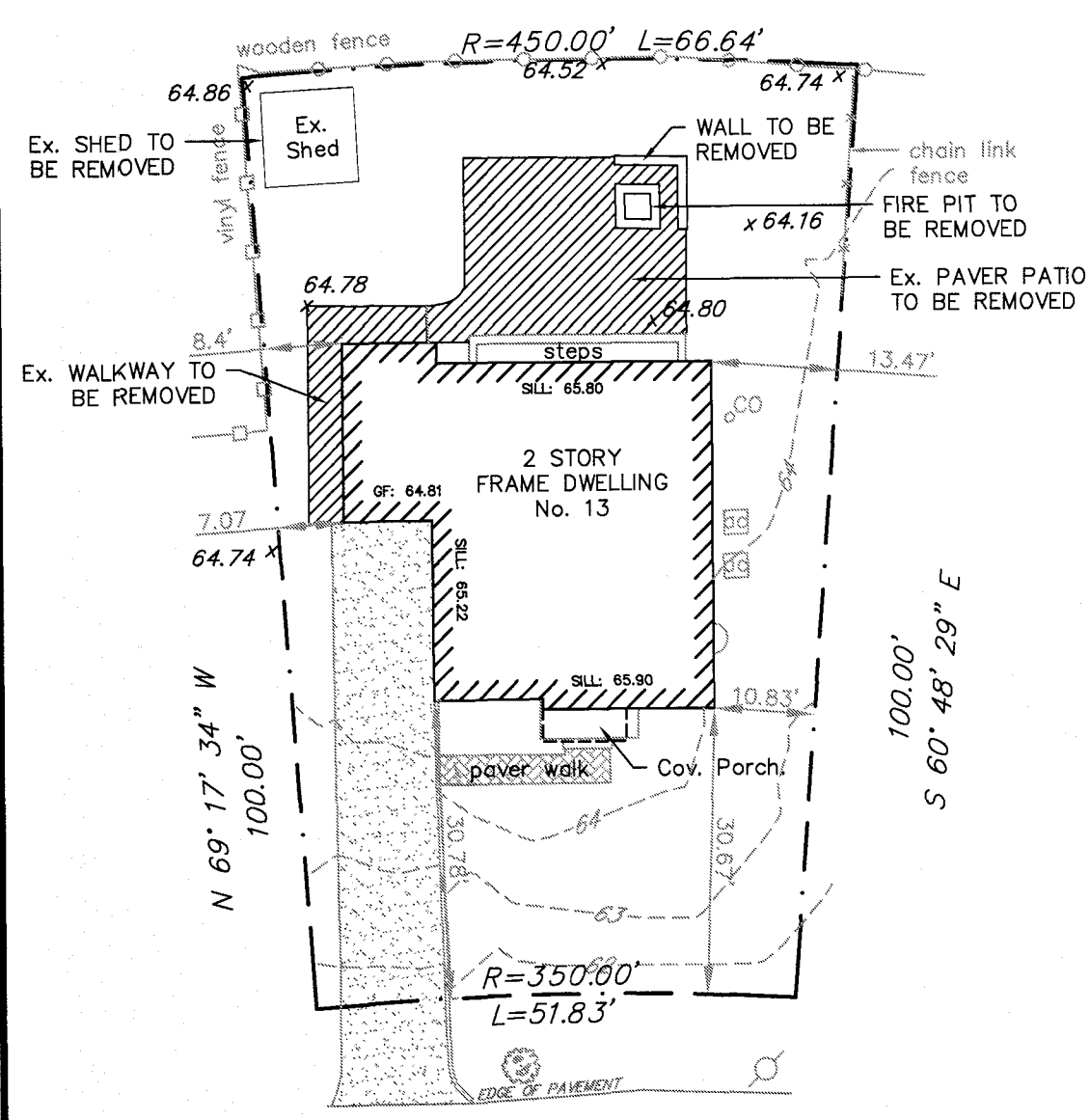


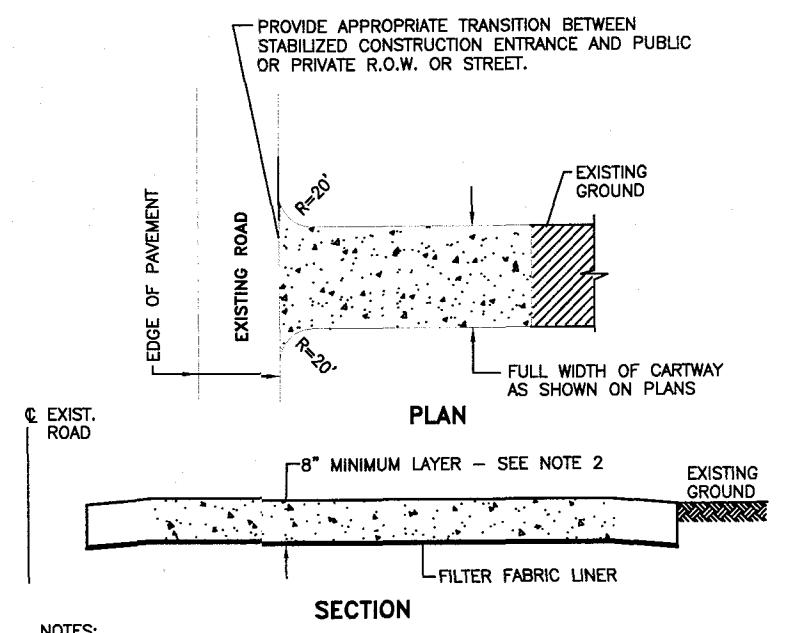
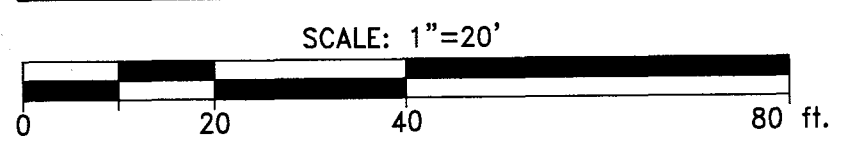
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LEGEND
 x 87.65 Existing Spot Elevation
 Existing Contour
 Proposed Spot Elevation
 Proposed Contour
 TW Proposed Top of Wall
 BW Proposed Bottom of Wall
 tw Existing Top of Wall
 bw Existing Bottom of Wall



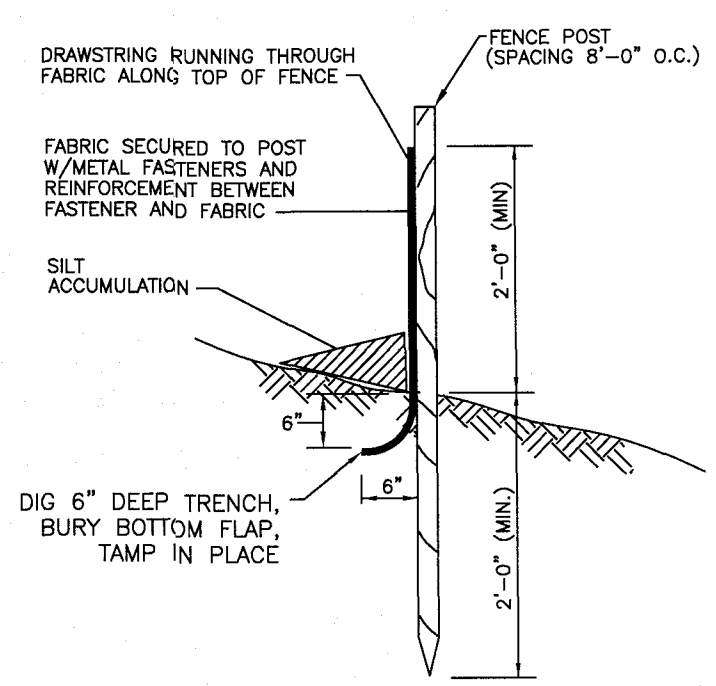
CHEROKEE ROAD
(50' WIDE)

EXISTING CONDITIONS & REMOVAL PLAN



- NOTES:**
1. PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION
 2. STONE SIZE SHALL BE ASTM C-33, SIZE NO. 2 OR 3, CLEANED CRUSHED ANGULAR STONE.
 3. THE THICKNESS OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN 8".
 4. WIDTH - NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.
 5. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE R.O.W./PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT.
 6. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.

