSE STORM MANHOLE DETAIL

NOT TO SCALE

I

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01	KG	03-30-20	SUBMISSION TO TOWNSHIP

REVISION :

PROJECT :

PROPOSED REDEVELOPMENT
750 WALNUT AVENUE
CRANFORD, N.J.

DRAWING TITLE :

CONSTRUCTION DETAILS

ENGINEER
ZACHARY E. CHAPLIN
NJ PE # 53605

DATE : 02/25/2020

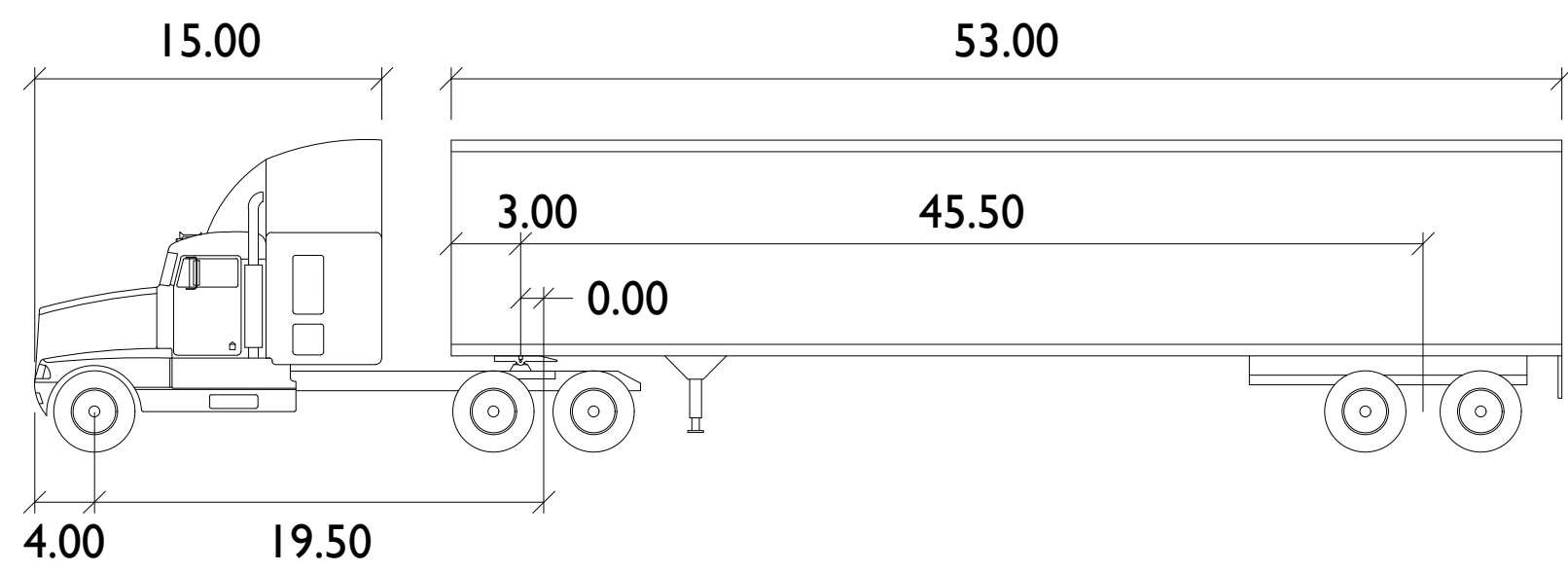
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DRAWING BY : KG

