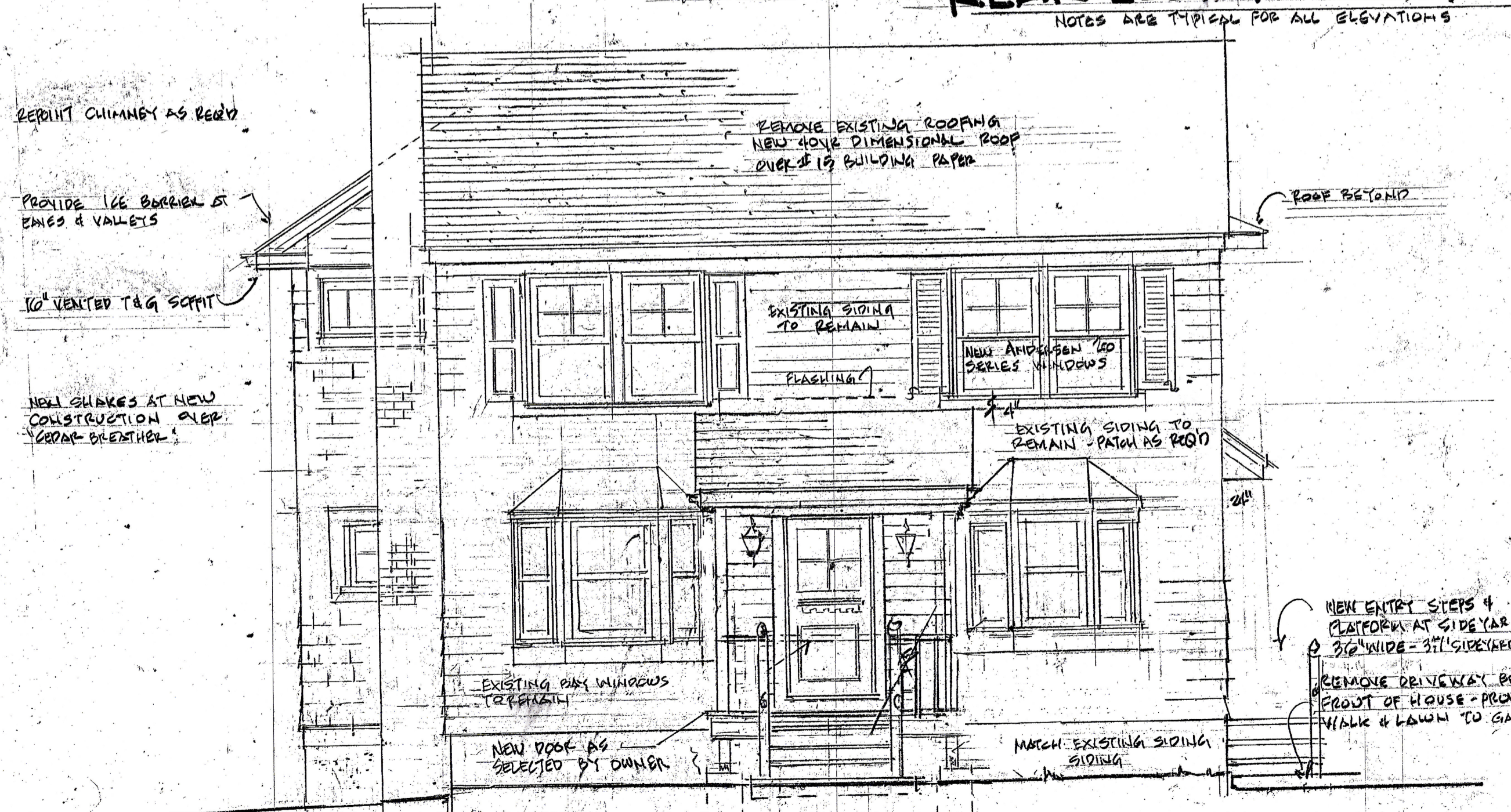


**REAR ELEVATION 4'0" x 10'0"**

NOTES ARE TYPICAL FOR ALL ELEVATIONS



**FRONT ELEVATION 4'0" x 10'0"**

**General Conditions**

- \* The Contractor Shall Verify All Existing Conditions At The Site And Shall Be Responsible For Same. If There Is Any Variation From These Drawings, The Contractor Shall Notify The Owner.
- \* All Dimensions And Locations As Indicated On The Drawings Shall Be Considered Reasonably Correct, But It Is Understood That They Are Subject To Modifications As May Be Necessary Or Desirable At The Time Of Installation To Meet Any Unforeseen Or Other Conditions.
- \* All Work And Materials And Equipment Must Be In Accordance With Equipment Specifications.
- \* All Contractors And Subcontractors Must Supply Owner With A Current Certificate Of Liability For Property Damage Insurance And Workmen's Compensation Insurance Before Commencing Work.
- \* All Phases Of Construction Shall Comply To Local, State And Federal Safety Laws.
- \* All Work And Materials Must Conform To All Applicable Local, State And Federal Codes. All Plumbing And Heating Work Shall Confirm With The Local Health Department Requirements, And With All Other Applicable Code And Ordinances. All Plumbing To Conform To National Plumbing Code.
- \* These Specifications Are General In Form. The Contractor In Applying Them Assumes Complete Responsibility For Their Use, Substitutions, Changes And Omissions.
- \* It Shall Be Understood That The Scope Of These Drawings Include Only Architectural Information And That No Further Liability Will Be Assumed.
- \* The Owner Shall Not Have Control Or Charge Of And Shall Not Be Responsible For Construction Means, Methods, Techniques, Sequences Or Procedures, Or For Safety Precautions And Programs In Connection With The Work In Accordance With The Contract Documents.