TRACKING PAD DETAIL
N.T.S.



SILT FENCE DETAIL
N.T.S.

- REQUIREMENTS FOR SILT FENCE:**
1. FENCE POSTS SHALL BE SPACED 8 FT. CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
 2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
 3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH.

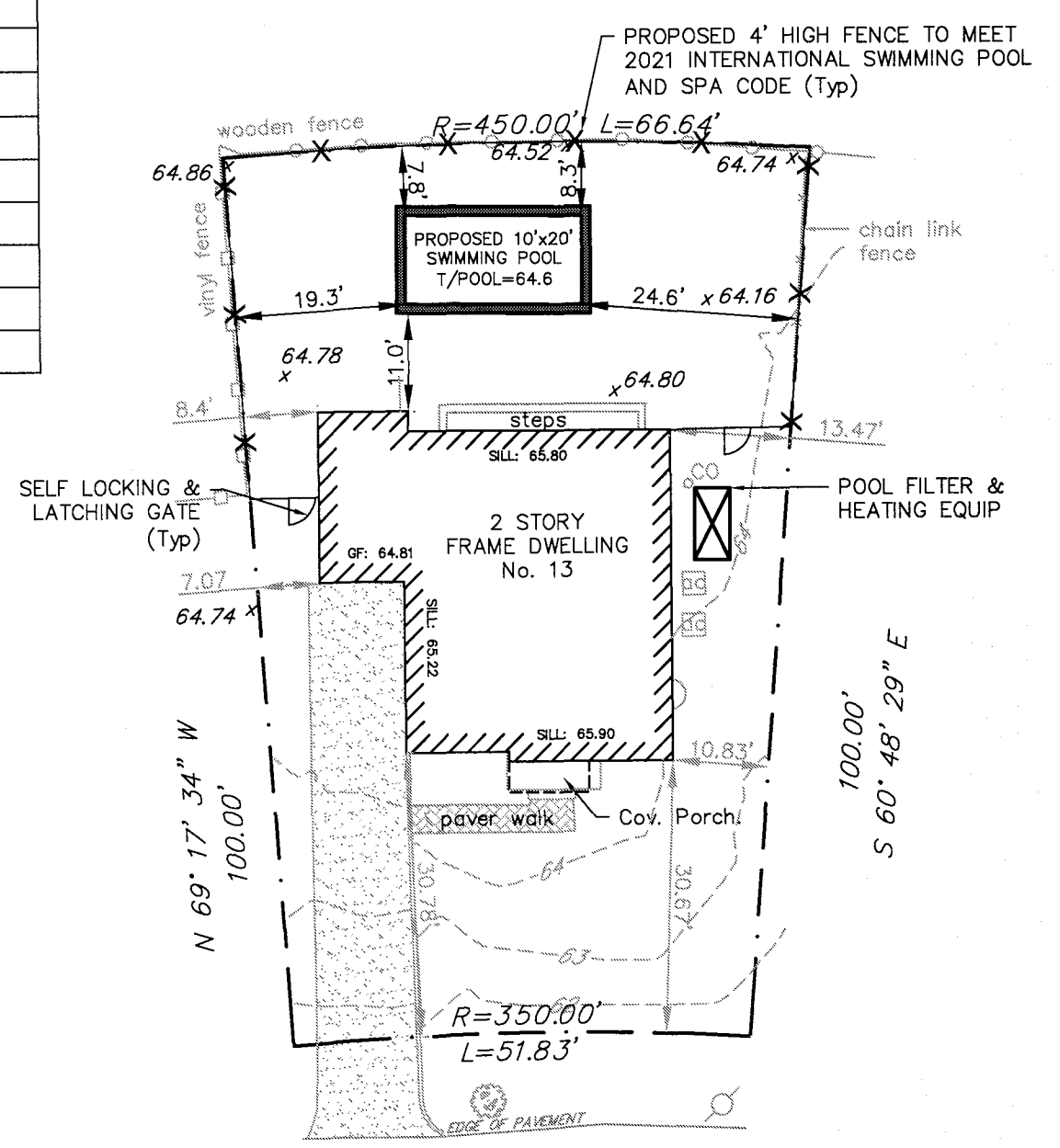
ZONING DATA

Zone: R-4 Block 618 Lot 8 Owner: Mano				
	REQUIRED	EXISTING	PROPOSED	Variance Req'd
Lot Area	6,000	5,923	No Change	Ex. Non Conforming
Lot Width	60'	51.83'	No Change	Ex. Non Conforming
Front Yard Setback	25'	30.67'	No Change	No
Rear Yard Setback	30'	29.3'	No Change	Ex. Non Conforming
Side Yard Setback (One)	5.2'	7.07'	No Change	No
Side Yard Setback (Both)	15.5'	17.9'	No Change	No
POOL CONSTRUCTION				
Side Yard Setback	15'	19.3'	No	No
Rear Yard Setback	15'	7.8'	Yes	Yes
Setback from House	10'	11.0'	No	No
BUILDING COVERAGE (%)	30%	24.1%	22.4%	No
IMPERVIOUS COVERAGE (%)	40%	46.4%	39.6%	No

LOT COVERAGE CALCULATIONS

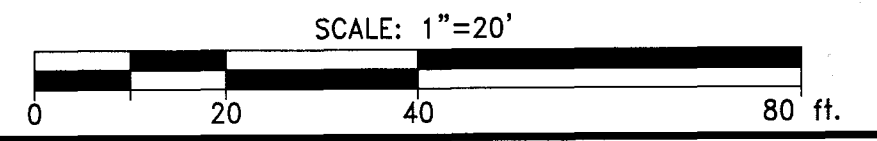
Item	Area (sf)	Existing	Proposed	Variance
TOTAL LOT AREA (SF):	5,923			
House & Covered Porch	1,327	1,327		
Shed	100	0		
Driveway	575	575		
Front Walk	68	68		
Rear Patio/Walk	667	69		
Utility Pads	12	12		
Prop. Pool/Coping		264		
Filter Pad		32		
Building Coverage	1,427	1,327	No	
	24.1%	22.4%		
Lot Coverage	2,749	2,347	No	
	46.4%	39.6%		

- NOTES:**
1. EXISTING BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY EKA ASSOCIATES 05.16.17.
 2. TOPOGRAPHIC SURVEY PREPARED BY PAX SURVEYING DATED 12.02.22.