CHK BY : ZC

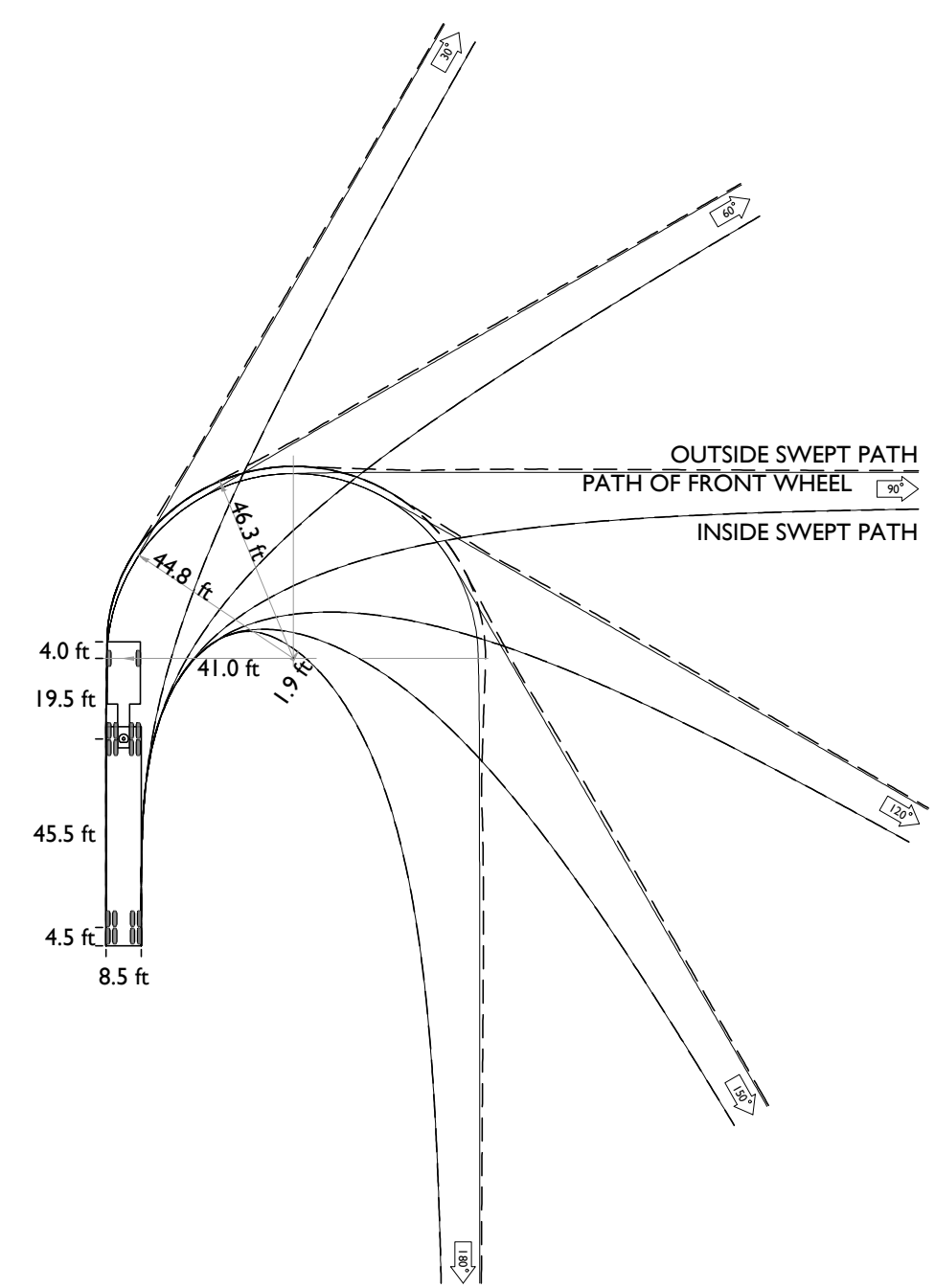
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CADD FILE NO. : 13 OF 13