- \* The Contractor Shall Supply All Materials, Fixtures, Appliances And Labor Necessary To Complete All Work Noted On Plans And In Accordance With The Owner's Requirements Or As Otherwise Required. All Material Shall Be New And Free From Any Defects. All Work Shall Be Performed In A Competent, Workman Like Manner Acceptable With Modern Practice.
- \* Upon Completion Of The Work, All Hardware Shall Be In Perfect Operation. Remove From Premises All Rubbish And Accumulated Materials Of Whatever Nature, Except As Indicated By Owner. Floors Shall Be Left In A Clean, Orderly Condition Acceptable To The Owner And Ready For Occupancy.
- \* All Workmanship And Materials Shall Be Guaranteed For One Year From Date Of Owner's Acceptance Unless Otherwise Noted.
- \* All Required Permits Shall Be Applied For And All Fees Paid By Contractor/Owner.

**CODE CLASSIFICATION:**

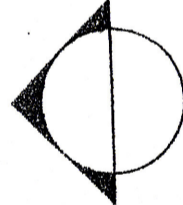
- |   |           |
|---|-----------|
| INTERNATIONAL RESIDENTIAL CODE N.J. EDITION | IRC 2018  |
| INTERNATIONAL MECHANICAL CODE               | IMC 2018  |
| ICC ENERGY CONSERVATION CODE                | IECC 2018 |
| NATIONAL ELECTRICAL CODE                    | NEC 2017  |
| NATIONAL STANDARD PLUMBING CODE             | NSPC 2018 |
| INTERNATIONAL FUEL GAS CODE                 | IFGC 2018 |
| FIRE PROTECTION SUB-CODE                    | IBC 2018  |
| ONE & TWO FAMILY DWELLING                   | IRC 2018  |

*Handwritten signature*

THOMAS D. SWIFT, RA  
NJ A00950  
NY C02704  
RI 2750

TOM SWIFT ARCHITECTURE

65 MILL STREET, NEW PORT, RI 02840  
501-466-7205



DWG. ELEVATION 15  
PROJECT ADDITION & RENOVATION FOR  
CLIENT: MR. & MRS. SEAN SWIFT  
101 HEBBING LN  
GREATFORD, NJ  
SCALE: 1/4" = 1'-0" DATE: 9-29-22  
9-29-23