 3. OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF THE POOL.
 4. CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT OF THE POOL BOTH VERTICALLY AND HORIZONTALLY.
 5. POOL SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI/NSPI-5 PER THE INTERNATIONAL RESIDENTIAL CODE.
 6. FENCE SHALL BE INSTALLED A MINIMUM OF 12" INSIDE THE PROPERTY LINE. HOME OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR FENCE LOCATION AND CONSTRUCTION.
 7. IF ANY TREES OR ROOT STRUCTURES ARE DAMAGED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO CONTACT AN ARBORIST TO ASSESS THE DAMAGE TO THE TREES.
 8. DRIVEWAY TO BE UTILIZED FOR CONSTRUCTION ACCESS.
 9. POOL EMPTYING PROCEDURES SHALL BE IN ACCORDANCE WITH NJDEP REGULATIONS.



CHEROKEE ROAD
(50' WIDE)

POOL LOCATION & GRADING PLAN



LEGEND
 x 87.65 Existing Spot Elevation
 Existing Contour
 Proposed Spot Elevation
 Proposed Contour
 TW Proposed Top of Wall
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 CERTIFICATE OF AUTHORIZATION: 24GA28060300

REVISION	DATE	APPROVED

DESIGNER: JDE
 DRAWN BY: JDE
 CHECK BY: DJE
 DATE: 01.06.23
 SCALE: 1" = 20'
 PROJECT NO.: 22313

DAVID J. EGARIAN, P.E.
 N.J. LIC. NO. 24GE02622900

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 271 Route 46 Suite G208, Fairfield, NJ 07004
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POOL LOCATION & GRADING PLAN
 FOR THE
MANO RESIDENCE
 13 CHEROKEE ROAD
 BLOCK 618 LOT 8
 TOWNSHIP OF CRANFORD, UNION COUNTY, NJ

DRAWING NO:
1
 SHEET 1 OF 1