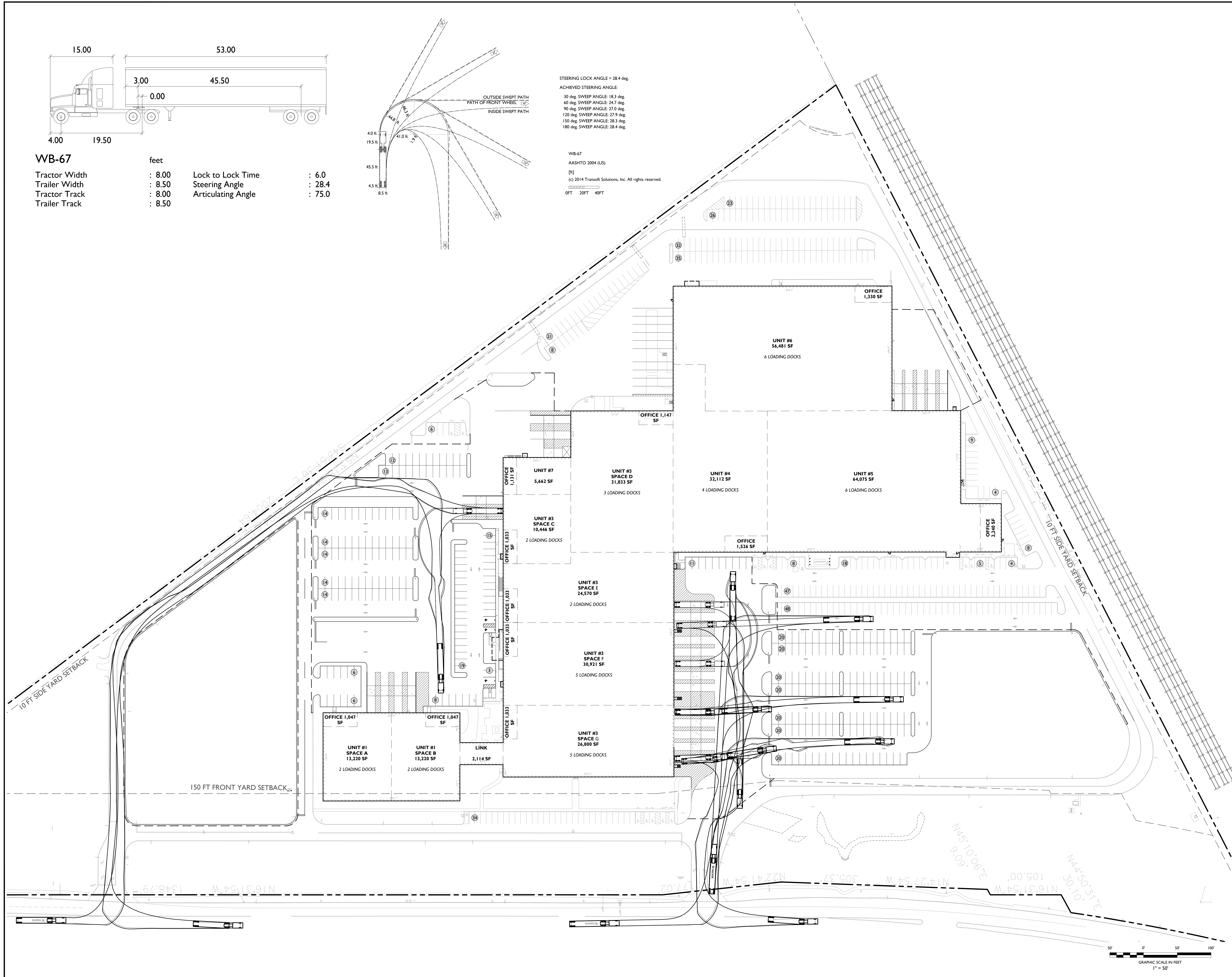
WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



STEERING LOCK ANGLE = 28.4 deg.
 ACHIEVED STEERING ANGLE:
 30 deg. SWEEP ANGLE: 18.3 deg.
 60 deg. SWEEP ANGLE: 24.7 deg.
 90 deg. SWEEP ANGLE: 27.0 deg.
 120 deg. SWEEP ANGLE: 27.9 deg.
 150 deg. SWEEP ANGLE: 28.3 deg.
 180 deg. SWEEP ANGLE: 28.4 deg.

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 0FT 20FT 40FT



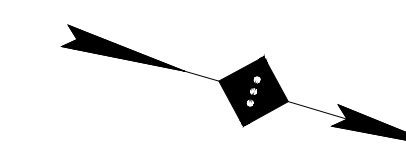
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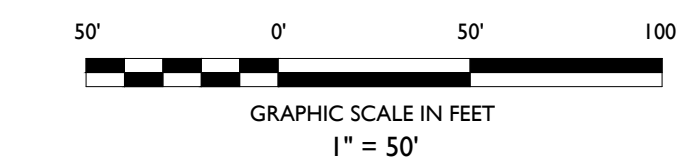
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 Phone 718.606.8305

NOTES :



SITE LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- ==== PROPOSED CURB
- ===== EXISTING CURB
- /// EXISTING BUILDING
- ▨ PROPOSED BUILDING



NO.	BY	DATE	ISSUE OR REVISION
01	KG	03-30-20	SUBMISSION TO TOWNSHIP
			REVISION :

PROJECT :
PROPOSED REDEVELOPMENT
 750 WALNUT AVENUE
 CRANFORD, N.J.