REVISIONS  
12-15-22  
6-20-23

**A1**

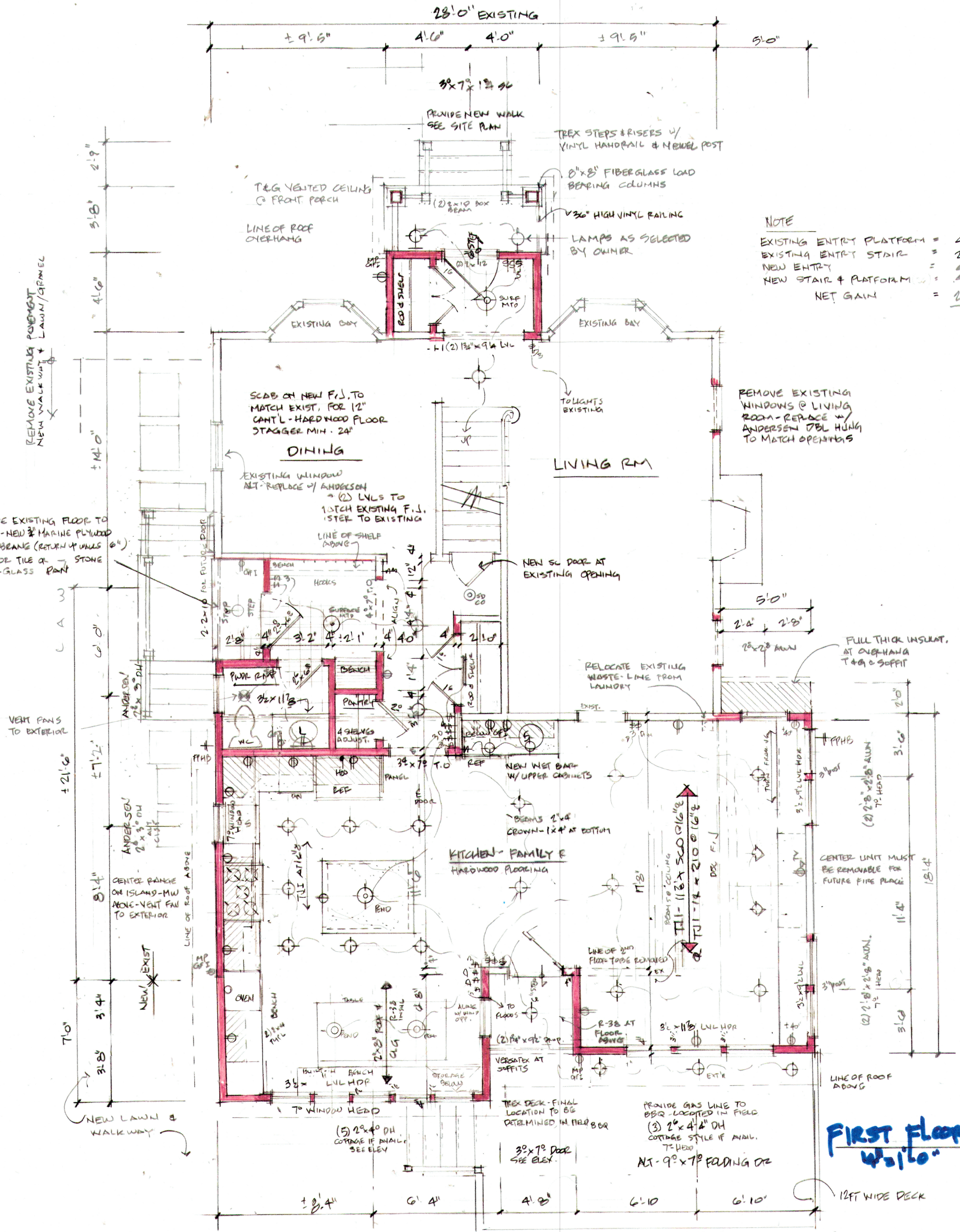


**DEMOLITION NOTES**

- DEMOLISH AND REMOVE PORTIONS OF EXISTING BUILDING, WALLS, FLOORS, CEILINGS, UTILITIES, AND ANY SURROUNDING OBSTRUCTIONS COMPLETELY INCLUDING ALL EQUIPMENT, FIXTURES, ETC. AS SHOWN ON DRAWING D-1 AND AS REQUIRED BY NEW CONSTRUCTION. MAKE ALL WORK SAFE AS PER RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION
- OVER UTILITIES AND INSURE CONTINUED OPERATION AND PROTECTION OF EXISTING PIPES, LINES, DUCTS, EQUIPMENT, ETC.
- TAKE FULL PRECAUTION TO PROTECT WORKMEN, PASSERSBY, OR ANY OTHER PERSONS FROM FALLING DEBRIS AND OTHER HAZARDS. DISPOSE OF ALL EXCESS DEBRIS OFF SITE IN AN APPROVED AND LEGAL MANNER.
- REMOVE AND CAP ALL EXISTING PLUMBING LINES NOT TO BE REUSED.
- REMOVE ALL ELECTRICAL LINES NOT TO BE REUSED BACK TO PANEL OR JUNCTION BOX.
- RELOCATE/REMOVE ALL HVAC EQUIPMENT NOT TO BE REUSED OR AS REQUIRED FOR NEW CONSTRUCTION.
- ALL EXISTING LOAD BEARING WALLS TO BE PROPERLY SHORED BEFORE REMOVAL.
- NOTIFY ARCHITECT OF ANY STRUCTURAL DISCREPANCIES. CONTRACTOR MUST TAKE OUT SEPARATE SPRINKLER PERMITS. WORK AND DESIGN MUST BE PERFORMED BY LICENSED CONTRACTOR APPROVED TO WORK WITHIN BUILDING - SHOP DRAWINGS MUST BE PROVIDED TO BUILDING AND ARCHITECT.

**ELECTRICAL NOTES**

- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE IN ACCORDANCE WITH ALL CODES AND AGENCIES HAVING JURISDICTION. ELECTRICAL LAYOUT SHOWN IS DIAGRAMMATIC ONLY. ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF ALL THE NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. ELECTRIC SERVICE CONDUCTORS AND EQUIPMENT SHALL BE OF A CAPACITY ADEQUATE TO SERVE THE CALCULATED LOAD AND ANY SPARE CIRCUITS PROVIDED FOR FUTURE USE. VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS TO SERVICE RECEPTACLES FOR KITCHEN. PROVIDE INDIVIDUAL BRANCH CIRCUIT FOR ANY FIXED APPLIANCES OR EQUIPMENT RATED MORE THAN 1400 WATTS.
- SMOKE DETECTORS TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AT LEAST 1 PER LEVEL. AT LEAST IN THE ATTIC AND 1 HEAT DETECTOR IN GARAGE. SUPPLY SAME WITH PRIMARY POWER COMING FROM THE BUILDING WIRING AND BATTERY BACKUPS. INSTALL SO THAT ACTUATION OF 1 ALARM SHALL ACTUATE ALL ALARMS EXISTING AT HOUSE. (BY OWNER'S ALARM SUB-CONTRACTOR, N.I.C.) MAINTAIN A 3'-0" MINIMUM DISTANCE BETWEEN SMOKE DETECTORS AND HVAC OR FAN OUTSIDE TYPICALLY. WORK TO BE COORDINATED BY GENERAL CONTRACTOR. TYPE IS TO BE PHOTOELECTRIC. SMOKE DETECTORS SHOWN ON DRAWINGS ARE TO BE CONNECTED TO FIRE ALARM SYSTEM AND TO BE SUPPLIED BY OWNER'S ALARM SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR.
- ELECTRICAL OUTLETS, FIXTURE LOCATIONS AND SWITCH LOCATIONS SHOWN ARE SUGGESTED ONLY. CONTRACTOR IS TO ADD OUTLETS TO COMPLY WITH CODE REQUIREMENTS AND CONFIRM ALL LOCATIONS IN FIELD WITH OWNER. SEE FLOOR PLANS AND REFLECTED CEILING PLANS.
- ALL RECESSED FIXTURES (INCLUDING LAMPS), OUTLETS, SWITCHES, ETC. ARE TO BE SUPPLIED BY CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE ELECTRICAL LEGEND. SURFACE AND PENDANT MOUNTED FIXTURES ARE TO BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR AS NOTED ON THE ELECTRICAL LEGEND.
- PROVIDE A GFI CIRCUIT AT ANY RECESSED FIXTURES USED IN CLOSETS AND ANY RECESSED FIXTURES USED OVER BATHTUBS, SINKS, AND EXTERIOR LIGHTING FIXTURES LOCATED OVER TUB/SPA SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER AND /OR RECESSED FIXTURES TO HAVE A GLASS OR PLASTIC LENS WITH ELECTRICALLY ISOLATED TRIM, SUITABLE FOR ALL DAMP LOCATIONS.