DRAWING TITLE :

DELIVERY TRUCK TURNING PLAN

DESIGNER:
 ZACHARY E. CHAPLIN
 NJ PE # 53605

DATE : 02/25/2020

PROJECT NO. : T-16509

DRAWING BY : KG

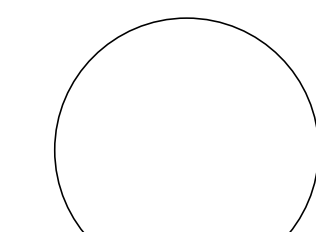
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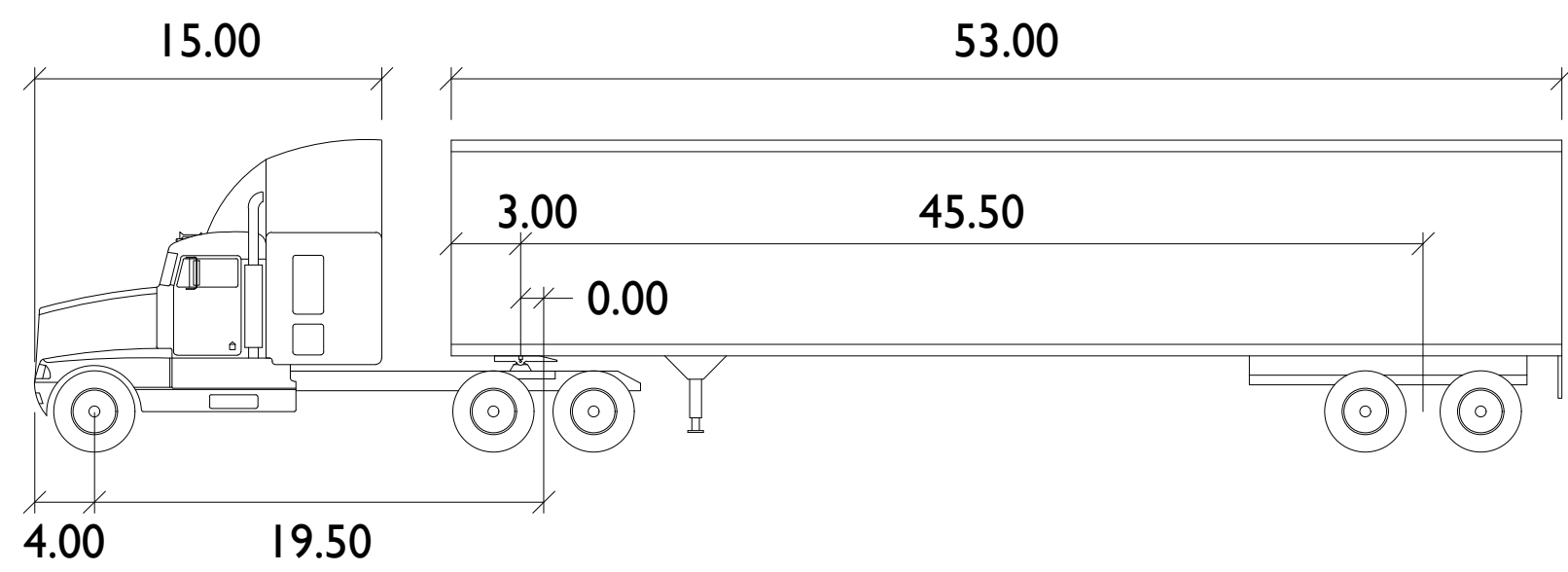
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C-12

CADD FILE NO. :