**NOTE**  
 EXISTING ENTRY PLATFORM = 42¢  
 EXISTING ENTRY STAIR = 22¢  
 NEW ENTRY = 42¢  
 NEW STAIR & PLATFORM = 49¢  
 NET GAIN = 27¢

**FIRST FLOOR PLAN**  
 1/2" = 1'-0"

*Tom Swift*

THOMAS D. SWIFT, RA  
 NJ A089560  
 NY 025704  
 RI 2730

**TOM SWIFT ARCHITECTURE**  
 151 SUNSET LANE, TENAFLY, NJ 07670  
 65 MILL STREET, NEW PORT, RI 02840  
 551-466-7205

DWG: FIRST FLOOR PLAN  
 PROJECT: REDEMPTION / RENOVATION  
 CLIENT: MRS. & MRS. SEAN SWIFT  
 CLIENT: 101 HERTING AVE  
 CRANFORD, N.J.  
 SCALE: 1/4" = 1'-0" DATE: 9-28-22  
 9-28-22

REVISIONS  
 12-15-22  
 10-26-23

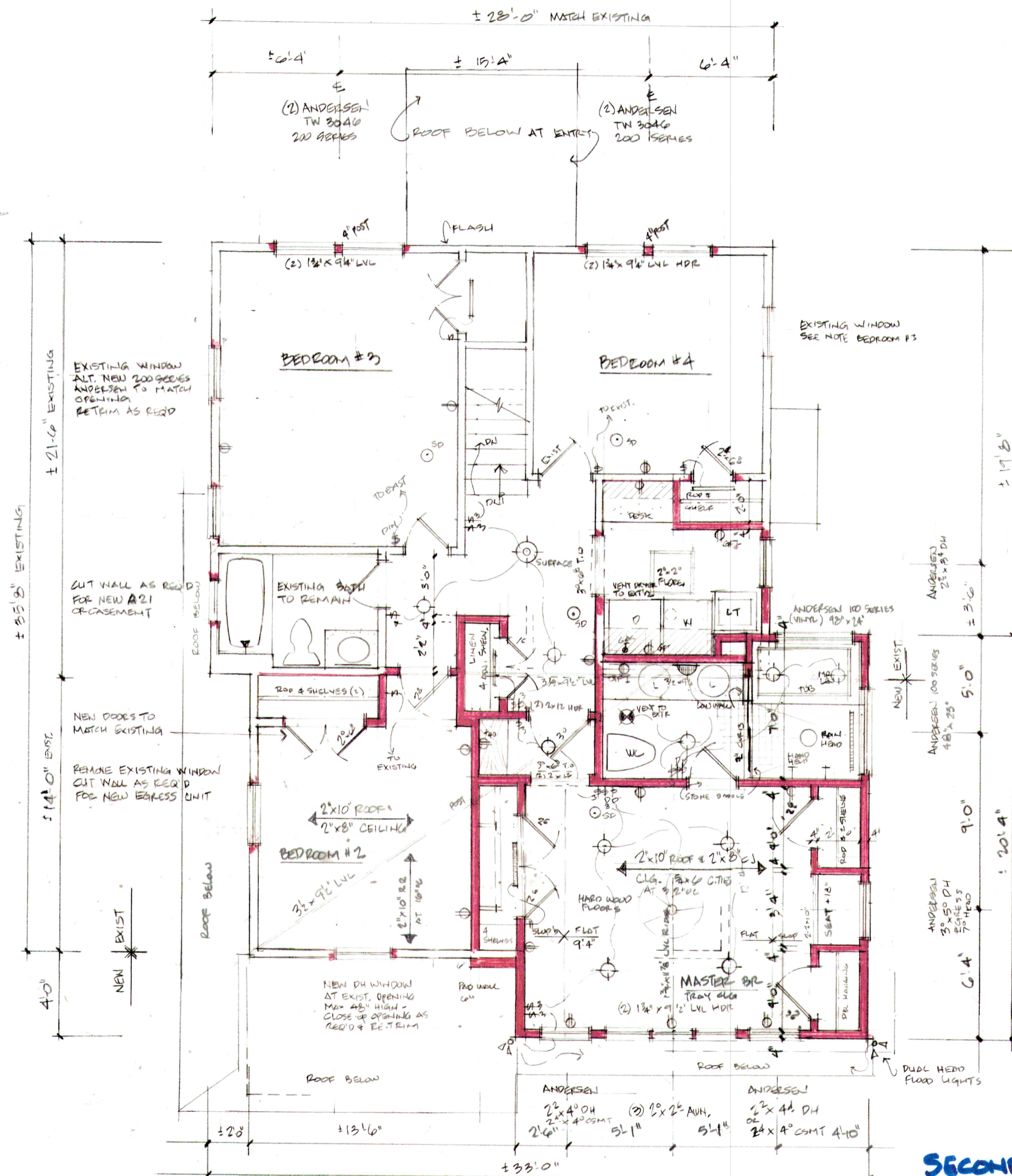
A3

**FRAMING MATERIALS**

Studs and framing members design values based on ASTM Standard D1990-91. Studs to be: Douglas Fir stud grade or better; Framing Members: Douglas Fir No. 2 or better, Maximum 19% moisture content. Install studding in accordance with the industries standards. Stud spacing should be 16 in. wood blocking to studs for support of wall cabinets, toilet accessories and hardware, etc. Coordinate installation of bucks, anchors, blocking, electrical and mechanical work placed in or behind partition framing. Rafter and ceiling joists or collar ties shall be mechanically fastened as per Table R802.5(1) IRC.

LVL - Laminated Veneer Lumber must have a rating of 2.0E (Modulus or elasticity). LVL sized as per contract documents. Note: (1) 3 1/2" thick beam may be substituted for (2) 1 1/2" member. Double members shall be nailed with minimum 2 rows 16d common nails 12" o.c. Triple members shall be nailed with 3 rows 16d common nails 12" o.c. (staggered). Cutting and hole location shall be only as permitted by manufacturer's specification. Hangers as manufactured by United Steel products or Simpson Strong-Tie. Minimum bearing 3" each end.

Wood I Beam joists must comply with ASTM D5055 by APA - The Engineered Wood Association. Flange and depth as indicated on construction documents. Joist hangers to be either United Steel products or Simpson Strong-Tie. Install and brace wood I beams in accordance with manufacturer's specifications. Minimum end bearing to be 1 1/2". Minimum intermediate bearing length is 3 1/2". Cutting at hole locations only as permitted by manufacturer's specifications. Store and handle joists to protect against contact with damp and wet surfaces, exposure to weather, breakage and damages.



**Second floor plan**  
4 1/2" = 1'-0"

*Thomas D. Swift*  
THOMAS D. SWIFT, RA  
NJ A03550  
NY 025704  
RI 2730

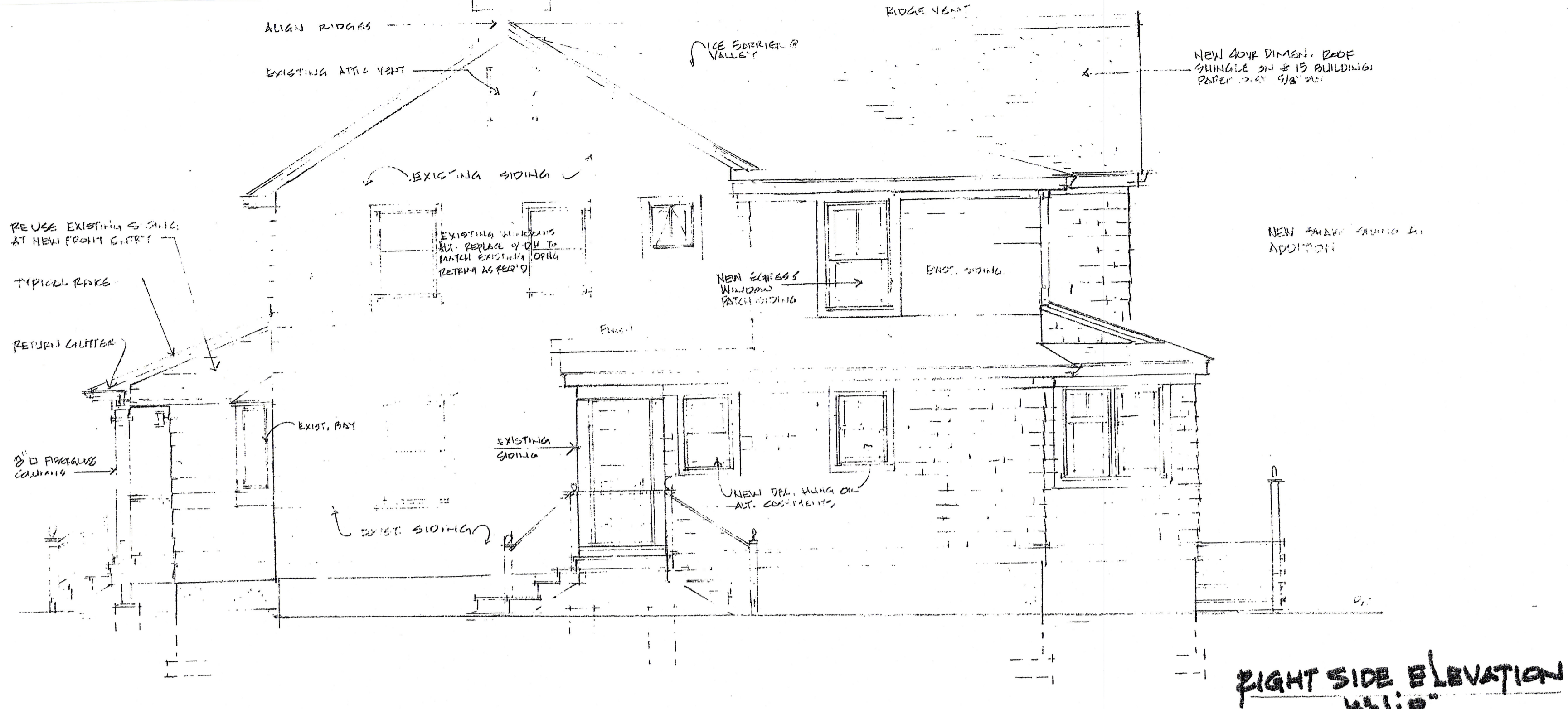
**TOM SWIFT ARCHITECTURE**  
1.31  
65 MILL STREET, NEW PORT, RI 02840  
551-486-7205

DWG: 1st FLOOR PLAN  
PROJECT: ADDITION & RENOVATION FOR  
CLIENT: MR. & MRS. SCARLETT  
FOR DESIGNING: ANG  
DRAWING: AS J  
SCALE: 1/8" = 1'-0"  
DATE: 3-23-13