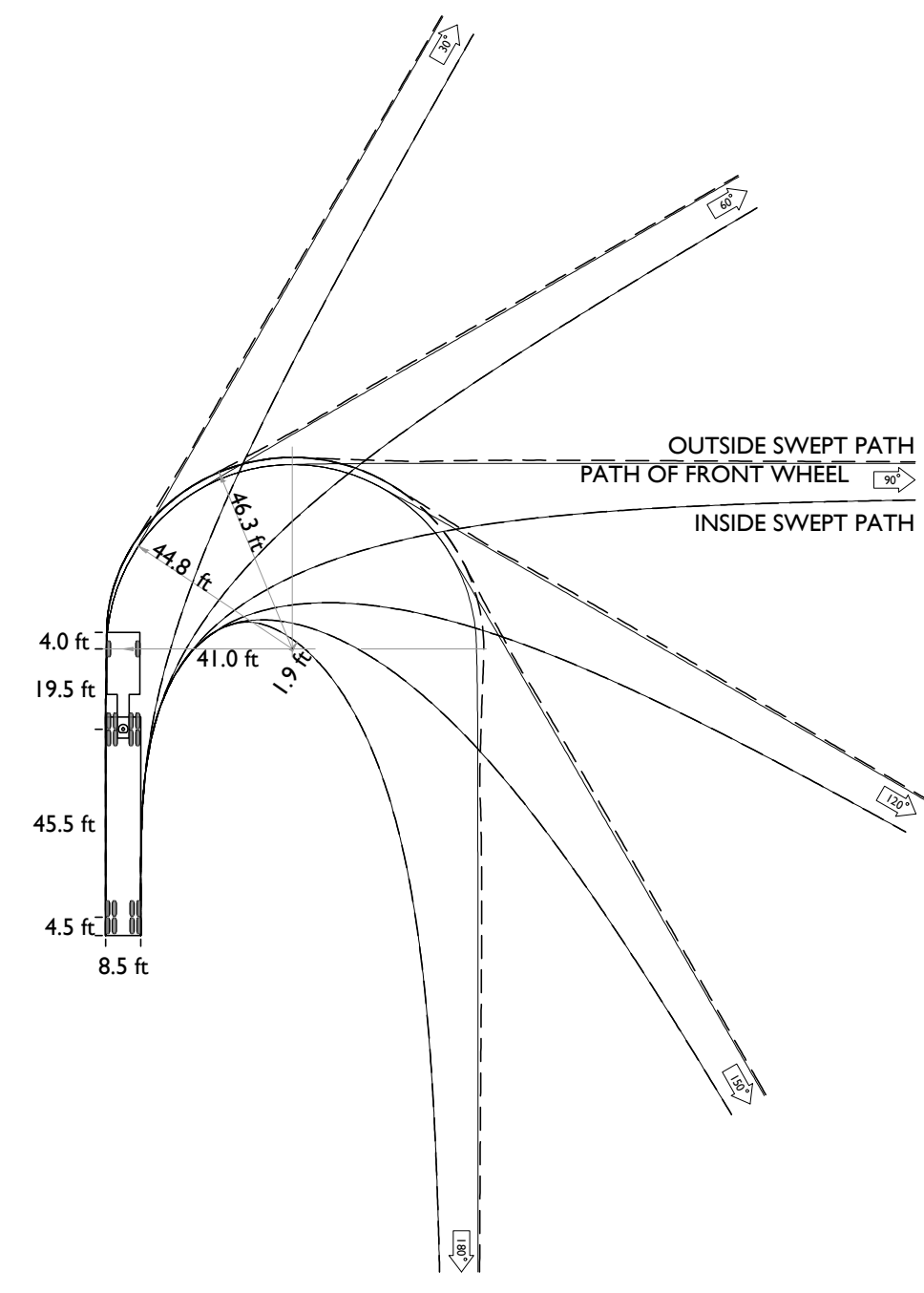
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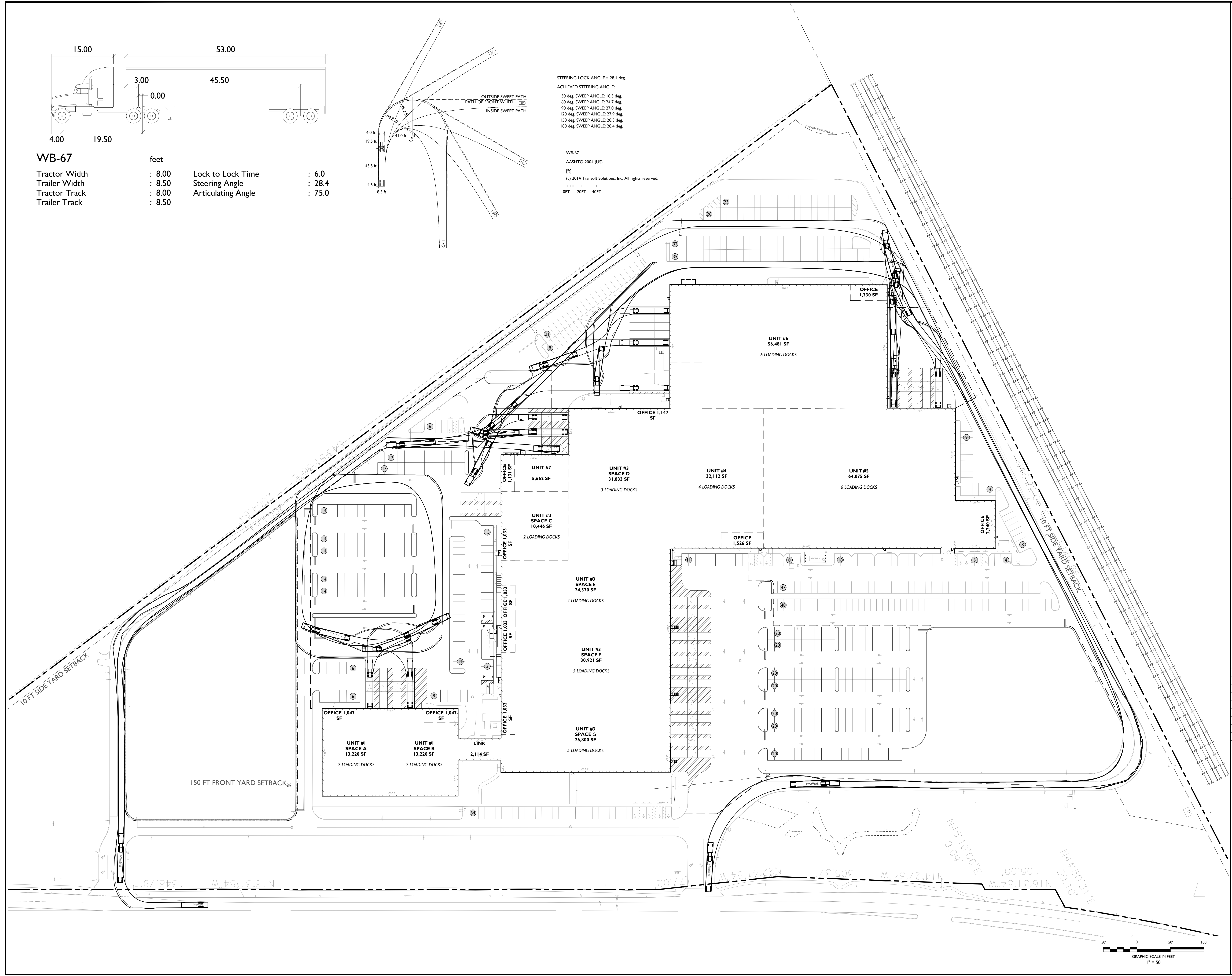
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	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