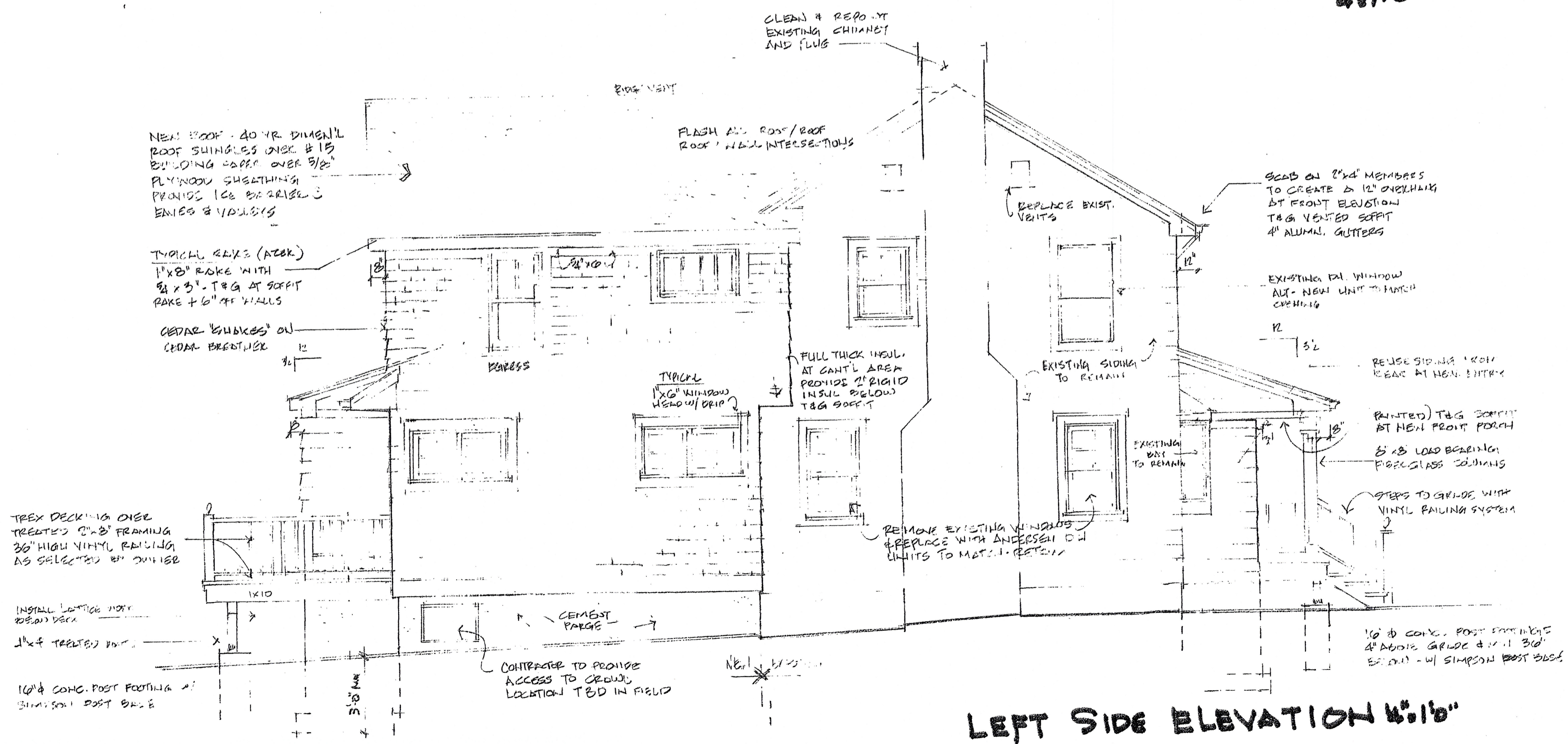
REVISIONS

12-15-12	
6-26-13	

**A4**



**RIGHT SIDE ELEVATION**  
1/2" = 1'-0"



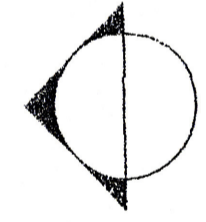
**LEFT SIDE ELEVATION**  
1/2" = 1'-0"

*Tom Swift*

THOMAS D. SWIFT, RA  
NJ A109850  
NY C25704  
RI 2750

TOM SWIFT ARCHITECTURE

66 MILL STREET, NEW PORT, RI 02840  
508-466-7205



DWG: ELEVATIONS  
PROJECT: ADDITION & RENOVATION FOR:  
MRS. MRS. BEAN SWIFT  
CLIENT: TOM SWIFT  
CRANFORD, N.J.  
SCALE: 1/2" = 1'-0" DATE: 9-29-12

REVISIONS  
2.20.12

**A5**