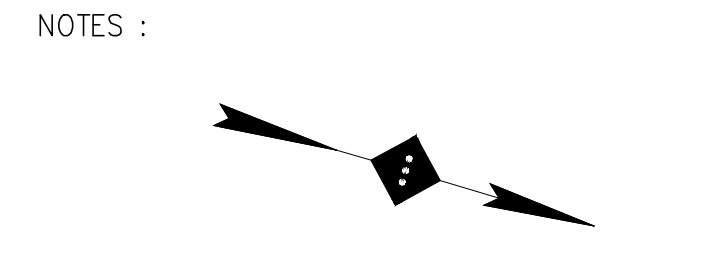
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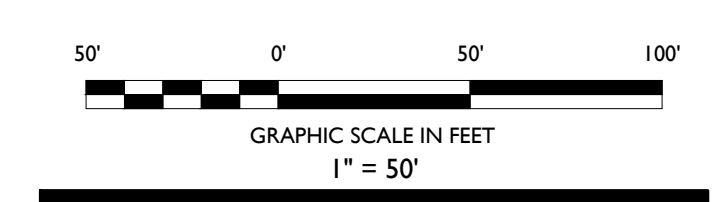
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SITE LEGEND

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	PROPOSED CURB
	EXISTING CURB
	EXISTING BUILDING
	PROPOSED BUILDING



01	KG	03-30-20	SUBMISSION TO TOWNSHIP
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PROPOSED REDEVELOPMENT
 750 WALNUT AVENUE
 CRANFORD, N.J.

DELIVERY TRUCK TURNING PLAN

ENGINEER:
 ZACHARY E. CHAPLIN
 NJ PE # 53605

DATE : 02/25/2020

PROJECT NO. : T-16509
 DRAWING BY : KG
 CHK BY : ZC
 DWG NO. : **C-13**

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